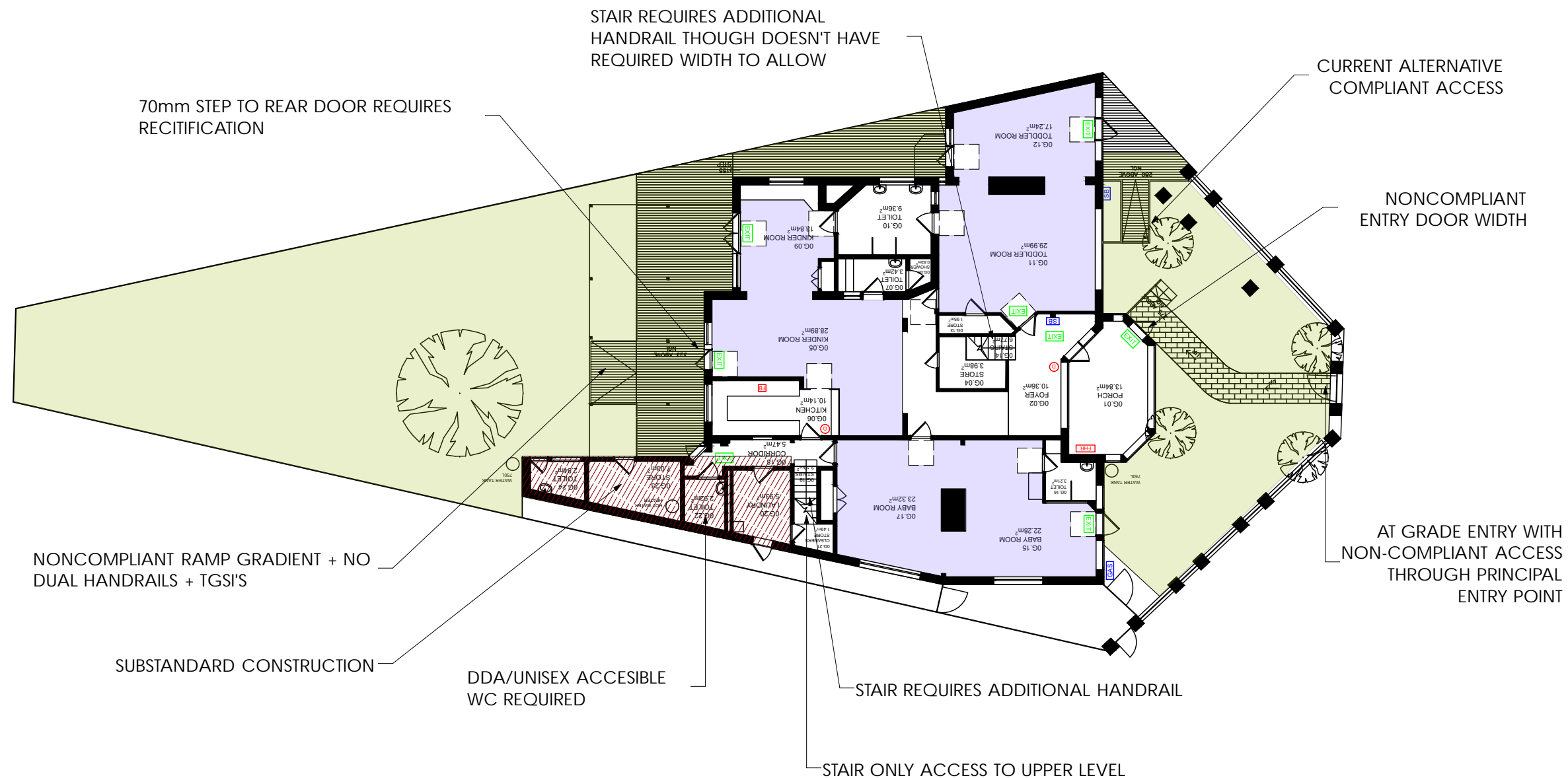


Not a development proposal.
An assessment of indicative yield.

- ALL INTERNAL DOORS WITH NON-COMPLIANT OPENING WIDTHS OF 750-770mm
- NON-COMPLIANT DOOR HARDWARE HEIGHT TO UPPER LEVEL (1150 AFL)
- GATE INTERCOM + DOORBELL TO BE LOWERED BETWEEN 900-1100 AFL.
- LIFT ACCESS TO UPPER LEVEL TECHNICALLY REQUIRED FOR CLASS 9B BUILDING.



