

1 GROUND FLOOR PLAN - EXISTING
1:100

EXISTING



no.	revision	date

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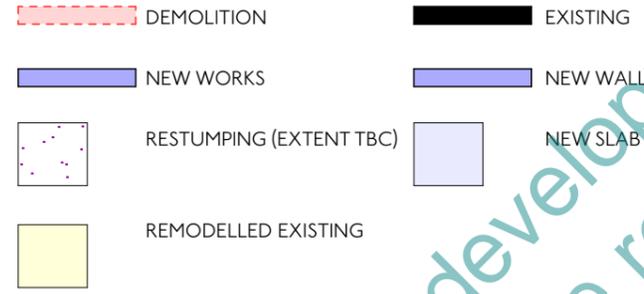
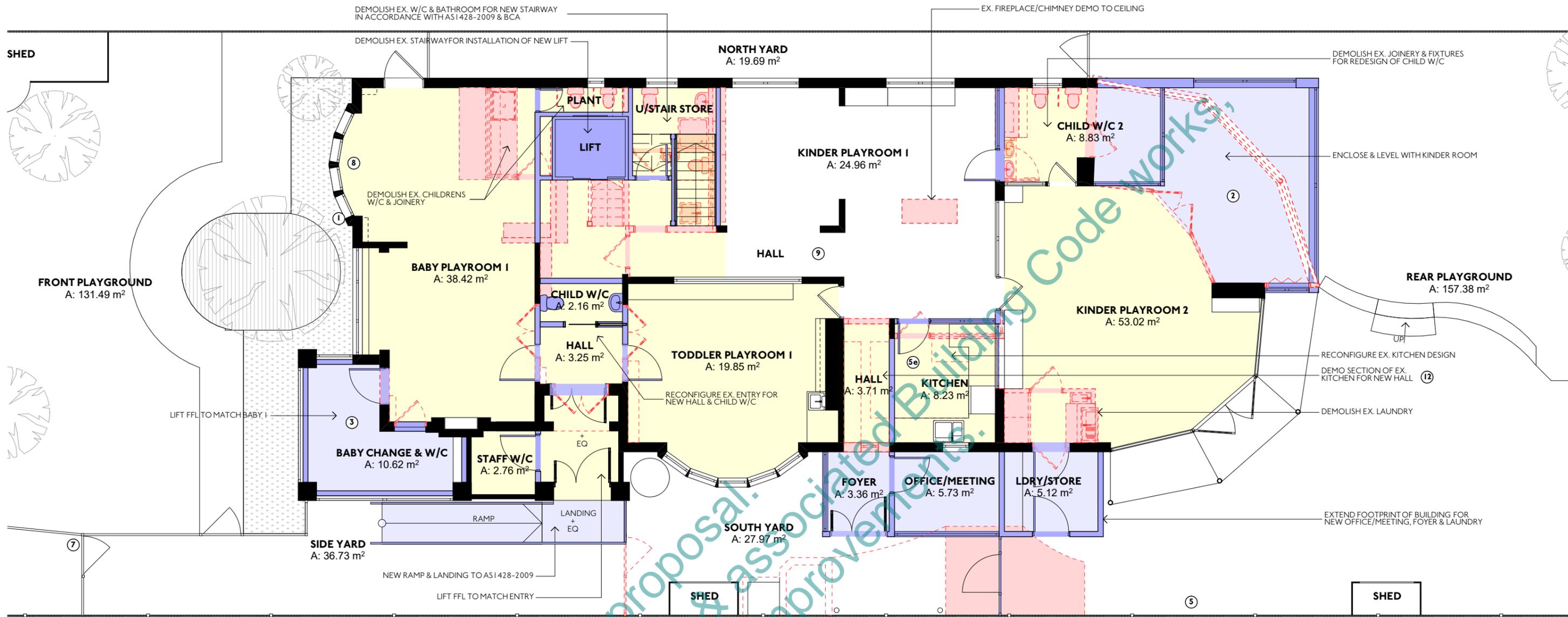


CLIENT DETAILS
CITY OF PORT PHILLIP
ADDRESS
99A CARLISLE STREET,
ST KILDA, 3182



PROJECT
CITY OF PORT PHILLIP
CONDITION AUDITS
46 TENNYSON STREET,
ELWOOD 3184
PROJECT NUMBER
1614

DRAWING
GROUND FLOOR PLAN
- EXISTING
Scale: AS SHOWN @ A3
Date: 16/06/2016
FS02.0



No.	REPAIR DETAIL
1.	Repair & replace missing/damaged shingles to front facade of building
2.	Repair roof over verandah to rear of Kinder Playroom 2
3.	Replace wallpaper/repaint ceiling to first floor storeroom
4.	Repair minor damage & holes to building
5.	Replace external fencing panels to boundary fences
6.	Replace panels to exterior windows where gaps/rotting have occurred
7.	Reposition/replace front entrance gate button to more accessible location
8.	Replace flyscreen to external front windows
9.	Repair water damage to ceiling & walls to centre of building & repaint where required
10.	Repair & repaint cracked walls throughout building
11.	Repair jamming window frames where required
12.	Level area with full turf coverage to rear verandah to fix uneven surfaces
13.	Investigate & repair damp issues to existing building subfloor & rectify the issue as necessary

No.	UPGRADE DETAIL
1a.	Programmed repaint of walls
2b.	Programmed inspection of subfloor to inspect possible damp issues
3c.	Programmed repaint of windows
4d.	Upgrade signage to front of building
5e.	Install low-height section in kitchen for wheelchair use

1 GROUND FLOOR PLAN - DESIRED
1:100

DESIRED



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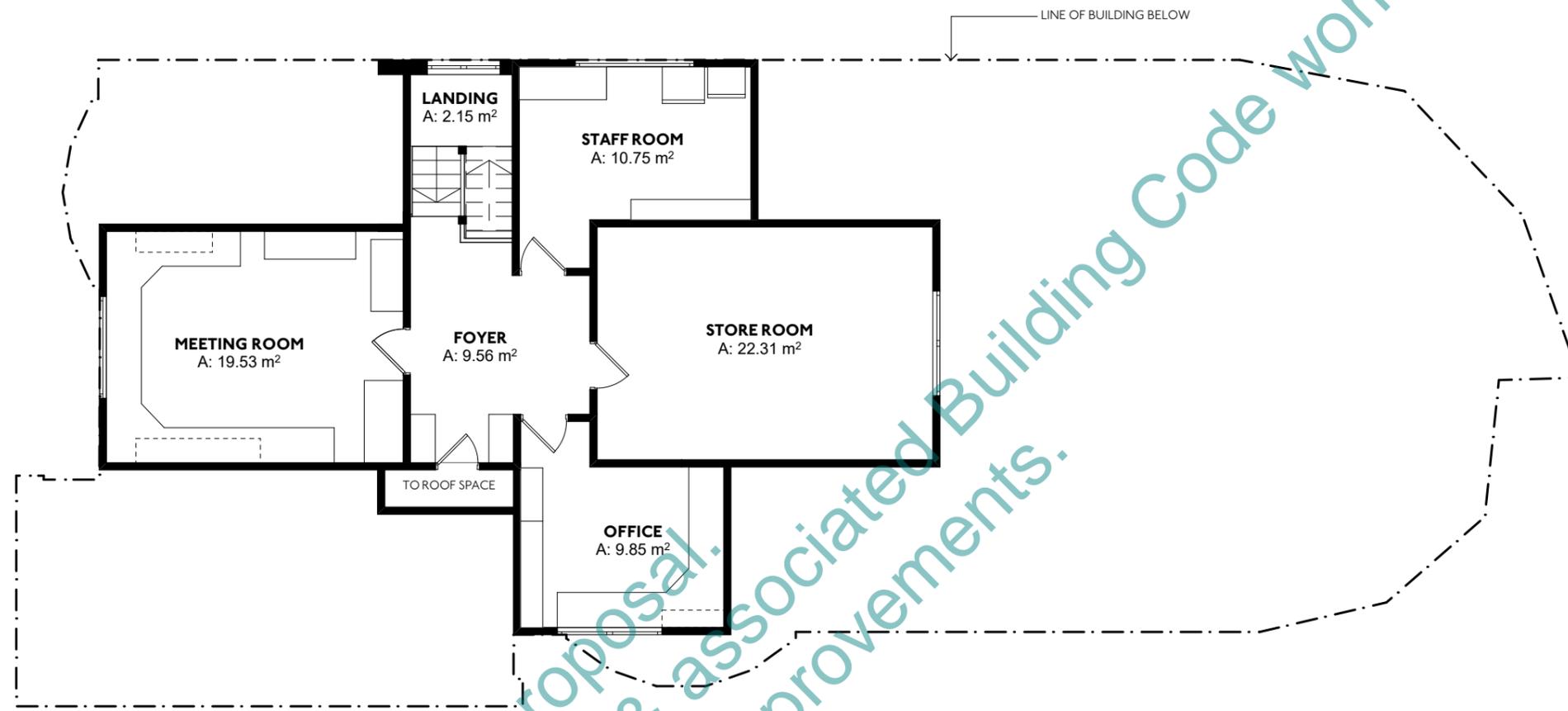


