

1 GROUND FLOOR PLAN - EXISTING
1:100

EXISTING



no.	revision	date

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ARCHITECT
Architecture Matters Pty Ltd
Suite 4, Level One,
508 Queensberry Street
North Melbourne, VIC, 3051
T (03) 9329 7063
F (03) 9329 7919
www.architecturematters.com.au



CLIENT DETAILS
CITY OF PORT PHILLIP
ADDRESS
99A CARLISLE STREET,
ST KILDA, 3182

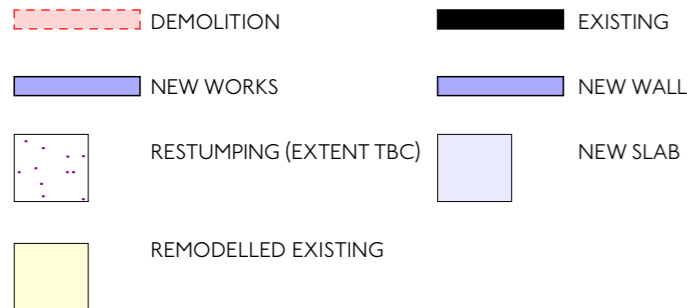
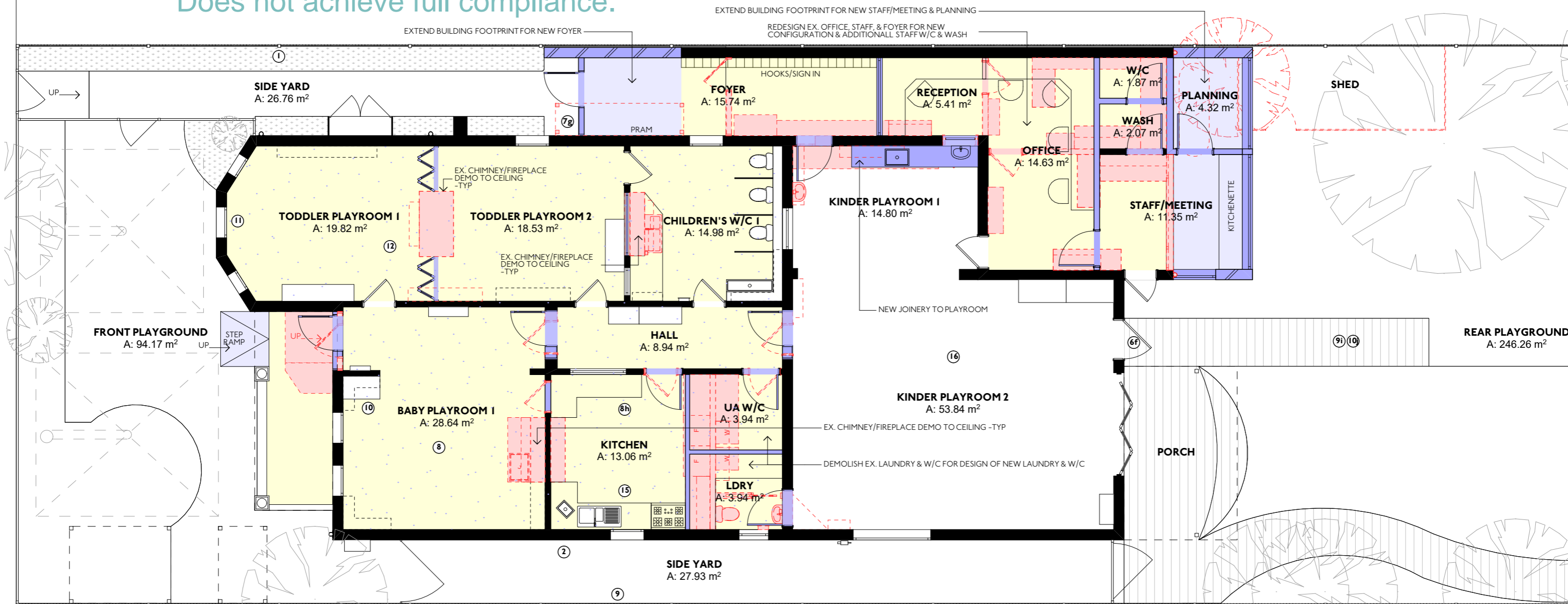


PROJECT
CITY OF PORT PHILLIP
CONDITION AUDITS
39 THE AVENUE BALACLAVA
3183
PROJECT NUMBER
1614

DRAWING
GROUND FLOOR PLAN
- EXISTING
Scale: AS SHOWN @ A3
Date: 16/06/2016

FS01.0

Not a development proposal. Indicative remediation & associated building code works, 2016.
Does not achieve full compliance.



No.	REPAIR DETAIL
1.	Reinforce East boundary fence to fix lean
2.	Fill hole to lower section of West side wall of building
3.	Repaint fascia & barge boards to West side of building (and any other areas identified)
4.	Repoint ridge capping to roof
5.	Restump section of building to ex. Kitchen & Baby Playroom 1
6.	Replace section of timber & repaint rotting window sills to west side of building
7.	Repair gutter/roof tile cracks over Baby Playroom 1
8.	Replace broken vinyl tiles to Baby Playroom 1
9.	Replace external fencing panels to boundary fences
10.	Replace damaged wood to change table area in Baby Room

No.	REPAIR DETAIL CONT.
11.	Replace flyscreen to external front windows
12.	Identify & repair cause for leaking water in Toddler Room. Repair any water damage
13.	Identify & repair spongy & dipping flooring to Toddler Room (restumping or replacement of flooring surface)
14.	Identify & repair spongy & dipping flooring to Kitchen (restumping or replacement of flooring surface)
15.	Replace damaged wood & resecure glass splashback to Kitchen
16.	Repair grout to Kinder Room
17.	Investigate & repair fall of floor to Kitchen & playroom subfloor & rectify the issue as necessary
18.	Repair ex. windows where required
19.	Repair ex. fascia boards & eaves gutters where necessary

No.	UPGRADE DETAIL
1a.	Programmed replacement of gutters
2b.	Programmed repainting of walls
3c.	Programmed replacement of carpet
4d.	Programmed replacement of vinyl
5e.	Programmed repaint of walls
6f.	Install threshold ramp to entry & rear door
7g.	Install braille & tactile signage to entry
8h.	Install low-height section in kitchen for wheelchair use
9i.	Upgrade playground facilities to enable wheelchair use
10j.	Install new 4 post shade sail to rear playground approx. 20sqm over ex. cubbyhouse