A EXISTING CONDITIONS - DDA UPGRADE REQUIREMENTS
SCALE: NTS

FEASIBILITY ANALYSIS - 11/01/2022

A	15/01/2020	
ISSUE	DATE	REVISION

 **Gardiner
Architects**

7/252 St Georges Rd
Fitzroy North, VIC, 3068
Ph: (03) 94864092
E: info@gardinerarchitects.com.au

PROJECT: EILDON ROAD
CHILDCARE

ADDRESS: 17 EILDON RD, ST KILDA

JOB NO: 201901

TITLE: DDA UPGRADES -
EXISTING

CLIENT: CITY OF PORT PHILLIP

DRAWN BY: GA SCALE: 1:100

DRAWING NO:

SD.01

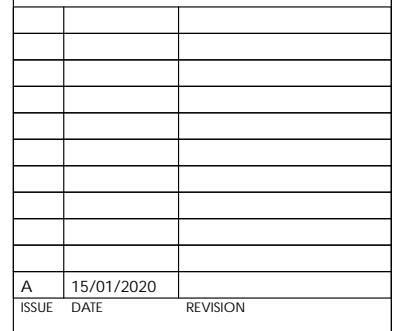


REV:

A

<u>SITE AREA</u>		
TOTAL SITE AREA	685 SQ.M	
<u>INDOOR ACTIVITY SPACE</u>		
FLOOR AREA MINUS DOOR OPENING + CRAFT SINK JOINERY		
BABY ROOM	23.5 SQ.M	7 PLACES
TODDLER ROOM	42.5 SQ.M	13 PLACES
KINDER ROOM	39 SQ.M	12 PLACES
TOTAL	105 SQ.M	32 PLACES

BUILDING AREAS	
CARPARK	= N/A
LV GR	= 276 SQ.M
LV 01	= 132 SQ.M NOMINAL
TOTAL	= 408 SQ.M



PROJECT: EILDON ROAD
CHILDCARE

ADDRESS: 17 EILDON RD, ST KILDA

JOB NO: 201901

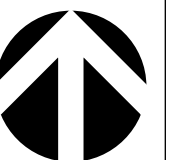
TITLE: GROUND FLOOR PLAN
- EXISTING

CLIENT: CITY OF PORT PHILLIP

DRAWN BY: GA SCALE: 1:100

DRAWING NO:

SD.02



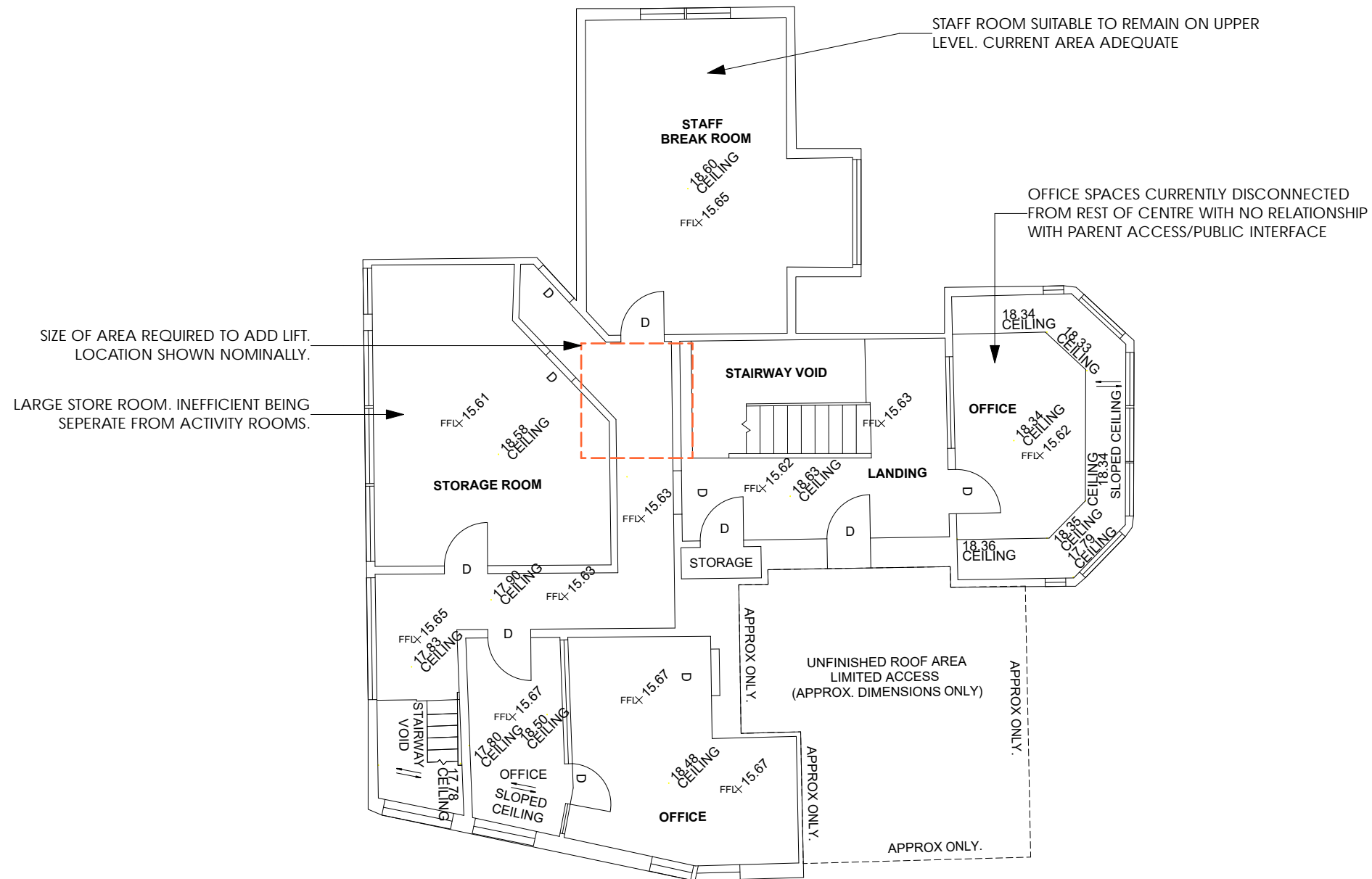
REV:

A

A INTERNAL AREA ANALYSIS - GROUND FLOOR
SCALE: 100

FEASIBILITY ANALYSIS - 11/01/2022

Not a development proposal.
An assessment of indicative yield.