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- DESIRED
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FS02.1B



1 FIRST FLOOR PLAN - EXISTING
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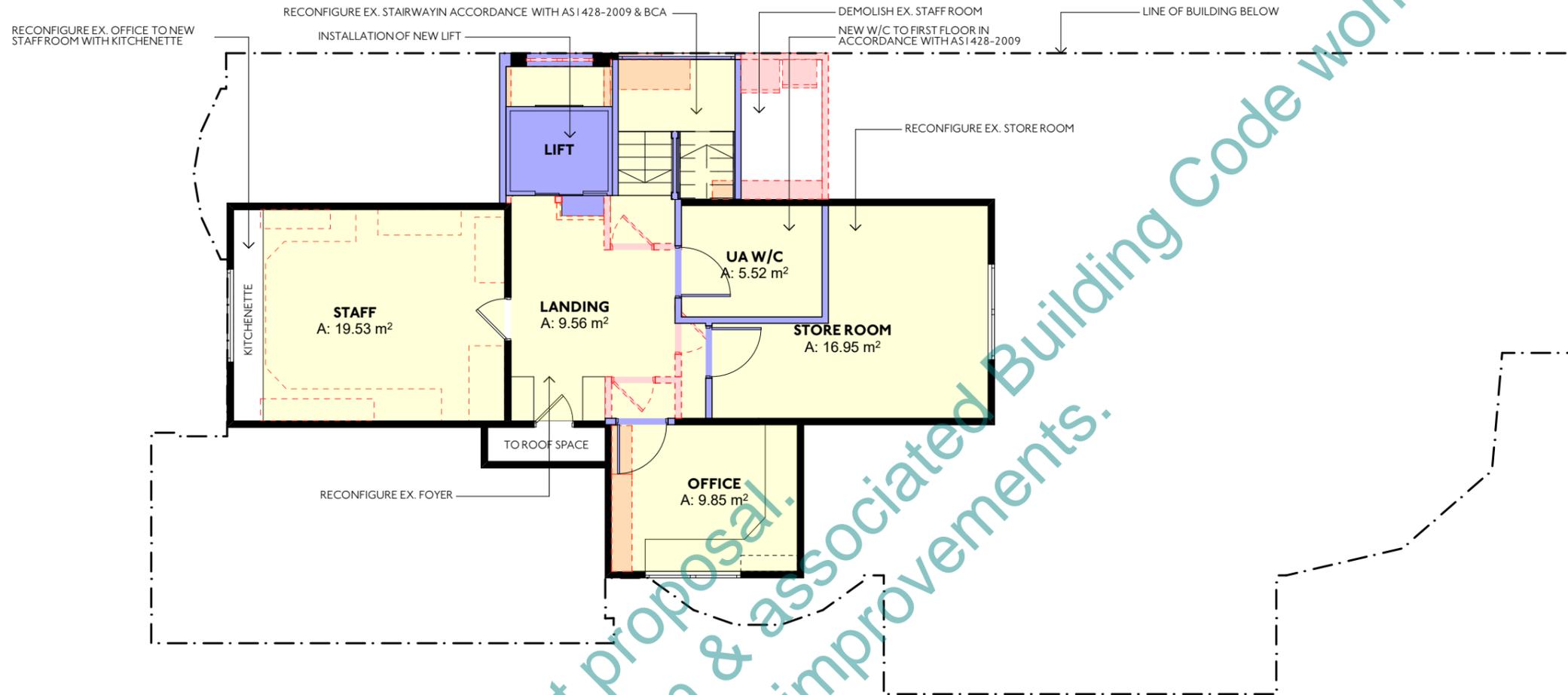


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DRAWING
FIRST FLOOR PLAN -
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FS02.2



DEMOLITION
 EXISTING
 NEW WORKS
 NEW WALL
 RESTUMPING (EXTENT TBC)
 NEW SLAB
 REMODELLED EXISTING

No.	REPAIR DETAIL
1.	Repair & replace missing/damaged shingles to front facade of building
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FS02.3B



**Children Services Program
WORKING GROUP – TECHNICAL MEETING
ELWOOD CHILD CARE CENTRE**



MINUTES: 10 MAY 2016

**010:00AM – 11:30AM, Emerald Room, St Kilda Town Hall
Offices**

PARTICIPANTS:

Attendees	Role	Attendance or delegate
Joe Gangi	Chair – Building Options Study Coordinator	<i>Present</i>
Anthony Gionfriddo	Architect, Architecture Matters P/L	<i>Present</i>
Mark Thompson	Manager Asset Planning & Property	<i>Present</i>
Janelle Bryce	Manager, Family, Youth, Children	<i>Present</i>
Vanessa	Elwood Child Care Centre	<i>Present</i>
Ness	Elwood Child Care Centre	<i>Present</i>
Kass	Elwood Child Care Centre	<i>Present</i>
Accompanying Documentation		
None		

AGENDA ITEMS:

Item #	Description	Action	Date
1	Introductions		
2	<p>Centre Capacity and General Discussion</p> <p>The centre is currently licenced for 39 children and is running almost at 35</p> <p>The current (and typical) ratio is as follows:</p> <ul style="list-style-type: none"> • 13 - Kinder children (>4 yrs) • 10 – (3 – 4 yrs) • 4 - Toddlers (2 – 3 yrs) • 8 - Babies (0 – 2 yrs) <p>Note: Elwood does not have any desire to increase the numbers / capacity as it currently services a niche market.</p> <p>Currently the back garden is used by the Kinder kids and 3- 4 yrss while the front garden is used by the Toddlers and Babies.</p>	Note	
3	<p>Techer Numbers - the current numbers are as follows:</p> <ul style="list-style-type: none"> • Kinder children (>4 yrs) = 2 • (3 – 4 yrs) = 1 • Toddlers (2 – 3 yrs) = 2 • Babies (0 – 2 yrs) = 2 • Admin staff – 2 – 3 (varies) • Educators – 2 – 3 (varies) • Cook - 1 <p>Total staff number = 12 - 14</p>	Note	

Functional requirements/preferences of tenant, at Item 5 & 6, considered in preparing the indicative plan of works.



**Children Services Program
WORKING GROUP – TECHNICAL MEETING
ELWOOD CHILD CARE CENTRE**



MINUTES: 10 MAY 2016

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Offices**

Item #	Description	Action	Date
4	<p>Child / Area Ratios</p> <p>The Education and Care Services National Regulations requires 3.5sqm of unencumbered space inside and 7sqm outside.</p> <p>The current internal floor area will need to be confirmed but external appears to exceed the requirement.</p>	Note	
5	<p>DDA Issues</p> <p>The following items were raised by The Avenue:</p> <ul style="list-style-type: none"> Stairway is narrow and steep and is difficult for an existing staff member with disabilities (on maternity leave) to use No DDA facilities or office space on ground level <p>JG to check the handrail permit/dispensation issued with Building Solutions</p>	Note JG	ASAP
6	<p>Elwood Requirements – Desired</p> <p>The following items were raised for inclusion in scope as ‘desired’ items:</p> <ul style="list-style-type: none"> Flexible floor space enabling alteration to spaces to accommodate changes in children numbers. Office space downstairs for meeting/planning/DDA. Ideally this would be centrally located for visibility for entrance – similar to St Kilda / Balaclava Kinder. Possible consideration for a reception desk Possibility of converting the Kinder space into an internal area with openable doors to access the backyard. Visibility of the toilets in the kinder area to be improved from the backyard. Reconfigure staircase and look at the possibility of a personnel lift. Possibility of relocating the kitchen to the opposite side so that all amenities are on the same side leaving space for additional child area improving access to front and back yards and also to possible admin area and reception. Improve flow from all areas to amenities and playgrounds as well as entrance space. Current control point is within the play area at front and poses a security risk – concept to eliminate this. 	Note	
7	<p>Next Meeting</p> <p>JG advised that Elwood will be consulted further upon development of the concept options. This will be an opportunity to review and input into the desired state outcomes.</p>	Note	

Functional requirements/preferences of tenant, at Item 5 & 6, considered in preparing the indicative plan of works.