1 GROUND FLOOR PLAN - DESIRED
1:100

DESIRED



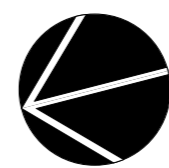
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FS01.1B



**Children Services Program
WORKING GROUP – TECHNICAL MEETING
THE AVENUE CHILD CARE CENTRE, BALACLAVA**



MINUTES: 5 MAY 2016

09:30AM – 10:30AM, Cecil Room, St Kilda Town Hall Offices

PARTICIPANTS:

Attendees	Role	Attendance or delegate
Joe Gangi	Chair – Building Options Study Coordinator	<i>Present</i>
Anthony Gionfriddo	Architect, Architecture Matters P/L	<i>Present</i>
Maureen Tessier	Coordinator Children's Services	<i>Present</i>
Mark Thompson	Manager Asset Planning & Property	<i>Present</i>
Belma Radic	The Avenue	<i>Present</i>
Mark Michael	The Avenue	<i>Present</i>
Paul Kasteel	The Avenue	<i>Present</i>
Accompanying Documentation		
DDA and Accessibility Review		

AGENDA ITEMS:

Item #	Description	Action	Date
1	Introductions		
2	<p>Centre Capacity and General Discussion</p> <p>The centre is currently licenced for 40 children and is running almost at capacity</p> <p>The current (and typical) ratio is as follows:</p> <ul style="list-style-type: none"> 20 - Kinder children (3 – 5 yrs) 12 - Toddlers (2 – 3 yrs) 8 - Babies (0 – 2 yrs) <p>Note: Mark Michael stated that the optimum number for a viable child care centre is 60 (with similar ratios as above)</p> <p>Typically total number of Babies and Toddlers = number of Kinder kids but at present there is a short demand for Toddlers, which is unusual but attributed to lots of competition caused by sessional kindergartens, private school preschool programs and lower cost centres.</p> <p>Currently the back garden is used by the Kinder Kids and Toddlers while the front garden is used by the Babies.</p>	Note	
3	<p>Techer / Child Ratios</p> <p>The typical ratios are as follows:</p> <ul style="list-style-type: none"> 12 : 1 – Kinder and Toddlers 4 : 1 Babies area 	Note	
4	<p>Child / Area Ratios</p> <p>The Education and Care Services National Regulations requires 3.5sqm of unencumbered space inside and 7sqm outside.</p> <p>The current numbers to be confirmed by JG</p>	<p>Note</p> <p>JG</p>	05/05



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MINUTES: 5 MAY 2016

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Item #	Description	Action	Date
5	<p>The Avenue Requirements – Immediate</p> <p>The following items were raised by The Avenue:</p> <ul style="list-style-type: none"> • Trip hazards on vinyl patches resulting from cut outs installed to inspect the subfloor – Mark T to action for rectification • Subfloor works (stumps etc...) – already part of the “minimum” works being addressed by the Building Options Study. 	Mark T	ASAP
6	<p>The Avenue Requirements – Desired</p> <p>The following items were raised for inclusion in scope as ‘desired’ items:</p> <ul style="list-style-type: none"> • New shade sail in backyard. The Avenue has already purchased the steel posts and has a specification and some drawings. It is possible that this item was included in a previous building permit dating back to 2010. Mark Michael to advise Building permit number so we can investigate CoPP records. • In the meantime, Paul K to provide copy of specification and drawings to COPP for inclusion in concept plans and subsequent building permit application for other likely works as part of the Building Options Study. • The following items will be considered and investigation in the ‘desired state’ concepts by Anthony: <ul style="list-style-type: none"> ○ Kitchen upgrade to improve efficiency and possibly create additional space for either play areas or amenities ○ Glazing in children toilets from front playroom ○ Locker / bag storage area ○ Additional amenities (toilet /shower for staff including DDA facilities) ○ Additional storage space inside for documentation and equipment ○ Internal partitions in play area enabling division of space when required ○ Office refurbishment / expansion including provision for: <ul style="list-style-type: none"> ▪ Front counter with workstation ▪ 5 additional workstations in an office space ▪ Planning room with 2 workstations ▪ Multipurpose room for 14 (meetings, lunch room, parents area etc..) 	<p>Mark M</p> <p>Paul K</p> <p>Anthony G</p>	<p>ASAP</p> <p>ASAP</p>
7	<p>DDA and Accessibility Review</p> <p>The Avenue commissioned Nick Morris to conduct a review and the report was provided at the meeting – Refer attached</p>	Note	
8	<p>Next Meeting</p> <p>JG advised that The Avenue will be consulted further upon development of the concept options. This will be an opportunity to review and input into the desired state outcomes.</p>	Note	

Functional requirements/preferences of tenant
(Item 5 & 6), considered in indicative plan of works.

4.00 THE AVENUE – BALACLAVA CHILDCARE CENTRE

4.01 Electrical Services

4.01.01 Power

The general switchboard, power and lighting reticulation is in average condition. The switchboard is required to be upgraded to comply with current AS3000 regulations for RCD protection.

Existing wiring to be modified to suit proposed modifications.

4.01.02 Lighting

Typically, the lighting throughout the facility is average to poor condition.

The scope of works proposed to replace lighting to modified/new areas including;

- Laundry/WC area
- Foyer
- Office/Reception areas
- Staff WC/Wash
- New Planning Staff/meeting

4.01.03 Emergency Lighting

Currently there is no emergency lighting test switch. With the proposed MSB upgrade, an emergency lighting test switch is proposed to be provided. Existing fittings where currently compliant shall be retained, new emergency lighting to be provided where required.

4.01.04 Communication Systems

Communications systems are proposed to be retained and modified where required to suit new proposed layout. Modification to the existing office space is proposed to incorporate the existing comms enclosure

4.02 Hydraulic Services

4.02.01 Cold Water Supply

The cold water supply and reticulation is proposed to be retained, modified and extended to suit new laundry, new WC locations and extension staff areas including WC, wash and kitchenette areas.