- INEFFICIENT AND EXCESS SPACE FOR NON CHILD ACTIVITIES.
- IF CHILDREN SPACE UPSTAIRS, LIFT REQUIRED.
- CHILD ACTIVITY SPACE WILL REQUIRE ASSOCIATED OUTDOOR SPACE.

A	15/01/2020	
ISSUE	DATE	REVISION

Gardiner
Architects

7/252 St Georges Rd
Fitzroy North, VIC, 3068
Ph: (03) 9486 4092
E: info@gardinerarchitects.com.au

PROJECT: EILDON ROAD
CHILDCARE

ADDRESS: 17 EILDON RD, ST KILDA

JOB NO: 201901

TITLE: FIRST FLOOR PLAN -
EXISTING

CLIENT: CITY OF PORT PHILLIP

DRAWN BY: GA SCALE: 1:100

DRAWING NO:

SD.03



REV:

A

A INTERNAL AREA ANALYSIS - FIRST FLOOR
SCALE: 100

FEASIBILITY ANALYSIS - 11/01/2022

[illegible]

REAR YARD -
REFURBISHMENT REQUIRED

FRONT YARD AREA ALLOWS
FOR 14 CHILDREN

FRONT YARD CURRENTLY USED
FOR PLAY SPACE AS WELL AS
PUBLIC ENTRY. SEPERATING TWO
PREFERABLE.

- OUTDOOR AREAS EXCLUDING ANY SPACE LESS THAN 3m WIDE
- ENTRY PATH EXCLUDED.
- ASSUMED NO ADDITIONAL STORAGE REQUIRED.

A OUTDOOR AREA ANALYSIS
SCALE: 1:200

FEASIBILITY ANALYSIS - 11/01/2022

A	15/01/2020	
ISSUE	DATE	REVISION

Gardiner
Architects

7/252 St Georges Rd
Fitzroy North, VIC, 3068
Ph: (03) 9486 4092
E: info@gardinerarchitects.com.au

PROJECT: EILDON ROAD
CHILDCARE

ADDRESS: 17 EILDON RD, ST KILDA

JOB NO: 201901

TITLE: OUTDOOR AREAS -
EXISTING

CLIENT: CITY OF PORT PHILLIP

DRAWN BY: GA SCALE: 1:100

DRAWING NO:

SD.04

REV:

A



A

FEASIBILITY REPORT

rev 1

project **CoPP Eildon Road Childcare**
site 17 Eildon Road StKilda
client City of Port Phillip
date 7 Jan 2022
Job No: 202134
Site Area n/a

SCOPE OF REPORT

- Assess the implications of upgrading the buildings and grounds to comply with current regulatory standards for childcare and universal access
- Assess the likely child yield of the upgraded centre

ATTACHMENTS

1. Gardiner Architects: FS 01-05 rev A_Feasibility Analysis

SUPPORTING INFORMATION

1. 17 Eildon Rd - St Kilda Site Audit Report 14.12.21
2. 17 Eildon Rd, St Kilda - arboriculturally assessment - TreeLogic - April 2021
3. 17 Eildon Road St Kilda Building Inspection Report
4. CHS160 Eildon Road Child Care Centre OG + 01 floor plan (2017)

RESTRAINTS, ASSUMPTIONS + DISCLAIMER

1. No investigation of major services underground that may affect design and budget
2. Assume normal town planning process
3. Child yield numbers are approximate and require more detailed sketch design to finalise
4. Budget information to be provided by a quantity surveyor engaged by Council

EXISTING CONDITION

(refer FS 02, 03 Existing Condition + Site Analysis)

Generally

- o Existing two storey building has operated as a childcare centre for about 40 years
- o The building has heritage value
- o The Centre is understood to have a licenced capacity of 44 children (maximum, at any one time)

Existing Building Stock

- o The existing building is generally solid (refer reports), but requires significant repair works to stabilise walls, repair cracks etc
 - there is some substandard construction
 - the building is “tired” and requires a full refurbishment of finishes, services and facilities

Accessibility

- o The existing building does not comply with current Access for All requirements (refer SD 01)
 - access into the front is non compliant, but an alternative is thru a playroom
 - Access at the rear is non compliant
 - there is no compliant DDA toilet
 - only stair access to the upper level
 - all internal doors are non compliant widths (internal solid brick walls)

Land Usage, Topography + Vegetation

- o Irregular shaped site with little slope across the site
- o The front yard is being used as licensed outdoor play space (as well as public access)
- o The front and rear yards have significant vegetation (refer Arborist Report)
 - the large Peppercorn in the rear yard could be impacted by proposed renovations

Vehicle + pedestrian Access

- o Pedestrian only access from Eildon Road, which is a reasonably quiet suburban road
- o There is **no** on site vehicle parking (this is a significant deviation from current childcare requirements)