3.00 TENNYSON STRET- ELWOOD CHILDCARE CENTRE

3.01 Electrical Services

3.01.01 Power

The general switchboard, power and lighting reticulation is in average condition. The switchboard is required to be upgraded to comply with current AS3000 regulations for RCD protection.

For the installation of the proposed lift, the existing MSB would need to be replaced with a potential electrical supply upgrade.

Existing wiring to be modified to suit proposed modifications.

3.01.02 Lighting

Typically, the lighting throughout the facility is average to poor condition.

The scope of works proposed to replace lighting to modified/new areas including;

- Kitchen
- Hall/Foyer
- Office/Meeting
- WC areas
- Playroom 2 Extension area
- New Baby Change & WC's

3.01.03 Emergency Lighting

Currently there is no emergency lighting test switch. With the proposed MSB upgrade, an emergency lighting test switch is proposed to be provided. Existing fittings where currently compliant shall be retained, new emergency lighting to be provided where required.

3.01.04 Communication Systems

Communications systems are proposed to be retained and modified where required to suit new proposed layout.

3.02 Hydraulic Services

3.02.01 Cold Water Supply

The cold water supply and reticulation is proposed to be retained, modified and extended to suit new laundry, new WC locations and extension, baby change.

3.02.02 Sewer Service

The existing sewer is proposed to be modified and extended to suit the proposed WC's, baby change area and new laundry space.

3.02.03 Domestic Hot Water System

The existing gas fired hot water system is proposed to be maintained with pipework modified to serve all required fixtures including new fixtures.

3.02.04 Rainwater Service

The existing rainwater system is proposed to be retained.

3.03 **Mechanical Services**

3.03.01 Cooling & Heating Systems

The facility is served by numerous split systems of varying age and condition. Where possible the existing A/C units and condenser units are proposed to be retained to serve the existing areas.

The new office/meeting room is proposed to be provided with a new split system.

3.03.02 Ventilation

The building is proposed to be retained as a naturally ventilated building throughout. The existing rangehood is proposed to be relocate to suit the new kitchen layout.

The new WC areas at ground and first floor, laundry and baby change areas are proposed to be provided with extract ventilation.

Indicative remediation & associated Building Code work with (limited) functional improvements

3 46 Tennyson st, Elwood

3.1 General

The building at 46 Tennyson st, Elwood is a double storey building, with solid brick walls, a mixture of single brick and lightweight internal ground floor walls, lightweight first floor walls and tiled roof. This building also has a previous single storey extension to the back of the building, with lightweight roof & walls, and slab on ground.

3.2 Previous investigations

Previous report and investigations have been undertaken by Wood & Grieve Engineers in October 2013. The report provided noted that the building is in generally good condition. The main concern was rising damp in some areas of the building, as well as inadequate connections of the pergola (which has been enclosed to form an internal room) to the existing building.

3.3 Geotechnical reports

A geotechnical investigation was undertaken as part of the additional investigations at the site by Civil Test Pty Ltd on 28th May 2016, and a copy of their report is attached in Appendix A.

The site has been classified as Class M in accordance with AS2780. The existing strip footing exposed varied from 350-500 deep and is founded in silty clay/silty sand. To satisfy the current standard, for articulated full masonry in Class M sites, the footing should be 600 deep. Therefore the existing footings are not in accordance with the current standard.

3.4 Observations

The building at 46 Tennyson st, Elwood is in generally good condition. While the footings are not in accordance with current standards, the masonry is in good condition with only minor cracking.

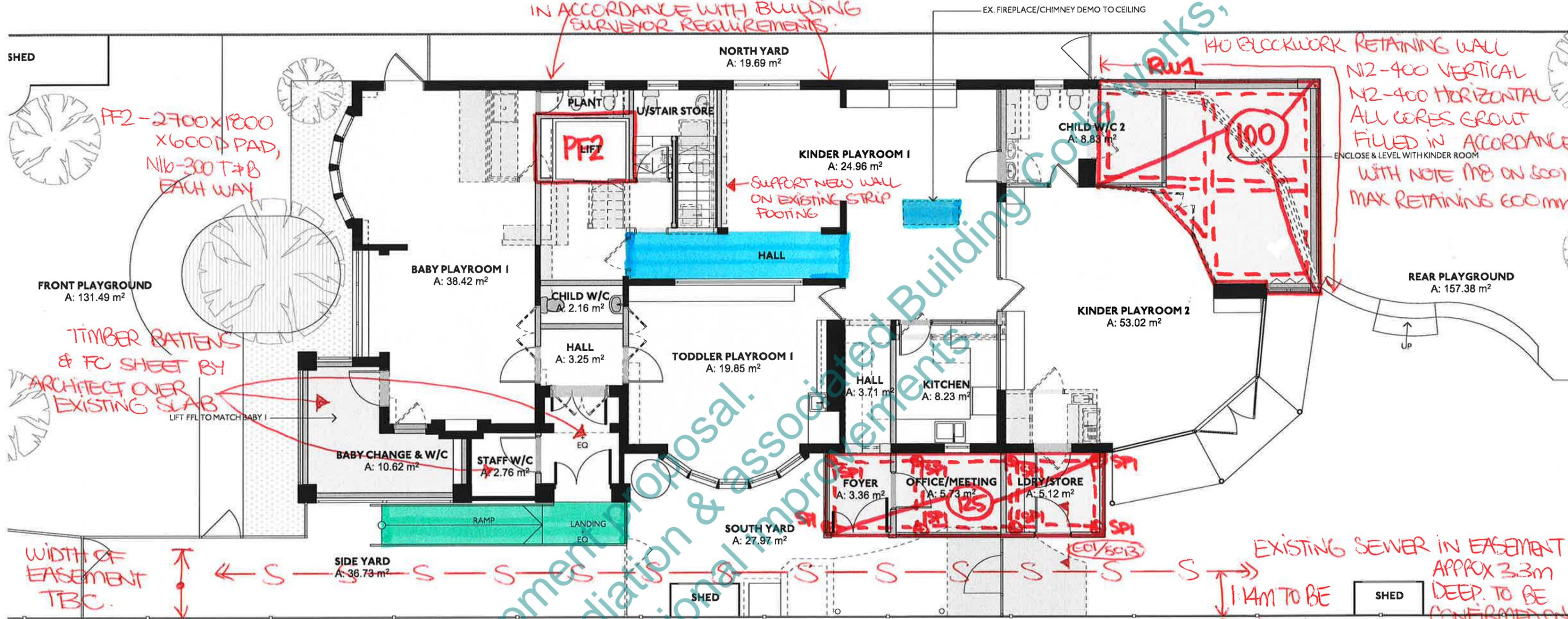
Additional investigation was undertaken, and the timber floor throughout the hall area needs to be re-stumped and sub-floor ventilation added, as shown on the structural sketches

provided. The issues with rising damp are likely due to a lack of subfloor ventilation in addition to low clearance between the existing floor joists and the natural ground. The floor in the hall section of the building is to be re-stumped, and subfloor vents are to be provided along the northern side of the building.

Another area of concern is a section of the roof from a previous extension, which appears to have been originally only a pergola type structure, to which cladding was later added. This area of the extension is to be removed and replaced with new slab, short retaining wall, lightweight walls and roof in accordance with the sketches provided. Other aesthetic and functional changes proposed by the architect are also documented on sketches S007 through S013.

a development proposal.
indicative remediation & associated Building Code work
with (limited) functional improvements.