4.02.02 Sewer Service

The existing sewer is proposed to be modified and extended to suit the proposed WC's, baby change area and new laundry space.

4.02.03 Domestic Hot Water System

The existing gas fired hot water system is proposed to be modified to serve the modified laundry and WC area.

A new hot water is proposed to be provided to serve the new staff room staff amenities areas.

4.02.04 Rainwater Service

The existing rainwater system is proposed to be relocated to accommodate the new building extension.

4.03 Mechanical Services

4.03.01 Cooling & Heating Systems

The facility is served by numerous split systems of varying age and condition. Where possible the existing A/C units and condenser units are proposed to be retained to serve the existing areas.

The new staff/meeting room, office and foyer areas are proposed to be provided with a new split system.

4.03.02 Ventilation

The building is proposed to be retained as a naturally ventilated building throughout.

The new WC areas and laundry are proposed to be provided with extract ventilation.

2 39 The Avenue, Balaclava

2.1 General

The building at 39 The Avenue, Balaclava is a single storey building, with solid brick walls, timber floor and tiled roof. There is also a previous single storey extension to the back of the building, with lightweight roof, solid brick walls and slab on ground.

2.2 Previous investigations

Previous report and investigations have been undertaken by Wood & Grieve Engineers in January 2014. The report provided noted that the building is in generally good condition. The floor is uneven in some areas, and investigations revealed that the stumps supporting the timber floor are not in accordance with minimum code requirements.

2.3 Geotechnical reports

A geotechnical investigation was undertaken as part of the additional investigations at the site by Civil Test Pty Ltd on 28th May 2016, and a copy of their report is attached in Appendix A.

The site has been classified as Class M in accordance with AS2780. The existing strip footing exposed was 400 deep and founded in natural silty sand. To satisfy the current standard, for articulated full masonry in Class M sites, the footing should be 600 deep. Therefore the existing footings are not in accordance with the current standard.

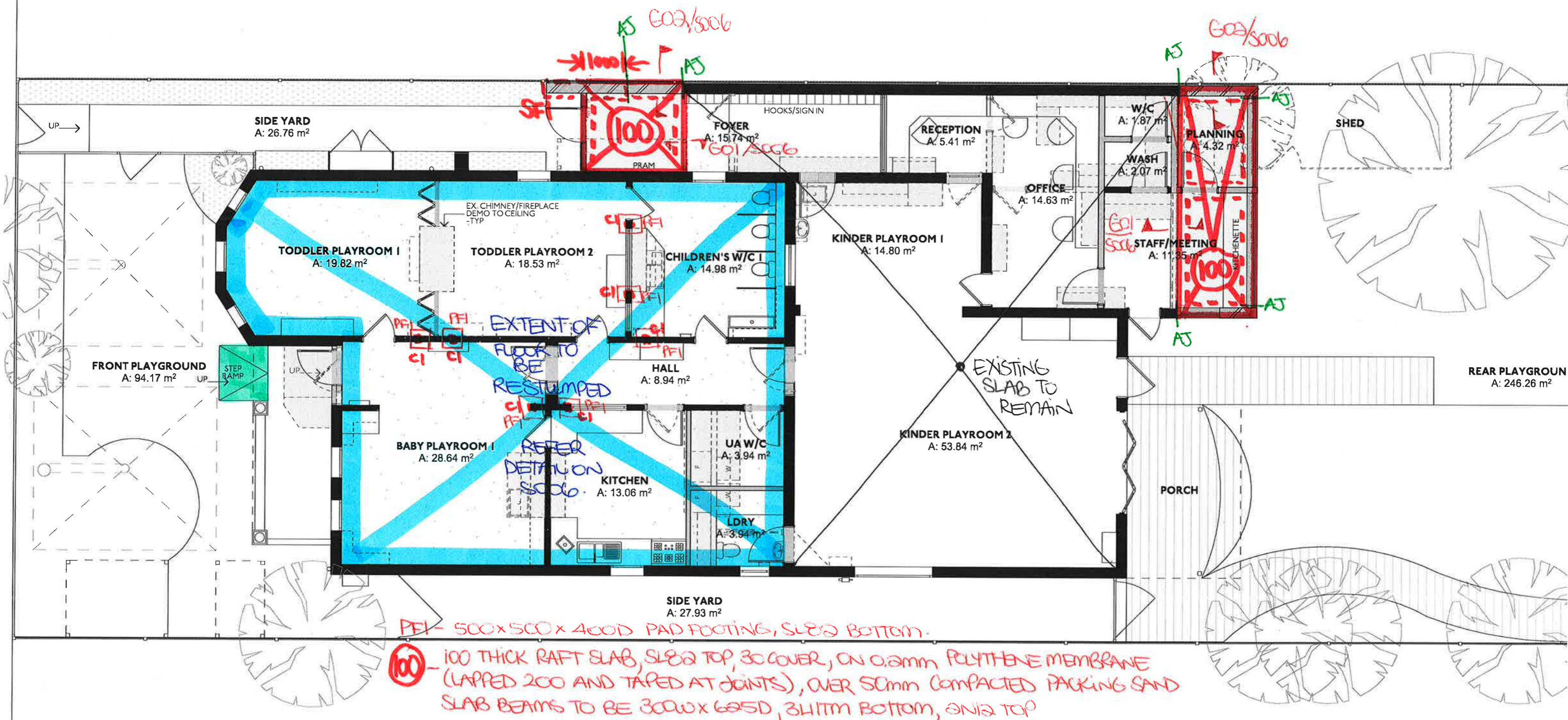
2.4 Observations

The building at 39 The Avenue, Balaclava is in generally good condition. While the footings are not in accordance with current standards, the masonry is in good condition with only minor cracking, however the timber floor is uneven in some areas.

Additional investigation was undertaken, and the timber floor throughout the original building footprint needs to be re-stumped, as shown on the structural sketches provided.

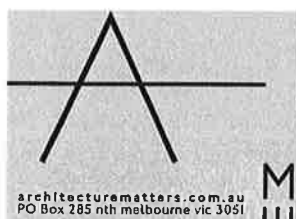
Other aesthetic and functional changes proposed by the architect are also documented on sketches S002 through S006, attached in Appendix B.