Adjacent Property Interfaces:

- o interfaces to adjacent properties are not highly sensitive,

Childcare Usage and Arrangements

- o there is an apparent excess of space at the upper level, which cant easily be used as child area
This would be operationally inconvenient for staff
 - o bathroom arrangements are not suitable:
 - all play rooms should have access from the outside to a supervised child toilet
- The front rooms do not comply

- the cot room to the front SE playroom effectively takes the orange coloured area and would not be considered in child yield areas
- kitchen
 - the current position is not suitable for effective operation or relate to an dining area, which would be normal in most childcare settings

Child Yield Numbers

- Refer drawing SD.02 A
- The purple area indicates current “legal” area, with deductions for door swings and standard joinery as per Childcare regulations
- **The current building would be licensed for 32 children inside and 51 outside**

REGULATORY ENVIRONMENT

Town Planning Requirements

Suitability

- There are no obvious Council restrictions to have childcare on this site, due to historical context

Zoning

- General Residential Zone
- Childcare centre would be a permitted non-residential use.

Overlays

- To be investigated
- Assumed heritage overlay, meaning higher scrutiny of any changes to the façade
 - Not assumed onerous

Carparking

- all carparking would theoretically need to be on site (0.22 cars per child), but it is assumed Council might view the historical long term operation of the centre would allow street parking to be retained (as long as numbers not increased past the current 44 children)
- 44 children requires 10 cars (including staff)

Setbacks

- not prescribed, but presumed similar to normal residential Rescode

Building Permit

- No major building permit issues envisaged

Childcare Regulations

- Current Vic childcare regulations would require a significant upgrade, including better toilet facilities and external access, access for all arrangements, a lift to the upper level

Childcare Demand

- Demand in this area and the suitability of this position to be confirmed by others

DESIGN RESPONSE TEST PLAN Refer Feasibility Analysis SD.05 A

Test Plan

The test plan is for illustrative purposes only

- Ground Level
 - added proper reception near entry to aid control and presence
 - office and meeting room upstairs, but ideally would be downstairs
 - Added central lift into the building
 - toilet facilities and adults brought up to regulation: DDA upstairs and downstairs
 - Larger rear play room, more open and easily supervised
 - Added new toilets to rear with I/S and O/S access
- Upstairs
 - upgraded laundry and toilet facilities
 - offices
 - meeting room for parent discussions/staff planning/potential out of hours community use
 - internal refurb only, not building extension required

Child Yield

- The current situation is an excess of child nos outside relative to I/S
- The proposed test plan increases indoor nos closer to outdoor numbers
- Indoor: 38 spaces. Outdoor 43 spaces.
 - This could be adjusted slightly but may imbalance toilet nos inside.

Siting + External Issues

- The odd shaped site creates visual interest, but also creates for awkward usage
(area under 3m wide is not counted in child yield nos.)
- The front yard requires separation between public access and outdoor play
- All fencing needs to be upgraded to be compliant (1.8m high, non climbable)
- Shade structures to about 30% of the outdoor space is required.

Sustainable Design

- Ideally child areas should face northerly with passive solar sunshading to maximise light
- This building does not take advantage of the north sun aspect and the rear faces the western hotter sun. Shade from vegetation is reasonable though.
- cross ventilation is reasonable only

- insulation in the existing building fabric will be poor and is not easily rectified, except for the roof
- PV electricity generation on roof is possible but not easily achieved

CONCLUSION

- The existing premises is only suitable for about 32 children at the moment
- When renovated it would appear the site will provide for about 38-40 children
- It is considered non-economic and a town planning risk to renovate upstairs for child area and associated outdoor area.
 - however, if pursued it would be assumed to be about a 50-53 place centre
- It would be considered a town planning risk to renovate for more than 44 children (existing notional numbers) from a carparking perspective.
- As the building is solid brick + originally presumably a house, with lots of corridors, it's not very cost effective to renovate (for internal works like lifts etc). But the single-story extension is relatively cost effective
- Although there has been a continued demand for the childcare facility for the last few decades, the commercial childcare industry would not normally consider numbers under about 60-70 effective to operate.
- Overall, we believe this building can be renovated into a more suitable and compliant centre. However, subject to budgets from the QS and review of alternative property acquisition, it may be prudent of Council to sell this property and purchase a more suitable property on which to build a childcare centre. This comment does not account for the history of the centre and community attitude to it.

Paul Gardiner 10th Jan 2022

City of Port Phillip
CoPP Eildon Road Childcare
17 Eildon Road, St Kilda VIC 3182

Preliminary Cost Pan

30 January 2022

Tom Temay

Property Development Associate | Property and Assets

99a Carlisle Street,

St Kilda VIC 3182

30 January 2022

City of Port Phillip

CoPP Eildon Road Childcare

17 Eildon Road, St Kilda VIC 3182

Dear Tom,

In accordance with your instructions, we have prepared a Preliminary Cost Plan based on drawings provided, and report herein the estimated total project cost as follows:

Building & Siteworks

Estimated Total Project Cost Based on Project Being Tendered in January 2024

Excluding GST

\$2,170,000.00

Exclusions

In compiling this costing, we have not allowed for the following:

- Bank charges and financing costs
- Future maintenance & replacement of equipment due to wear & tear
- Energy consumption costs
- Decanting costs
- Major upgrade to existing services
- Rainwater tanks
- Solar panels
- Retaining walls
- Rock excavation
- Contaminated soil removal
- Works to existing outdoor play space
- Works to new onsite vehicle parking
- Cost escalation beyond January 2024

We trust that this is satisfactory for your purposes at this stage.