Rev 1 - 3/6/16 - PRELIMINARY ISSUE
 Rev 2 - 8/6/16 - PRELIMINARY ISSUE
 Rev 3 - 10/6/16 - PRELIMINARY PRICING ISSUE



- DENOTES CONCRETE RAMP, SLAB TOP & SIDES, 30 COVER, ON 0.2mm POLYTHENE MEMBRANE (LAPPED 200 AND TAPED AT JOINTS) OVER 50mm CRUSHED POLK REFER TO GENERAL NOTES FOR SUBGRADE PREPARATION.
- 125 - 125 THICK CONCRETE SLAB, SLAB TOP & BOTTOM, 30 COVER, ON 0.2mm POLYTHENE MEMBRANE (LAPPED 200 AND TAPED AT JOINTS) OVER 50mm COMPACTED PACKING SAND. SLAB BEAMS TO BE 300w x 400d, 3U11M TOP & BOTTOM.
- 100 - 100 RAFT SLAB, SLAB TOP, 30 COVER, ON 0.2mm POLYTHENE MEMBRANE (LAPPED 200 AND TAPED AT JOINTS) OVER 50mm COMPACTED PACKING SAND, SLAB BEAMS TO BE 300w x 300d, 3U11M BOTTOM.
- SPI - 25kN SWL SCREW PILE, HOT DIPPED GALVANISED. FOUNDED MIN 2500mm BELOW GROUND LEVEL AND 1000mm INTO NATURAL SOIL, WHICHEVER IS DEEPER.
- NEW TIMBER FLOOR 90x45 F7 KDHW JOISTS AT 450 C/S, 1500 MAX SPAN 90x90 F7 KDHW BEARERS 1600 MAX SPAN ON 100x100 CONCRETE STUMPS WITH 400x400 X200 DEEP PAD.

160214-SO10
 1 GROUND FLOOR PLAN - DESIRED
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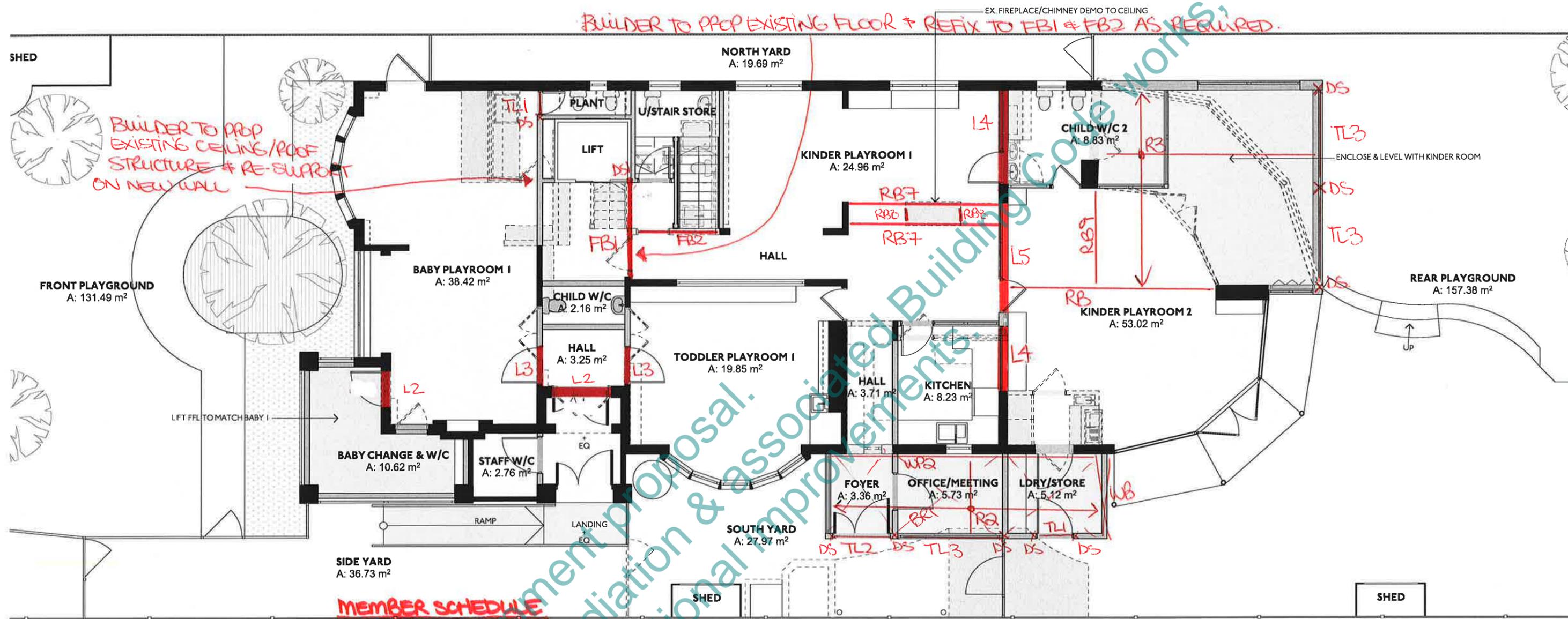
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 Rev 2 - 10/6/16 - PRELIMINARY PRICING ISSUE

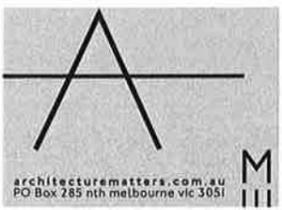


MEMBER SCHEDULE

- RB7 - 200 PFC, WALL CONNECTION LEFT END, TYPE 2 CONNECTION RIGHT END
- RB8 - 200 PFC, TYPE 2 CONNECTION EACH END
- L2 - 150UB14+10PL, 200 MIN END BEARING I
- L4 - 150UB14+10PL, 200 MIN END BEARING I
- L5 - 120UB18+10PL, 200 MIN END BEARING I
- R2 - 130x42 LVL5, AT 600 CTS
- WP2 - 130x42 LVL5, MR CHEMSET TO BLOCKWALL AT 600 CTS
- TL1 - 90x45 MGP10
- TL2 - 130x42 LVL5
- TL3 - 150x42 LVL5
- WB - WALL STRAP BRACE, REFER DETAIL ON S013

- DS - 2/90x45 MGP10
- L3 - 150PFC, MINIMUM 200 END BEARING
- FBI - 2/300x42 LVL5, NAIL LAMINATED
- DS1 - 2/90x45 F7 KDHW
- FB2 - 2/200x42 LVL5, NAIL LAMINATED.
- R3 - 240x42 LVL5 AT 600 CTS.
- RB9 - 240x42 LVL5
- RB9A - 2/240x42 LVL5, NAIL LAMINATED.