Rev 1 - 3/6/16 - PRELIMINARY ISSUE
 Rev 2 - 8/6/16 - PRELIMINARY ISSUE
 Rev 3 - 10/6/16 - PRELIMINARY PRICING ISSUE



160214 - S004

1 GROUND FLOOR PLAN - DESIRED
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no. revision

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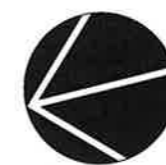
Adams Consulting Engineers Pty Ltd
 ACN 117603 531 ABN 73058 284 491
 Level 10, 620 Bourke Street, Melbourne Victoria 3000
 Phone: +61 3 8600 9700 Fax: +61 3 8600 9777

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 Architecture Matters Pty Ltd
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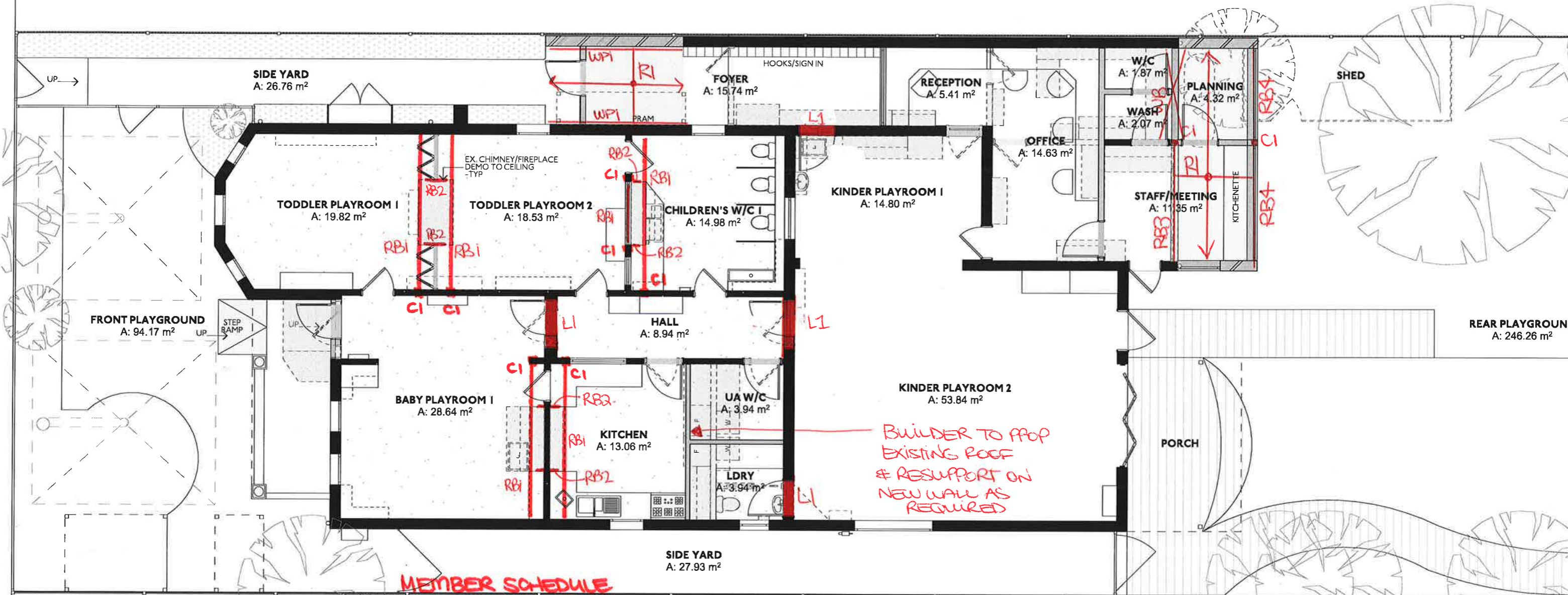


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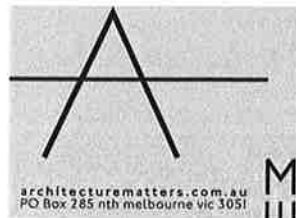


MEMBER SCHEDULE

- RB1 - 250PFC - WALL CONNECTION, TYPE 1 CONNECTION
 RB2 - 200PFC - TYPE 2 CONNECTION EACH END.
 CI - 89 x 5 SHS
 WB - WALL STRAP BRACE - REFER DETAIL ON SOCB
 RI - 130 x 42 LULS AT 600 CTS.
 WP1 - 130 x 42 LULS, MID CHAMSET TO BRICK WALL AT 600 CTS.
 RB3 - 125PFC - TYPE 1 CONNECTION TO COLUMN, STEEL BEAM HOLD DOWN AT MASONRY WALL CONNECTION
 RB4 - 125PFC - TYPE 1 CONNECTION TO COLUMN, STEEL BEAM HOLD DOWN AT MASONRY WALL CONNECTION.
 LI - 150UB15+10PL - MIN 200 END BEARING.

160214 - S005

1 ROOF PLAN - DESIRED
 1:100



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Adams Consulting Engineers Pty Ltd
 ACN 117603 531 ABN 73058 284 491
 Level 10, 620 Bourke Street, Melbourne Victoria 3000
 Phone: +61 3 8600 9700 Fax: +61 3 8600 9777

ARCHITECT
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 508 Queensberry Street
 North Melbourne, VIC, 3051
 T (03) 9329 7063
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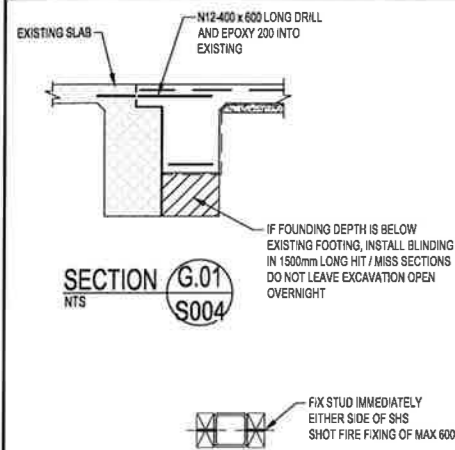
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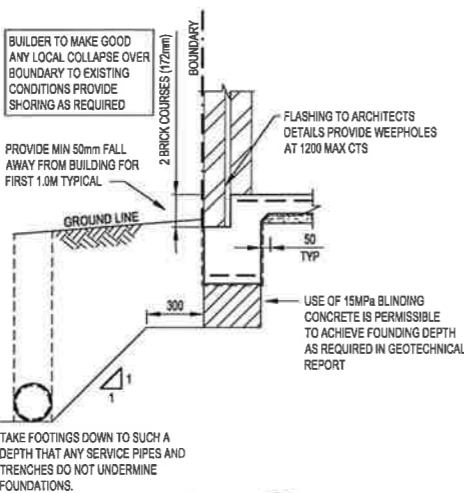
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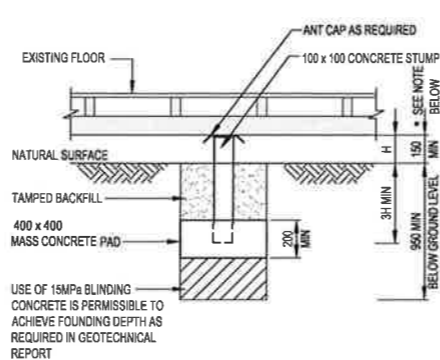
FS01.1B