Yours faithfully,

A handwritten signature in blue ink, appearing to read 'G. Tiong'.

Gareth Tiong

Director

Member of AIQS - MAIQS 10619

Registered Building Practitioner - QS 47529

City of Port Phillip
CoPP Eildon Road Childcare
17 Eildon Road, St Kilda VIC 3182
Preliminary Cost Pan
Summary

30 January 2022

Items		Area m2 FECA	Rate \$/m2	Estimated Cost
1.0	Demolition			\$61,577.00
2.0	Alteration & Addition to Existing Building	409.0	\$3,257.58	\$1,332,352.00
3.0	Siteworks Inc. Landscaping			\$106,071.00
Sub Total Excluding GST				\$1,500,000.00
4.0	Cost Escalation to Tender (January 2024)			\$150,000.00
Estimated Total Contract Sum Excluding GST				\$1,650,000.00
5.0	Contingency During Construction			\$165,000.00
Estimated Net Project Cost Excluding GST				\$1,815,000.00
6.0	Consultant Fees Inc. PM			\$245,000.00
Estimated Gross Project Cost Excluding GST				\$2,060,000.00
7.0	Authority Charges, Planning Permit, Building Permit & Etc.			\$50,000.00
8.0	Loose Furniture & Equipment			\$60,000.00
Estimated Total Project Cost Excluding GST				\$2,170,000.00
	Add - GST			\$217,000.00
Estimated Total Project Cost Including GST				\$2,387,000.00

Covid 19 Impact

This Cost Plan is prepared based on normal conditions and current material cost. The tender prices may be affected by unforeseeable consequences of Covid-19 pandemic such as spike in material costs, shortage of timber supply, unanticipated material delivery delay, government mandated shutdowns, on-site outbreak/ quarantine or the like.

Drawings Used

Architecture Drawing

SD.01 to SD.05

Feasibility Report

Gardiner Architects Feasibility Report

City of Port Phillip
CoPP Eildon Road Childcare
17 Eildon Road, St Kilda VIC 3182

Contact Details

Client City of Port Phillip

30 January 2022

Discipline	Consultant	Phone Number
Architect	Gardiner Architects	9486 4092
Landscape Architect	TBA	
Structure Engineer	TBA	
Civil Engineer	TBA	
Mech. & Elec. Engineer	TBA	
Hydraulic Engineer	TBA	
Quantity Surveyor	DDH Quantity Surveyors	03 9417 5505

Elemental Summary

Project: City of Port Phillip
Building: 17 Eidon Road, St Kilda

Details: 2. Preliminary Cost Plan (New Design)

Code	Description	Quantity	Unit	Rate	Total
	<u>Demolition</u>				
01	Demolition				61,577
	Sub Total Excluding GST				61,577
	<u>Building - Addition & Alteration</u>				
02	Preliminaries				161,513
03	Substructure				53,155
04	Columns				6,135
05	Staircases				33,240
06	Roof Framing, Roofing & Roof Plumbing				27,650
07	External Walls				44,875
08	Internal Walls				51,972
09	Windows, Internal Glazed Screens & Window Furnishings				88,680
10	Doors & Hardware				61,700
11	Wall Finishes				55,000
12	Floor Finishes				70,105
13	Ceiling Finishes				23,570
14	Joinery & Toilet Partitions				90,133
15	Toilet Accessories, Kitchen Appliances & Signs				40,400
16	Painting				32,720
17	Sanitary Fixtures & Plumbing				125,540
18	Electrical Services				142,064
19	Mechanical Services				51,810
20	Lift				75,000
21	Fire Protection				3,000
22	Design Variable				94,089
	Sub Total Excluding GST	409	m2	3,257.58	1,332,352
	<u>External Works</u>				
23	Siteworks inc. Landscaping				106,071
					1,500,000

Elemental Details

Project: City of Port Phillip
Building: 17 Eidon Road, St Kilda

Details: 2. Preliminary Cost Plan (New Design)