160214-S011
 LOWER ROOF &
 1 FIRST FLOOR PLAN - DESIRED
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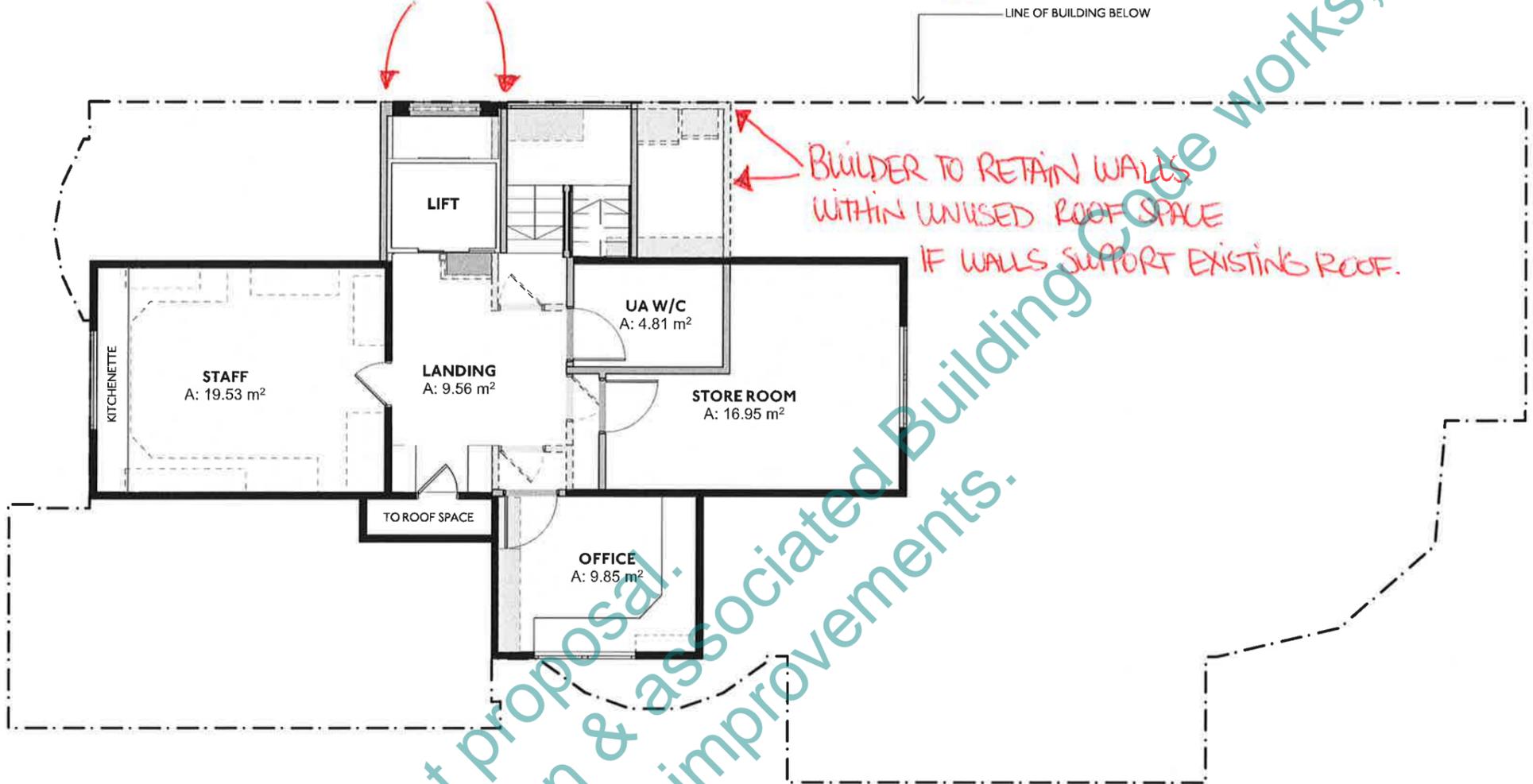
FS02.1B

Rev 1 - 3/6/16 - PRELIMINARY ISSUE

Rev 2 - 10/6/16 - PRELIMINARY PRICING ISSUE

BUILDER TO PROP EXISTING ROOF STRUCTURE AND RE FIX TO NEW WALLS AS REQUIRED.

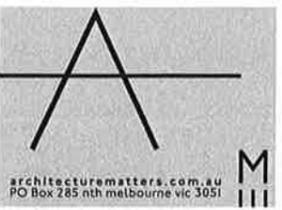
BUILDER TO RETAIN WALLS WITHIN UNUSED ROOF SPACE IF WALLS SUPPORT EXISTING ROOF.



- DEMOLITION
- EXISTING
- NEW WORKS
- NEW WALL
- RESTUMPING (EXTENT TBC)
- NEW SLAB
- REMODELLED EXISTING

160214-S012

1 ROOF PLAN - DESIRED
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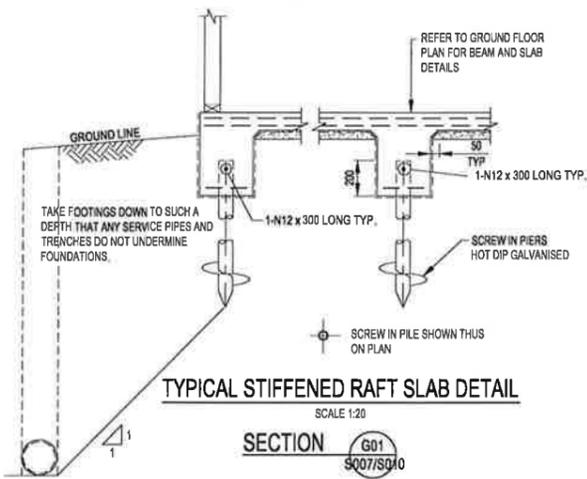
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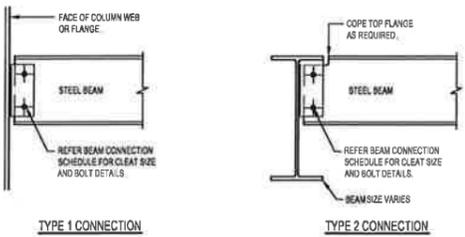
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TYPICAL STIFFENED RAFT SLAB DETAIL

SCALE 1:20

SECTION G01/007/S010

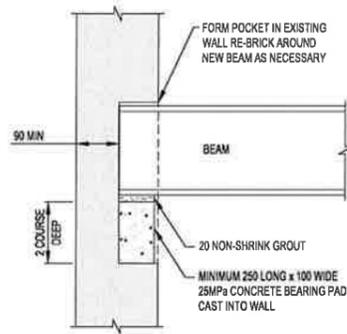


TYPICAL STEEL BEAM CONNECTION DETAILS

SCALE 1:10

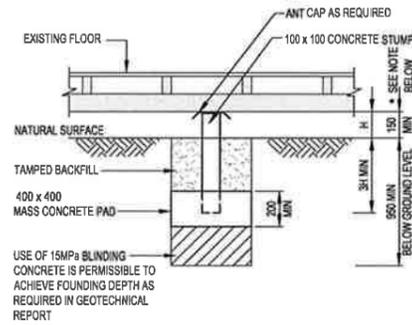
BEAM SIZE	CLEAR PLATE	90.18
150 UB 230 PFC	10mm	2-M10 @ 80
200 UB @ UC	10mm	2-M10 @ 80
250 UB @ UC	10mm	2-M10 @ 80
300 PFC	10mm	2-M10 @ 80
310 UB @ UC	10mm	2-M10 @ 80
300 PFC	10mm	2-M10 @ 80
300 UB	12mm	2-M10 @ 80
300 PFC	12mm	2-M10 @ 80
410 UB	12mm	2-M10 @ 80
480 UB	12mm	2-M10 @ 80
530 UB	12mm	2-M10 @ 80
610 UB	12mm	2-M10 @ 80
700 UB	15mm	2-M10 @ 80
800 UB	15mm	2-M10 @ 80

NOTE: FOR BEAM CONNECTION TO FACE OF RIB COLUMNS PROVIDE CLEAR AS SEE SECTION WELDED DOWN EACH SIDE OF RIB



TYPICAL STEEL BEAM TO EXISTING MASONRY WALL DETAIL

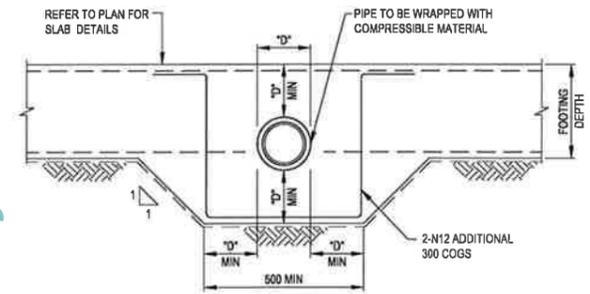
SCALE 1:10



TYPICAL STUMP AND PAD DETAIL

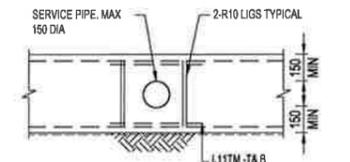
SCALE 1:20

*NOTE: FOR STUMPS LONGER THAN 1500mm SUBSTITUTE WITH 75 x 75 x 3.0 SHS GALVANISED STEEL AND USE SUBFLOOR BRACING AT BUILDING CORNERS AND WITH 70 x 35 TIMBER BRACING INSTALLED IN ACCORDANCE WITH AS1684-CL.8.3.1.2