TYPICAL SHS TO STUD WALL FIXING DETAIL
SCALE 1:10

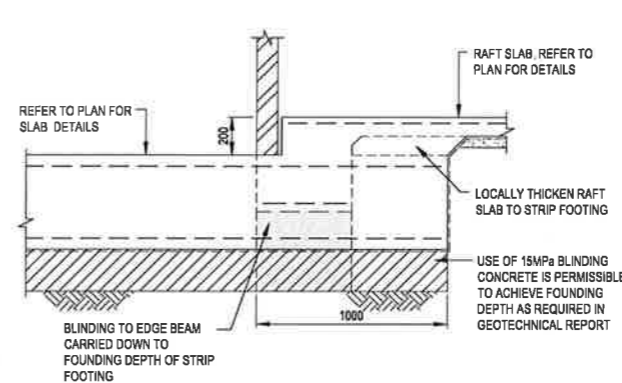


SECTION G.02 S004
SCALE 1:20

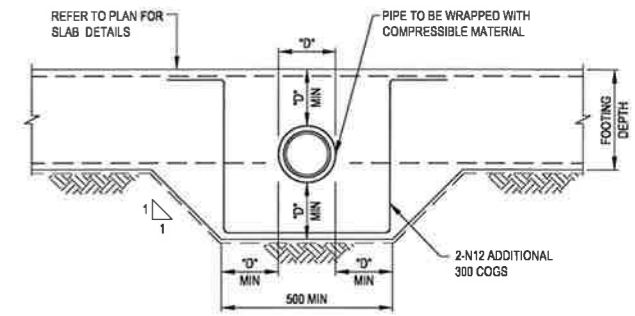


TYPICAL STUMP AND PAD DETAIL
SCALE 1:20

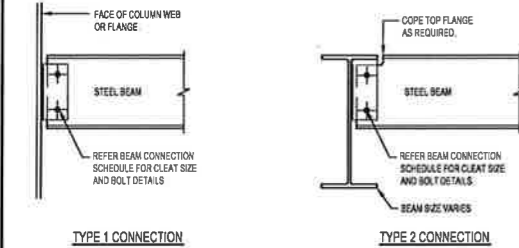
NOTE:
FOR STUMPS LONGER THAN 1500mm SUBSTITUTE WITH 75 x 75 x 3.0 SHS GALVANISED STEEL AND USE SUBFLOOR BRACING AT BUILDING CORNERS AND WITH 70 x 35 TIMBER BRACING INSTALLED IN ACCORDANCE WITH AS1684 CL 8.3.1.2



TYPICAL STRIP FOOTING TO RAFT SLAB
SCALE 1:20



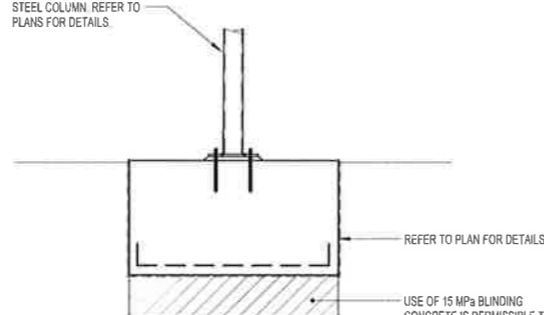
TYPICAL DETAIL AT STRIP FOOTING OR SLAB RIB PENETRATION (FOR "D" < 200 mm)
SCALE 1:20



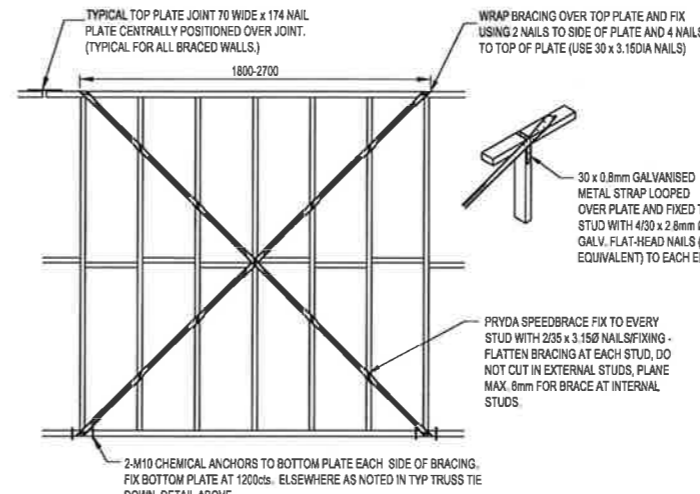
TYPICAL STEEL BEAM CONNECTION DETAILS
SCALE 1:10

BEAM SIZE	CLEAT PLATE	BOLTS
150-180, 200, 230 PFC	10mm	2-M20 @ 8.8
200 UB & UC	10mm	2-M20 @ 8.8
250 UB & UC	10mm	2-M20 @ 8.8
250 PFC	10mm	2-M20 @ 8.8
310 UB & UC	10mm	2-M20 @ 8.8
300 PFC	10mm	2-M20 @ 8.8
360 UB	12mm	2-M20 @ 8.8
360 PFC	12mm	2-M20 @ 8.8
410 UB	12mm	2-M20 @ 8.8
410 PFC	12mm	2-M20 @ 8.8
450 UB	12mm	2-M20 @ 8.8
530 UB	12mm	2-M20 @ 8.8
610 UB	12mm	2-M20 @ 8.8
750 UB	12mm	2-M20 @ 8.8
850 UB	12mm	2-M20 @ 8.8