Code	Description	Quantity	Unit	Rate	Total
01	Demolition				
	<u>Preliminaries</u>				
	Preliminaries	1	item	8,032.00	8,032
	<u>Demolition Works</u>				
	Demolition works within building where required (FECA)	375	m2	110.00	41,250
	Remove existing rear deck	58	m2	60.00	3,480
	Ditto existing rear pergola	50	m2	80.00	4,000
	Ditto existing side fence & gate	3	m	80.00	240
	Sundry removal to building addition area & new rear deck area	63	m2	25.00	1,575
	<u>Asbestos Removal</u>				
	Allow for asbestos removal	1	ps	3,000.00	3,000
	Demolition				61,577
02	Preliminaries				
	<u>Preliminaries</u>				
	Preliminaries	1	item	161,513.00	161,513
	<u>Fully Enclosed Covered Area (FECA)</u>				
	FECA to ground floor alteration & addition	289	m2		
	FECA to first floor alteration area	120	m2		
	Total FECA - Ground & First Floor Alteration & Addition	409	m2		
	Preliminaries				161,513
03	Substructure				
	<u>Blinding & Pad Footing</u>				
	Blinding & reinforced concrete pad footing for lift pit	3	m3	1,000.00	3,000
	<u>Timber Floor Structure</u>				
	Investigate, potential re stump, repair & strengthen existing & potential timber floor structure	249	m2	125.00	31,125
	<u>Blinding & Concrete Ground Slab</u>				
	Blinding & reinforced concrete raft slab with mesh complete with edge beam, internal beam, 0.2 thk. vapour barrier, 50 thk. sand bed, edge form & excavation	38	m2	400.00	15,200
	Allow for drill, dowel bars & epoxy	1	item	2,500.00	2,500
	<u>Termite Treatment</u>				
	Allow for termite treatment	38	m2	35.00	1,330
	Substructure				53,155

Elemental Details

Project: City of Port Phillip
Building: 17 Eidon Road, St Kilda

Details: 2. Preliminary Cost Plan (New Design)

Code	Description	Quantity	Unit	Rate	Total
04	Columns				
	<u>Columns & Double Studs</u>				
	Allow for columns & double studs where required (FECA)	409	m2	15.00	6,135
	Columns				6,135
05	Staircases				
	<u>Staircases</u>				
	Modify existing central staircase & additional handrail as required or rebuild new staircase	1	item	25,000.00	25,000
	Additional handrail as required to South staircase	1	item	2,000.00	2,000
	Allow for stair nosing stair 1 & 2	2	item	1,620.00	3,240
	Allow for enclosed stair soffit or barrier	1	item	3,000.00	3,000
	Staircases				33,240
06	Roof Framing, Roofing & Roof Plumbing				
	<u>Repair Works</u>				
	Repair existing fascia board around building where required	1	item	3,250.00	3,250
	<u>Roof Framing</u>				
	Retain existing roof framing		note		
	New roof framing to building addition area	38	m2	300.00	11,400
	<u>Roofing</u>				
	Retain existing main roofing		note		
	New roof to building addition area	38	m2	250.00	9,500
	<u>Roof Plumbing</u>				
	Retain existing roof plumbing		note		
	New roof plumbing to building addition area	1	item	3,500.00	3,500
	Roof Framing, Roofing & Roof Plumbing				27,650
07	External Walls				
	<u>Repair Works</u>				
	Repair existing external wall & architrave where required	1	item	12,500.00	12,500
	<u>External Walls</u>				
	150 Thk. external wall	27.15	m	1,000.00	27,150
	<u>Lintels, Wall Bracings & Architraves</u>				
	Allow for lintels, wall bracings, architraves & etc.	1	item	5,225.00	5,225
	External Walls				44,875

Elemental Details

Project: City of Port Phillip
Building: 17 Eidon Road, St Kilda

Details: 2. Preliminary Cost Plan (New Design)

Code	Description	Quantity	Unit	Rate	Total
08	Internal Walls				
	<u>Repair Works</u>				
	Repair existing internal wall & architrave where required	1	item	4,500.00	4,500
	<u>Internal Walls</u>				
	Infill existing door opening in 140 thk. wall	2.61	m	600.00	1,566
	120 Thk. internal wall partition	43.19	m	255.00	11,013
	<u>Lift Shaft Walls</u>				
	170 Thk. lift shaft wall	8.24	m	2,500.00	20,600
	Wall lining to above	8.24	m	700.00	5,768
	<u>Lintels, Wall Bracings & Architraves</u>				
	Allow for lintels, wall bracings, architraves & etc.	1	item	8,525.00	8,525
	Internal Walls				51,972
09	Windows, Internal Glazed Screens & Window Furnishings				
	<u>Windows</u>				
	Repair or replace existing timber windows/ panels where required	1	item	10,000.00	10,000
	New fixed/ sliding window	10.42	m	2,200.00	22,924
	New bi-fold window	2.60	m	2,700.00	7,020
	<u>Internal Glazed Screens</u>				
	New internal glazed screen	17.87	m	1,720.00	30,736
	<u>Window Furnishings</u>				
	Allow for window furnishings	1	item	18,000.00	18,000
	Windows, Internal Glazed Screens & Window Furnishings				88,680
10	Doors & Hardware				
	<u>External Doors</u>				
	Single swing glazed door, frame & hardware	5	no.	2,500.00	12,500
	Single swing door, frame & hardware	2	no.	1,200.00	2,400
	Double swing glazed door, frame & hardware	1	no.	4,800.00	4,800
	<u>Internal Doors</u>				
	Single swing glazed door, frame & hardware	5	no.	2,500.00	12,500
	Single swing door, frame & hardware	10	no.	1,200.00	12,000

Elemental Details

Project: City of Port Phillip
Building: 17 Eidon Road, St Kilda

Details: 2. Preliminary Cost Plan (New Design)