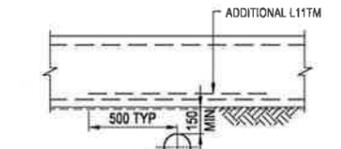
TYPICAL DETAIL AT STRIP FOOTING OR SLAB RIB PENETRATION (FOR "D" < 200 mm)

SCALE 1:20



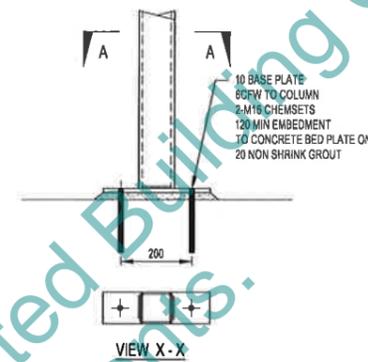
SERICE PIPE THROUGH RIB DETAIL

SCALE 1:20



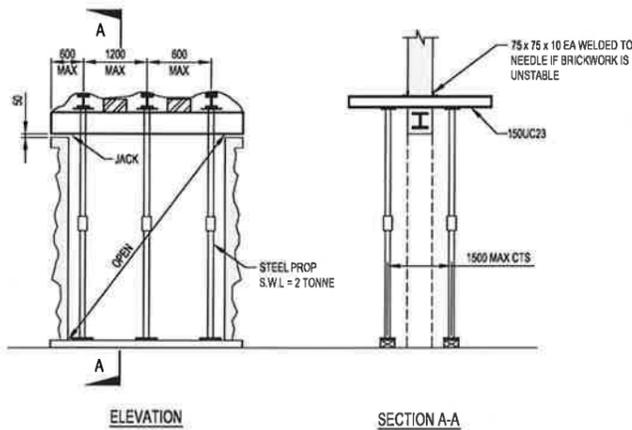
SERVICE PIPE UNDER RIB

SCALE 1:20



TYPICAL SHS COLUMN BASEPLATE DETAIL

SCALE 1:10

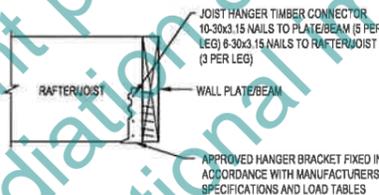


PROCEDURE FOR INSTALLATION OF STEEL LINTELS INTO EXISTING MASONRY WALLS

1. MARK FUTURE OPENING OUT AND INSTALL NEEDLES AND PROPS USING SIZES SPECIFIED ABOVE.
2. WEDGE NEEDLES TO WALL TO ENSURE STABILITY AGAINST TWISTING AND SIDE MOVEMENT.
3. PROVIDE SPREADERS UNDER PROPS AND TIGHTEN PROPS SO THAT STEEL NEEDLES ARE FULLY LOADED.
4. SAWCUT AND BREAK OUT WALL.
5. INSTALL NEW STEEL LINTEL AND BRICK DOWN ONTO TOP OF LINTEL BETWEEN NEEDLES.
6. LINTEL TO BE INSTALLED SO THAT IT CAN BE RAISED TO LEVEL AND TO ALLOW FOR ITS DEFLECTION.

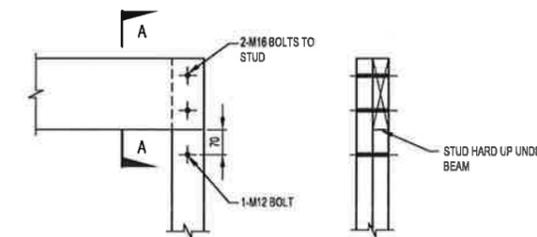
NOTE:

1. AT DOUBLE JOIST TO DOUBLE JOIST USE JOIST HANGER TO ONE JOIST AND TRIP-GRIP FIXING TO SECOND JOIST WITH 5 NAILS/LEG. (15 NAILS)
2. AT DOUBLE JOIST TO WALL PLATE USE JOIST HANGER TO ONE JOIST AND TRIP-GRIP FIXING TO SECOND JOIST WITH 5 NAILS/LEG. (15 NAILS)
3. RYSAN CONNECTIONS ARE TO BE IN STRICT ACCORDANCE WITH MANUFACTURERS DETAILS



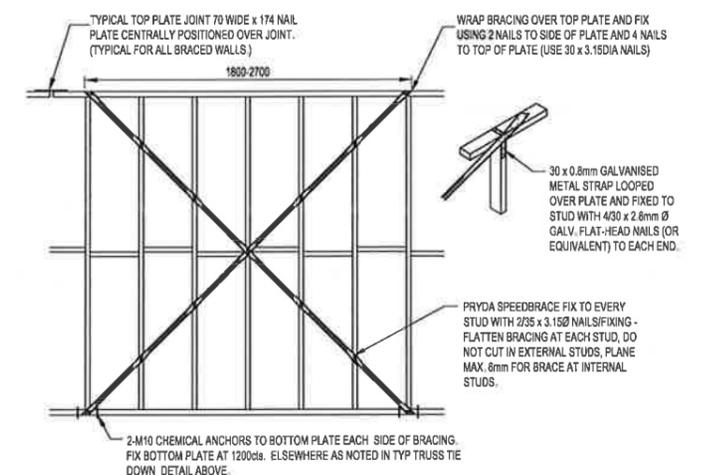
TYPICAL TIMBER TO TIMBER CONNECTION

SCALE 1:10



TYPICAL TIMBER BEAM TO DOUBLE STUD

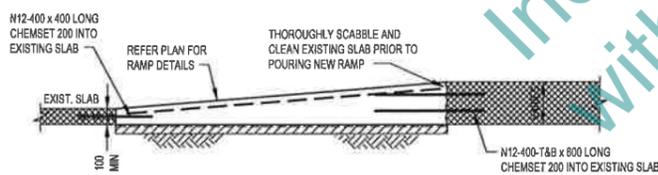
SCALE 1:10



(BRACING CAPACITY = 3kN/m)

TYPICAL WALL BRACING DETAIL (DENOTED WB ON PLAN)

N.T.S



TYPICAL NEW RAMP TO EXISTING SLAB DETAIL

SCALE 1:20

Issue	Description	Date
2	PRELIMINARY PRICING ISSUE	10/6/16
1	PRELIMINARY	3/6/16

Adams
DESIGNING THE FUTURE

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Melbourne, Victoria 3000
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ACN 117 803 531

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CLIENT: CITY OF PORT PHILLIP

ARCHITECT: ARCHITECTURE MATTERS PTY LTD

TITLE: 46 TENNYSON ST, ELWOOD
DETAILS SHEET

PROJECT NUMBER: 160214
DRAWING NUMBER: S013

REVISION: 2

Designed: Project Leader
Drawn: Sheet Size A3
Project Director: Certified
Norm
Issue 18/04/2016 by Eric

City of Port Phillip

46 Tennyson Street, Elwood VIC 3184

Revised Preliminary Cost Plan

24 January 2022

Current costing of based on indicative building works as identified in 2016.
Excludes broader renewal of the building and landscape.

Tom Temay
Property Development Associate | Property and Assets
99a Carlisle Street,
St Kilda VIC 3182

24 January 2022

City of Port Phillip
46 Tennyson Street, Elwood VIC 3184

Dear Tom,

In accordance with your instructions, we have prepared a Revised Preliminary Cost Plan based on drawings provided, and report herein the estimated total project cost as follows:

Building & Siteworks (Desired Scope)

Estimated Total Project Cost Based on Project Being Tendered in January 2024

Excluding GST

\$1,720,000.00

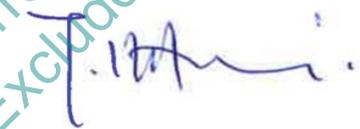
Exclusions

In compiling this costing, we have not allowed for the following:

- Bank charges and financing costs
- Future maintenance & replacement of equipment due to wear & tear
- Energy consumption costs
- Decanting costs
- Major upgrade to existing services
- Rainwater tanks
- Solar panels
- Retaining walls
- Rock excavation
- Contaminated soil removal
- Cost escalation beyond January 2024

We trust that this is satisfactory for your purposes at this stage.