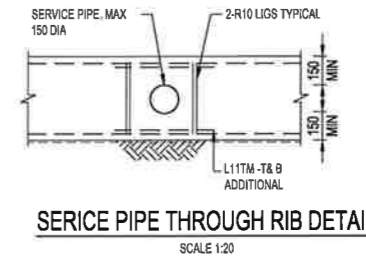
NOTE:
FOR BEAM CONNECTION TO FACE OF RHS COLUMN'S PROVIDE CLEAT AS TEE SECTION WELDED DOWN EACH SIDE OF RHS



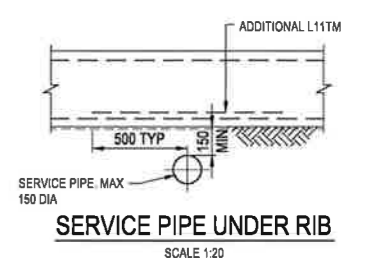
TYPICAL PAD FOOTING WITH STEEL COLUMN DETAIL
SCALE 1:20



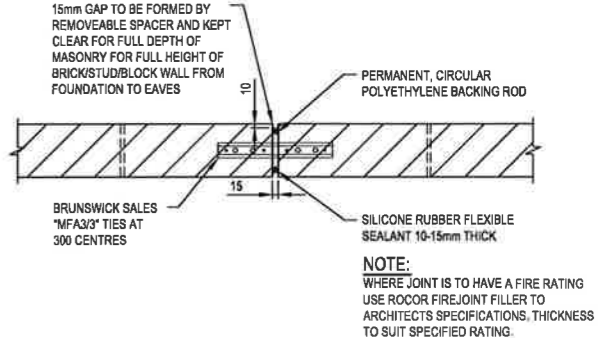
TYPICAL WALL BRACING DETAIL (DENOTED WB ON PLAN)
SCALE 1:20



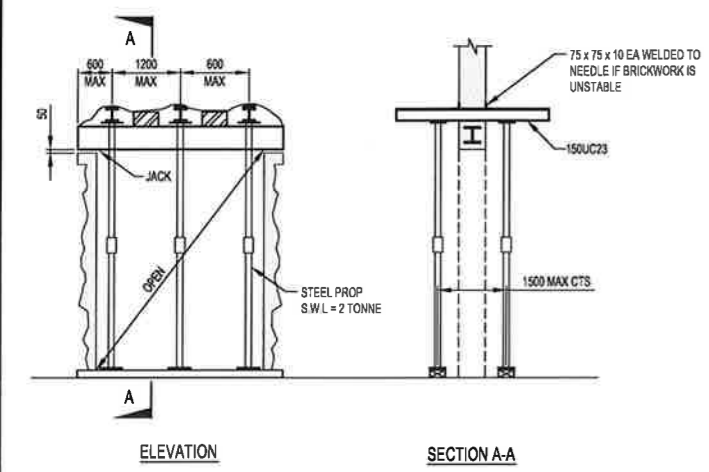
SERICE PIPE THROUGH RIB DETAIL
SCALE 1:20



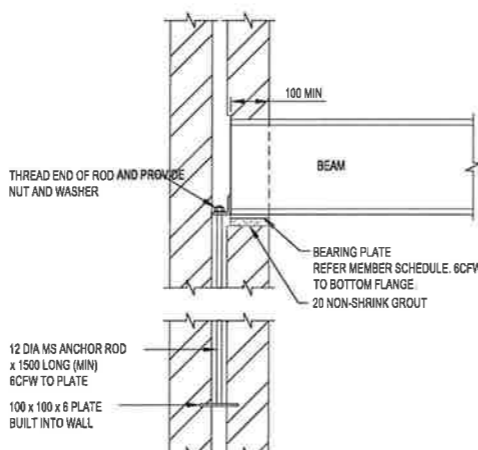
SERVICE PIPE UNDER RIB
SCALE 1:20



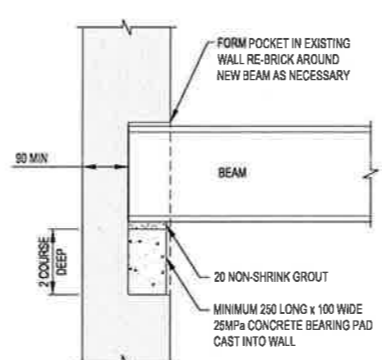
TYPICAL ARTICULATION JOINT - AJ
SCALE 1:10



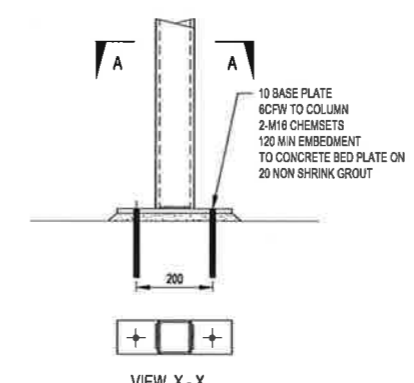
PROCEDURE FOR INSTALLATION OF STEEL LINTELS INTO EXISTING MASONRY WALLS
SCALE 1:10



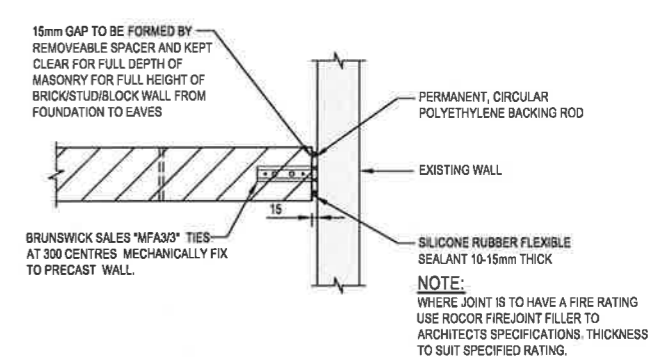
TYPICAL STEEL BEAM HOLD DOWN AT MASONRY WALL DETAIL
SCALE 1:10