Code	Description	Quantity	Unit	Rate	Total
10	Doors & Hardware	<i>(Continued)</i>			
	Single sliding cavity door, frame & hardware	2	no.	1,250.00	2,500
	<u>Door Control System</u>				
	Allow for door control system	1	item	15,000.00	15,000
	Doors & Hardware				61,700
11	Wall Finishes				
	<u>Wall Covering</u>				
	Allow for wall vinyl / wall tiles/ splashback & waterproofing	1	item	55,000.00	55,000
	Wall Finishes				55,000
12	Floor Finishes				
	<u>Repair Works</u>				
	Investigate, repair & make good existing floor surface	368	m2	20.00	7,360
	<u>Floor Covering</u>				
	Floor covering to ground & first floor	409	m2	115.00	47,035
	Waterproofing to wet area	71	m2	35.00	2,485
	Tactile indicators to stair 1 & 2	1	item	3,000.00	3,000
	<u>Skirtings</u>				
	Skirtings (FECA)	409	m2	25.00	10,225
	Floor Finishes				70,105
13	Ceiling Finishes				
	<u>Repair Works</u>				
	Repair rotted eaves around building where required	1	item	3,000.00	3,000
	Make good to existing ceiling where required	290	m2	35.00	10,150
	Repair or replace ceiling to porch entry area	14	m2	100.00	1,400
	<u>Ceiling Linings</u>				
	New plasterboard ceiling lining	13	m2	100.00	1,300
	New moisture resistant plasterboard ceiling lining	51	m2	120.00	6,120
	<u>Ceiling Insulation</u>				
	Allow for new ceiling insulation	64	m2	25.00	1,600
	Ceiling Finishes				23,570
14	Joinery & Toilet Partitions				
	<u>Ground Floor Joinery</u>				
	Toddler Room				

Elemental Details

Project: City of Port Phillip
Building: 17 Eidon Road, St Kilda

Details: 2. Preliminary Cost Plan (New Design)

Code	Description	Quantity	Unit	Rate	Total
14	Joinery & Toilet Partitions	<i>(Continued)</i>			
	600 Deep bench cupboard	1.80	m	1,180.00	2,124
	Reception				
	740 Deep reception desk	3.37	m	3,000.00	10,110
	500 Deep bench cupboard & overhead cupboard or full height storage cupboard	2.61	m	1,575.00	4,111
	Baby Room				
	600 Deep bench cupboard	1.80	m	1,180.00	2,124
	Bathrooms				
	900 Deep bench cupboard/ nappy changing table	10.06	m	1,650.00	16,599
	Kitchen & Pantry				
	700 Deep bench cupboard	9.15	m	1,340.00	12,261
	Allow overhead cupboard	4.66	m	775.00	3,612
	500 Deep pantry	2.97	m	1,575.00	4,678
	 <u>First Floor Joinery</u>				
	Corridor				
	600 Deep storage cupboard	1.89	m	1,740.00	3,289
	Laundry				
	600 Deep bench cupboard	1.92	m	1,180.00	2,266
	600 Deep storage cupboard	1.77	m	1,740.00	3,080
	Office				
	600 Deep work bench	7.83	m	560.00	4,385
	Staff Break Room				
	690 Deep bench cupboard	2.01	m	1,325.00	2,663
	690 Deep fridge alcove	0.71	m	1,400.00	994
	500 Deep bench seat/ table or similar	4.42	m	650.00	2,873
	490 Deep locker	2.20	m	1,640.00	3,608
	Allow overhead cupboard	2.01	m	775.00	1,558
	 <u>Pinboards & Whiteboards</u>				
	Allow for pinboards & whiteboards	1	item	5,000.00	5,000
	 <u>Toilet Divider Partitions</u>				
	740 Long toilet divider partition in bathroom	8	no.	600.00	4,800
	Joinery & Toilet Partitions				90,133
15	Toilet Accessories, Kitchen Appliances & Signs				
	<u>Toilet Accessories</u>				
	Toilet accessories	1	item	22,000.00	22,000

Elemental Details

Project: City of Port Phillip
Building: 17 Eidon Road, St Kilda

Details: 2. Preliminary Cost Plan (New Design)

Code	Description	Quantity	Unit	Rate	Total
15	Toilet Accessories, Kitchen Appliances & Signs	(Continued)			
<u>Kitchen Appliances</u>					
	Kitchen appliances - cooktop, dishwashers & oven	1	item	15,000.00	15,000
	Fridges & microwave by others		note		
	Kitchen exhaust - Refer to Mechanical Services section		note		
<u>Internal Signs</u>					
	Internal signs	1	item	3,400.00	3,400
	Toilet Accessories, Kitchen Appliances & Signs				40,400
16	Painting				
<u>Internal & External Painting</u>					
	Internal external painting where required (FECA)	409	m2	80.00	32,720
	Painting				32,720
17	Sanitary Fixtures & Plumbing				
<u>Repair Works</u>					
	Investigate, test & repair plumbing	1	item	2,500.00	2,500
<u>Sanitary Fixtures & Taps Inc. Internal Water Services & Internal Sewer Drains</u>					
<u>Ground Floor</u>					
Bathrooms					
	Junior toilet suite & stop cock	6	no.	2,900.00	17,400
	Wall basin & mixer	6	no.	2,150.00	12,900
	Single bowl sink insert & mixer	4	no.	3,000.00	12,000
	Shower set	1	no.	2,650.00	2,650
	Floor waste gully	1	item	1,500.00	1,500
Toddler Room					
	Single bowl sink insert & mixer	1	no.	3,000.00	3,000
Baby Room					
	Single bowl sink insert & mixer	1	no.	3,000.00	3,000
DDA Toilet					
	Disabled toilet suite & stop cock	1	no.	4,000.00	4,000
	Wall basin & mixer	1	no.	3,100.00	3,100
	Allow for shower set	1	no.	2,650.00	2,650
	Floor waste gully	1	item	750.00	750
Kitchen					
	Double bowl kitchen sink & mixer	1	no.	3,700.00	3,700
	Floor waste gully	1	item	750.00	750