Yours faithfully,



Gareth Tiong
Director

Member of AIQS - MAIQS 10619
Registered Building Practitioner - QS 47529

City of Port Phillip
46 Tennyson Street, Elwood VIC 3184
Revised Preliminary Cost Plan
Summary

Desired Scope

24 January 2022

Items		Area m2 FECA	Rate \$/m2	Estimated Cost
1.0	Demolition			\$42,205.00
2.0	Alteration & Addition to Existing Building	337.0	\$3,265.13	\$1,100,350.00
3.0	Siteworks Inc. Landscaping			\$47,445.00
Sub Total Excluding GST				\$1,190,000.00
4.0	Cost Escalation to Tender (January 2024)			\$110,000.00
Estimated Total Contract Sum Excluding GST				\$1,300,000.00
5.0	Contingency During Construction			\$130,000.00
Estimated Net Project Cost Excluding GST				\$1,430,000.00
6.0	Consultant Fees Inc. PM			\$200,000.00
Estimated Gross Project Cost Excluding GST				\$1,630,000.00
7.0	Authority Charges, Planning Permit, Building Permit & Etc.			\$40,000.00
8.0	Loose Furniture & Equipment			\$50,000.00
Estimated Total Project Cost Excluding GST				\$1,720,000.00
	Add - GST			\$172,000.00
Estimated Total Project Cost Including GST				\$1,892,000.00

Covid 19 Impact

This Cost Plan is prepared based on normal conditions and current material cost. The tender prices may be affected by unforeseeable consequences of Covid-19 pandemic such as spike in material costs, shortage of timber supply, unanticipated material delivery delay, government mandated shutdowns, on-site outbreak/ quarantine or the like.

Drawings Used

Architecture Drawing (Desired Scope)

FS02.0, FS02.1B, FS02.2, FS02.3B

Structural Drawings

Marked up structural drawings

Access Report

Access Consulting Access report dated 9 June 2016

City of Port Phillip
46 Tennyson Street, Elwood VIC 3184

Contact Details

Client City of Port Phillip

24 January 2022

Discipline	Consultant	Phone Number
Architect	Architecture Matters	03 9329 7063
Landscape Architect	TBA	
Structure Engineer	Adams Consulting Engineers	03 8600 9700
Civil Engineer	TBA	
Mech. & Elec. Engineer	TBA	
Hydraulic Engineer	TBA	
Quantity Surveyors	DDH	03 9417 5505

Current costing of based on indicative building works as identified in 2016.
Excludes broader renewal of the building and landscape.

Elemental Summary

Project: City of Port Phillip - 46 Tennyson Street,
Building: Elwood
 46 Tennyson Street, Elwood VIC 3184

Details: Preliminary Cost Plan - Rev.1

Code	Description	Quantity	Unit	Rate	Total
<u>Demolition</u>					
01	Demolition				42,205
	Sub Total Excluding GST				42,205
<u>Building - Addition & Alteration</u>					
02	Preliminaries				132,521
03	Substructure				39,420
04	Columns				3,000
05	Staircase				23,120
06	Roof Framing, Roofing & Roof Plumbing				20,690
07	External Walls				59,650
08	Internal Walls				75,700
09	Windows, Internal Glazed Screens & Window Furnishings				67,000
10	Doors & Hardware				32,300
11	Wall Finishes				25,000
12	Floor Finishes				58,690
13	Ceiling Finishes				17,700
14	Joinery & Toilet Partitions				58,550
15	Toilet Accessories, Kitchen Appliances & Signs				31,000
16	Painting				26,960
17	Sanitary Fixtures & Plumbing				94,000
18	Electrical Services				125,390
19	Mechanical Services				47,300
20	Lift				75,000
21	Fire Protection				3,000
22	Design Variable				84,359
	Sub Total Excluding GST	337	m2	3,265.13	1,100,350
<u>Siteworks</u>					
23	Siteworks inc. Landscaping				47,445
					1,190,000

Elemental Details

Project: City of Port Phillip - 46 Tennyson Street,
Building: Elwood
 46 Tennyson Street, Elwood VIC 3184

Details: Preliminary Cost Plan - Rev.1

Code	Description	Quantity	Unit	Rate	Total
01	Demolition				
	<u>Preliminaries</u>				
	Preliminaries	1	item	5,505.00	5,505
	<u>Demolition Works</u>				
	Demolition works where required (FECA)	337	m2	100.00	33,700
	<u>Asbestos Removal</u>				
	Allow for asbestos removal	1	ps	3,000.00	3,000
	Demolition				42,205
02	Preliminaries				
	<u>Preliminaries</u>				
	Preliminaries	1	item	132,521.00	132,521
	<u>Fully Enclosed Covered Area (FECA)</u>				
	FECA to ground floor alteration & addition area	257	m2		
	FECA to first floor alteration area	80	m2		
	Total FECA - Ground & First Floor	337	m2		
	Preliminaries				132,521
03	Substructure				
	<u>Screw Piles</u>				
	25Kn screw pile (SP1)	8	no.	1,250.00	10,000
	<u>Blinding & Pad Footings</u>				
	Blinding & reinforced concrete pad footing (PF2)	3	m3	1,000.00	3,000
	<u>Timber Floor Structure</u>				
	Timber floor structure comprising 90 x 45 F17 KDHW joists at 450 cts., 90 x 90 F17 KDHW bearers & 100 x 100 concrete stump with 400 x 400 x 200 deep pad	7	m2	250.00	1,750
	Lift FFL with timber batten & FC sheet over existing slab to staff wc & baby change wc	19	m2	150.00	2,850
	2/ 300 x 42 LVL15 floor beam (FB1)	2	m	160.00	320
	2/ 200 x 42 LVL 15 ditto (FB2)	2	m	120.00	240
	Investigate & repair damp issues to existing building subfloor & rectify (2b, 13)	1	item	2,500.00	2,500
	<u>Concrete Floor Structure</u>				
	100 Thk. reinforced concrete raft slab with SL82 top complete with edge beam, internal beam, 0.2 thk. vapour barrier, 50 thk. sand bed, edge form & excavation	26	m2	350.00	9,100
	125 Thk. reinforced concrete slab with SL82 top & bottom complete with ditto	16	m2	400.00	6,400

Elemental Details

Project: City of Port Phillip - 46 Tennyson Street,
Building: Elwood
 46 Tennyson Street, Elwood VIC 3184

Details: Preliminary Cost Plan - Rev.1

Code	Description	Quantity	Unit	Rate	Total
03	Substructure				<i>(Continued)</i>
	Allow for drill, dowel bars & epoxy to existing edge beam	1	item	2,000.00	2,000
	Termite Treatment				
	Allow for termite treatment	42	m2	30.00	1,260
	Substructure				39,420
04	Columns				
	Column & Double Studs				
	2/ 90 x 45 MGP10 double stud (DS)	9	no.	250.00	2,250
	2/ 90 x 45 F17 KDHW double stud (DS1)	1	no.	250.00	250
	Sundry	1	item	500.00	500
	Columns				3,000
05	Staircase				
	Staircase				
	1000 Wide flight with intermediate landing & balustrade/ handrail	1	item	20,000.00	20,000
	Stair nosing	1	item	1,620.00	1,620
	Enclosed stair soffit or barrier	1	item	1,500.00	1,500
	Staircase				23,120
06	Roof Framing, Roofing & Roof Plumbing				
	Roof Framing				
	Retain existing roof framing		note		
	Steel roof beam (RB7, RB8)	0.36	t	10,000.00	3,600
	240 x 42 LVL 15 roof beam (RB9)	2	m	70.00	140
	2/ 240 x 42 LVL 15 roof beam (RB9A)	5	m	140.00	700
	130 x 45 LVL 15 rafter at 600 cts. (R2)	15	m2	50.00	750
	240 x 42 LVL 15 rafter at 600 cts. (R3)	41	m2	70.00	2,870
	Roof bracing (BR1)	19	m	30.00	570
	Roofing				
	Retain existing roofing		note		
	New roofing to building addition area	42	m2	180.00	7,560
	Roof Plumbing				
	Retain existing roof plumbing		note		
	New roof plumbing to building addition area	1	item	4,500.00	4,500
	Roof Framing, Roofing & Roof Plumbing				20,690
07	External Walls				
	Repair Works				