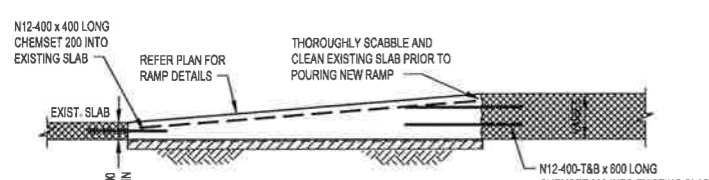
TYPICAL STEEL BEAM TO EXISTING MASONRY WALL DETAIL
SCALE 1:10



TYPICAL SHS COLUMN BASEPLATE DETAIL
SCALE 1:10



TYPICAL ARTICULATION JOINT TO EXISTING WALL
SCALE 1:10



TYPICAL NEW RAMP TO EXISTING SLAB DETAIL
SCALE 1:20

Issue	Description	Date
2	PRELIMINARY PRICING ISSUE	10/6/16
1	PRELIMINARY	3/6/16

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Level 10, 620 Bourke Street
Melbourne, Victoria 3000
t 03 8600 9700 f 03 8600 9777
e projects@adamseng.com.au
ACN 117 803 331

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CLIENT:	CITY OF PORT PHILLIP
ARCHITECT:	ARCHITECTURE MATTERS PTY LTD

TITLE: 39 THE AVENUE, BALACLAVA DETAILS SHEET	
Designed Project Leader	Drawn Sheet Size A3
Project Director	Certified
Printed 18/04/2016 by Efr	

PROJECT NUMBER: 160214	REVISION: 2
DRAWING NUMBER: S006	

31 January 2022



39 The Avenue Balaclava Desired Option

Cost Plan 1
Revision B
Concept Design



3B/1425 Main Rd Eltham 3095 | ABN 74 177 124 823 | VBA Reg. CQS54305
03 9437 2777 | www.plancost.com.au | officemanager@plancost.com.au



31 January 2022

Introduction

PlanCost Australia has been requested to prepare a Cost Plan based on Concept Design documents received from Architecture Matters Pty Ltd.

Drawings

The following drawings and specifications have been used to prepare the Cost Plan.

Drawing Numbers FS01.0-FS01.1B

Drawing Date 16th June 2016

Cost Estimates

The current anticipated Total End Cost is:

Building Works	\$410,162
External Works and Services	\$104,500
Contingencies, Escalation and Allowances	\$174,000
Fees, FFE, ITC and Other Client items	\$138,000
Prolongation and Project Risk Allowances	\$83,000
GST	\$90,966
Total End Cost	\$1,000,628

Refer to the attached Cost Plan 1 for details.

Note

The Cost Plan is based on preliminary information and therefore should be regarded as indicative only of the possible order of cost.

The cost of various components of the Cost Plan could vary significantly depending on the final design, materials selection and quality of the proposed building works.

We recommend that a detailed Cost Plan be prepared at Schematic Design stage to verify the anticipated total cost.

Should you have any questions or require anything further, please don't hesitate to contact us.

Regards,

Quantity Surveyor

Yubin Lin

AIQS/RICS Member No: 26022

Reviewed By

Simon Grimes

AIQS/RICS Member No: 13302



31 January 2022

Inclusions

The Cost Plan includes allowances for the following:

- Building works
- External works
- External services
- Demolition
- Landscaping
- Design contingencies
- Construction contingencies
- Consultants' fees
- Management support costs
- Project risk / project contingency
- Cost escalation up to completion of construction September, 2024
- GST

Exclusions

The Cost Plan excludes the following:

- Site and services infrastructure upgrades
- Rock excavation
- Asbestos removal
- Site decontamination
- Rainwater harvesting
- Locality allowance
- Staging costs
- Procurement method costs
- Environmentally sustainable design initiatives
- Disbursements
- Furniture, furnishings and equipment
- IT, AV and communications equipment
- Supply authority, building permit and headworks charges
- Prolongation and delay risk
- Cost escalation after September, 2024
- Land purchase

31 January 2022

					Quantity	Rate	Total
COST COMPONENT							
New Extension					16 m ²		
Renovation to Existing					251 m ²		410,162
TOTAL BUILDING COST (TBC)					267 m²	1,536	410,162
External works and services							104,500
NET CONSTRUCTION COST (NCC) (Feb, 2022)						1,928	514,662
Locality allowance							excluded
Additional costs for staging of the works							excluded
Additional costs for procurement method							excluded
Environmentally sustainable design initiatives							excluded
Design contingency					5.00%		26,000
Construction cost escalation							
Escalation rate	3.00%	Market conditions		4.00%			
Up To	Date	Months	%/Year	Weighting	Total %		
Tender	Jul, 23	17	7.00%	100%	9.92%		54,000
Completion	Sep, 24	14	7.00%	70%	5.72%		31,000
TOTAL CONTRACT SUM (TCS) (Sep, 2024)						2,343	625,662
Construction contingency					10.00%		63,000
TOTAL CONSTRUCTION COST (TCC) (Sep, 2024)						2,579	688,662
Consultants' fees					12.00%		83,000
Disbursements							excluded
Management support costs					8.00%		55,000
Furniture, furnishings and equipment							excluded
IT, AV and communications equipment							excluded
Supply authority, building permit and headworks charges							excluded
TOTAL PROJECT COST (TPC) (Sep, 2024)						3,096	826,662
Prolongation and delay risk							excluded
Project risk / project contingency					10.00%		83,000
Goods and services tax					10.00%		90,966
TOTAL END COST (TEC) (Sep, 2024)					267 m²	3,748	1,000,628

Cost Plan 1
Revision B
Concept Design

31 January 2022

					Quantity	Rate	Total
EXCLUSIONS							
Further rises in construction costs due to current market conditions							
Construction cost escalation (based on September quarter escalation)							
Escalation rate	0.00%	Market conditions	7.00%				
Up To	Date	Months	%/Year	Weighting	Total %		
Tender	Jul, 23	17	7.00%	100%	9.92%		100,000
Completion	Sep, 24	14	7.00%	70%	5.72%		58,000
Additional preliminaries, profit and overheads due to further Covid delays and construction cost risk					5.00%		51,000
The below recommendation items in Access Reports dated 26 November 2021							excluded
920mm wide door leaf to swing door							
1020mm wide door leaf to sliding door							
Pivot hinges							
Acoustic sealer to greater leaf size							
All threshold ramps with a maximum height of 25mm							
Construction tolerance with all door circulation spaces							
Transom rails as required							
Walkways with a gradient no steeper than 1:21							
Ramps with a gradient no steeper than 1:15							
Detailed interior design on unisex accessible sanitary facilities							
Architect's detailed design in compliance with DDA requirements							