Elemental Details

Project: City of Port Phillip
Building: 17 Eidon Road, St Kilda

Details: 2. Preliminary Cost Plan (New Design)

Code	Description	Quantity	Unit	Rate	Total
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17 Sanitary Fixtures & Plumbing

(Continued)

First Floor

Staff Break Room

Single bowl kitchen sink & mixer	1	no.	3,000.00	3,000
Floor waste gully	1	item	750.00	750

Laundry

Laundry sink insert & mixer	1	no.	3,700.00	3,700
Washing machine taps (Hot & cold)	1	no.	940.00	940
Cleaner sink & mixer	1	no.	3,700.00	3,700
Floor waste gully	1	item	750.00	750

DDA Toilet

Disabled toilet suite & stop cock	1	no.	4,000.00	4,000
Wall basin & mixer	1	no.	3,100.00	3,100
Allow for shower set	1	no.	2,650.00	2,650
Floor waste gully	1	item	750.00	750

Hot Water Services

Hot water services	22	point	450.00	9,900
Allow for new hot water unit	1	item	5,000.00	5,000

Boiling/ Chilled Water Tap Units

Allow for boiling/ chilled water tap unit	2	no.	6,200.00	12,400
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Drinking Fountains

Allow for drinking fountains	1	item	5,000.00	5,000
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Sanitary Fixtures & Plumbing

125,540

18 Electrical Services

Upgrade Works

Upgrade switchboard & reconfigure lighting, power, data & etc. (FECA)	409	m2	260.00	106,340
Intercom to entrance	1	no.	2,000.00	2,000
Hearing augmentation	1	item	20,000.00	20,000

Testing, Commissioning & Etc.

Testing, commissioning & etc.	1	item	3,200.00	3,200
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Builder's Works & Coordination

Builder's works & coordination	1	item	10,524.00	10,524
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Electrical Services

142,064

Elemental Details

Project: City of Port Phillip
Building: 17 Eidon Road, St Kilda

Details: 2. Preliminary Cost Plan (New Design)

Code	Description	Quantity	Unit	Rate	Total
19	Mechanical Services				
	<u>Repair Works</u>				
	Allow for repair or replace existing heaters	1	item	4,000.00	4,000
	<u>Air Conditioner & Exhaust System</u>				
	Potential to upgrade air conditioner	1	item	30,000.00	30,000
	Kitchen exhaust system	1	item	2,500.00	2,500
	Toilet exhaust system (FECA)	54	m2	150.00	8,100
	<u>Testing, Commissioning & Etc.</u>				
	Testing, commissioning & etc.	1	item	2,500.00	2,500
	<u>Builder's Works & Coordination</u>				
	Builder's works & coordination	1	item	4,710.00	4,710
	Mechanical Services				51,810
20	Lift				
	<u>Passenger Lift</u>				
	Passenger lift to serve 2 floors	1	item	70,000.00	70,000
	Builder's works & coordination	1	item	5,000.00	5,000
	Lift				75,000
21	Fire Protection				
	<u>Fire Protection</u>				
	Allow for fire protection	1	item	3,000.00	3,000
	Fire Protection				3,000
22	Design Variable				
	<u>Design Variable</u>				
	Allow for variance in design during documentation development	1	item	94,089.00	94,089
	Design Variable				94,089
23	Siteworks inc. Landscaping				
	<u>Preliminaries</u>				
	Preliminaries	1	item	12,578.00	12,578
	<u>Clear Site</u>				
	Clear site as required	71	m2	10.00	710
	<u>Bulk Cut & Fill</u>				
	Bulk cut & fill to building addition area (GFA)	38	m2	50.00	1,900
	Ditto to rear deck	33	m2	30.00	990

Elemental Details

Project: City of Port Phillip		Details: 2. Preliminary Cost Plan (New Design)			
Building: 17 Eidon Road, St Kilda					
Code	Description	Quantity	Unit	Rate	Total
23	Siteworks inc. Landscaping	<i>(Continued)</i>			
	<u>Existing Front Deck</u>				
	Works to existing front deck to compliant	1	item	8,000.00	8,000
	<u>Rear Deck</u>				
	New rear deck to compliant	33	m2	750.00	24,750
	<u>Shade Structure</u>				
	Shade structure (30% of rear outdoor space)	1	item	30,000.00	30,000
	<u>Soft Landscaping</u>				
	New soft landscape after partial existing building demolish & make good where required	1	item	2,500.00	2,500
	<u>Sundry Repair Works</u>				
	Sundry repair works	1	item	15,000.00	15,000
	<u>Design Variable</u>				
	Allow for variance in design during documentation development	1	item	9,643.00	9,643
	Siteworks inc. Landscaping				106,071