Refer to previous list of exclusions for complete list of all items not included in cost plan



31 January 2022

Fully Enclosed Covered Area	267 m ²
Unclosed Covered Area	m ²
GFA (FECA + UCA)	267 m²

	Quantity	Rate	Total
SUPERSTRUCTURE			
¹ Ground level slabs and footings including insulation and termite treatment	20 m ²	397	7,940
² Restump/repair/replacement of flooring existing Kitchen, Baby Playroom 1, Toddler Rooms, Hall, UA W/C, Ldry & Children's WC	128 m ²	264	33,792
³ Structural columns	Provisional Sum		12,000
⁴ Structural beams	Provisional Sum		20,000
⁵ Internal stairs, handrails and balustrades	Nil		0
⁶ Roof to new extensions including framing, roofing, roof plumbing and insulation	20 m ²	611	12,220
⁷ Connection to, repair and make good existing roof	Item		14,500
⁸ New external walls (assumed 3m high)	50 m ²	728	36,400
⁹ Fill hole to lower section of West side wall of building	Budget Allowance		2,000
¹⁰ Patch and paint existing external walls (assumed 3m high)	Item		6,000
¹¹ New windows (assumed 600mm high)	4 m ²	1,500	6,000
¹² Repair and make good existing windows	Budget Allowance		3,500
¹³ Flyscreen to new windows and replace flyscreen to external front windows	Item		2,500
¹⁴ New external doors	2 No	1,500	3,000
¹⁵ Sub-total SUPERSTRUCTURE	\$598.70/m ² FECA \$598.70/m ² GFA		159,852
FITOUT			
¹⁶ Internal walls and acoustic insulation (assumed 3m high)	76 m ²	100	7,600
¹⁷ Internal screens/windows to Reception (assumed 1.5m high)	5 m ²	1,000	5,000
¹⁸ Internal doors	Item		18,000
¹⁹ Wall finishes to new walls	202 m ²	150	30,300
²⁰ Repaint existing walls internally (assumed 3m high)	496 m ²	30	14,880

31 January 2022

ELEMENTAL COST PLAN



plancost

Fully Enclosed Covered Area	267 m ²
Unclosed Covered Area	m ²
GFA (FECA + UCA)	267 m²

	Quantity	Rate	Total
²¹ Floor finishes (incl. new finish to new extension and replacement of existing floor finish)	267 m ²	150	40,050
²² Repair grout to Kinder Playroom 1 & 2	Budget Allowance		2,000
²³ Ceiling finishes to new extension	16 m ²	90	1,440
²⁴ Patch and paint existing ceiling	251 m ²	40	10,040
²⁵ Allowance for repair water damage to Toddler Room 1 & 2	Budget Allowance		2,000
²⁶ Sub-total FITOUT	\$491.80/m ² FECA \$491.80/m ² GFA		131,310
FITTINGS			
²⁷ Joinery	Item		38,000
²⁸ Special equipment	Nil		0
²⁹ Sub-total FITTINGS	\$142.32/m ² FECA \$142.32/m ² GFA		38,000
SERVICES			
³⁰ Sanitary fixtures	Item		21,000
³¹ Sanitary plumbing	Item		7,500
³² Water supply	Item		15,000
³³ Gas connections to heating system, stove, HWS and fireplaces	Excluded		0
³⁴ Mechanical services	No Work		0
³⁵ Fire protection	No Work		0
³⁶ Light and power to new extension	Item		7,000
³⁷ Communication services to new extension	Item		2,000
³⁸ Transportation	Nil		0
³⁹ Special services	Nil		0



31 January 2022

Fully Enclosed Covered Area	267 m ²
Unclosed Covered Area	m ²
GFA (FECA + UCA)	267 m ²

	Quantity	Rate	Total
40 Attendance and sundry builder's work on engineering services eg. - installation of additional stud noggings and framing - core drilling and chasing - waterproofing, sealing, corking and make good penetrations - follow up make good to finishes	Item		3,000
41 Sub-total SERVICES	\$207.87/m ² FECA \$207.87/m ² GFA		55,500
42 Alterations	Item		25,500
43 TOTAL BUILDING WORKS	\$1536.19/m ² FECA \$1536.19/m ² GFA		410,162
44 Preliminaries, overheads and profit	20.00%		83,000
45 TOTAL BUILDING COST (TBC)			493,162

EXTERNAL WORKS			
46 External demolition	Item		2,000
47 Site preparation	Item		2,000
48 Contaminated soil removal for restumping area (allow Category C)	Budget Allowance		52,000
49 Ramp step and threshold ramps	Item		3,000
50 Fences including replace west boundary fences and reinforce east boundary fences (assumed 2.1m high timber pailing fence)	Item		11,500
51 Upgrade playground facilities to enable wheelchair use	Budget Allowance		7,500
52 Shade sail with 4 posts (assume 4x5x3m high)	Item		3,000
53 Braille & tactile signage to entry	1 No	500	500
54 Sub-total EXTERNAL WORKS	\$305.24/m ² FECA \$305.24/m ² GFA		81,500

EXTERNAL SERVICES			
55 External stormwater	Item		5,000
56 External sewer	Existing		0
57 External water	Existing		0
58 External fire	Existing		0

31 January 2022

ELEMENTAL COST PLAN



plancost

Fully Enclosed Covered Area	267 m ²
Unclosed Covered Area	m ²
GFA (FECA + UCA)	267 m²

	Quantity	Rate	Total
⁵⁹ External gas	Existing		0
⁶⁰ External electrical	Existing		0
⁶¹ External communications	Existing		0
⁶² External special services	Existing		0
⁶³ Sub-total EXTERNAL SERVICES	\$18.73/m ² FECA \$18.73/m ² GFA		5,000
⁶⁴ Preliminaries, overheads and profit on external works and services	20.00%		18,000
⁶⁵ TOTAL SITEWORKS COST (TSC)			104,500