Elemental Details

Project: City of Port Phillip - 46 Tennyson Street,
Building: Elwood
 46 Tennyson Street, Elwood VIC 3184

Details: Preliminary Cost Plan - Rev.1

Code	Description	Quantity	Unit	Rate	Total
07	External Walls				<i>(Continued)</i>
	Repair & replace missing/ damaged shingles to front facade of building (1)	1	item	3,000.00	3,000
	Sub floor vent to existing wall	2	no.	200.00	400
	<u>External Walls</u>				
	140 Thk. blockwork retaining wall with reo & grout fill (RW1)	13	m	300.00	3,900
	120 Thk. external wall	8	m	1,400.00	11,200
	150 Thk. ditto	12	m	1,500.00	18,000
	250 Thk. ditto	14	m	1,600.00	22,400
	<u>Timber Lintels</u>				
	90 x 45 MGP10 lintel (TL1)	1	m	100.00	100
	130 x 42 LVL 15 ditto (TL2)	2	m	50.00	100
	150 x 42 LVL 15 ditto (TL3)	8	m	50.00	400
	<u>Wall Bracings</u>				
	Wall strap brace (WB)	1	no.	150.00	150
	External Walls				59,650
08	Internal Walls				
	<u>Repair Works</u>				
	Replace wallpaper to first floor storeroom (3)	1	item	5,000.00	5,000
	Repair minor damage & holes (4)	1	item	inc. above	0
	Repair water damage to walls where required (9)	1	item	inc. above	0
	Repair cracked walls (10)	1	item	inc. above	0
	<u>Internal Walls</u>				
	110 Thk. internal wall partition	5	m	560.00	2,800
	140 Thk. ditto	35	m	600.00	21,000
	240 Thk. ditto	23	m	650.00	14,950
	<u>Lift Shaft Walls</u>				
	190 Thk. reinforced block lift wall	9	m	2,500.00	22,500
	Wall lining to above	9	m	700.00	6,300
	<u>Steel Lintels</u>				
	Steel lintel (L2)	0.27	t	10,000.00	2,700

Elemental Details

Project: City of Port Phillip - 46 Tennyson Street,
Building: Elwood
 46 Tennyson Street, Elwood VIC 3184

Details: Preliminary Cost Plan - Rev.1

Code	Description	Quantity	Unit	Rate	Total
08	Internal Walls				<i>(Continued)</i>
	<u>Timber Lintels</u>				
	90 x 45 MGP10 lintel (TL1)	1	m	100.00	100
	<u>Wall Plate</u>				
	130 x 42 LVL 15 wall plate (WP2)	7	m	50.00	350
	Internal Walls				75,700
09	Windows, Internal Glazed Screens & Window Furnishings				
	<u>Repair Works</u>				
	Replace exterior window panels where gaps/ rotting have occurred (6)	1	item	4,000.00	4,000
	Repair jamming window frames where required (11)	1	item	4,500.00	4,500
	<u>Windows</u>				
	New window	14	m	3,000.00	42,000
	<u>Flyscreens</u>				
	Replace flyscreen to external front windows (8)	1	item	1,500.00	1,500
	<u>Internal Glazed Screens</u>				
	New internal glazed screen	9	m	1,000.00	9,000
	<u>Window Furnishings</u>				
	Allow for window furnishings	1	item	6,000.00	6,000
	Windows, Internal Glazed Screens & Window Furnishings				67,000
10	Doors & Hardware				
	<u>External Doors</u>				
	Single swing door, frame & hardware	1	no.	1,200.00	1,200
	Unequal double swing glazed door, frame & hardware	2	no.	3,600.00	7,200
	<u>Internal Doors</u>				
	Single swing door, frame & hardware	12	no.	1,200.00	14,400
	Single sliding door, frame & hardware	1	no.	1,500.00	1,500
	<u>Door Control System</u>				
	Door control system	1	item	8,000.00	8,000
	Doors & Hardware				32,300
11	Wall Finishes				
	<u>Wall Covering</u>				

Elemental Details

Project: City of Port Phillip - 46 Tennyson Street,
Building: Elwood
 46 Tennyson Street, Elwood VIC 3184

Details: Preliminary Cost Plan - Rev.1

Code	Description	Quantity	Unit	Rate	Total
11	Wall Finishes				<i>(Continued)</i>
	Allow for wall vinyl / wall tiles/ splashback & waterproofing	1	item	25,000.00	25,000
	Wall Finishes				25,000
12	Floor Finishes				
	<u>Repair Works</u>				
	Repair & make good existing floor surface (18, 20)	301	m2	20.00	6,020
	<u>Floor Covering</u>				
	Floor covering to ground floor	236	m2	130.00	30,680
	Ditto to first floor	65	m2	130.00	8,450
	Waterproofing to wet area	43	m2	35.00	1,505
	Tactile indicators to stair	1	item	1,500.00	1,500
	<u>Skirtings</u>				
	Skirtings (FECA)	301	m2	35.00	10,535
	Floor Finishes				58,690
13	Ceiling Finishes				
	<u>Repair Works</u>				
	Repair water damage to ceilings where required (9)	1	item	3,000.00	3,000
	Make good to existing ceiling where required	259	m2	35.00	9,065
	<u>Ceilings Lining</u>				
	New ceiling lining	49	m2	100.00	4,900
	<u>Ceiling Insulation</u>				
	Allow for new ceiling insulation	49	m2	15.00	735
	Ceiling Finishes				17,700
14	Joinery & Toilet Partitions				
	<u>Cupboards, Drawers & Fittings</u>				
	Sundry joinery to ground & first floor (FECA)	337.00	m2	150.00	50,550
	<u>Toilet Partitions</u>				
	Allow for toilet partitions & doors	1.00	item	8,000.00	8,000
	Joinery & Toilet Partitions				58,550
15	Toilet Accessories, Kitchen Appliances & Signs				
	<u>Toilet Accessories</u>				
	Toilet accessories	1	item	18,000.00	18,000

Elemental Details

Project: City of Port Phillip - 46 Tennyson Street,
Building: Elwood
 46 Tennyson Street, Elwood VIC 3184

Details: Preliminary Cost Plan - Rev.1

Code	Description	Quantity	Unit	Rate	Total
15	Toilet Accessories, Kitchen Appliances & Signs				<i>(Continued)</i>
	<u>Kitchen Appliances</u>				
	Kitchen appliances - cooktop, dishwashers & oven	1	item	10,000.00	10,000
	Fridges & microwave by others		note		
	<u>Internal Signs</u>				
	Internal signs	1	item	3,000.00	3,000
	Toilet Accessories, Kitchen Appliances & Signs				31,000
16	Painting				
	<u>Internal & External Painting</u>				
	Internal external painting where required (FECA) (1a, 3c, 2, 9, 10)	337	m2	80.00	26,960
	Painting				26,960
17	Sanitary Fixtures & Plumbing				
	<u>Upgrade Works</u>				
	Ground Floor				
	Retain existing kitchen sink & tap		note		
	Baby change & w/c	1	item	8,000.00	8,000
	Staff W/C	1	item	8,000.00	8,000
	Child W/C	1	item	8,000.00	8,000
	Child W/C 2	1	item	25,000.00	25,000
	Laundry/ store	1	item	5,000.00	5,000
	First Floor				
	UA W/C	1	item	10,000.00	10,000
	Staff room kitchenette	1	item	11,000.00	11,000
	Connection				
	Connect services to existing main	1	item	2,000.00	2,000
	<u>Drinking Fountains</u>				
	Drinking fountains	1	item	5,000.00	5,000
	<u>Boiling Water Units</u>				
	Boiling water units	1	item	12,000.00	12,000
	Sanitary Fixtures & Plumbing				94,000
18	Electrical Services				
	<u>Upgrade Works</u>				
	Upgrade switchboard & reconfigure lighting, power, data & etc. (FECA)	337	m2	270.00	90,990
	Hearing augmentation	1	item	20,000.00	20,000

Elemental Details

Project: City of Port Phillip - 46 Tennyson Street,
Building: Elwood
 46 Tennyson Street, Elwood VIC 3184

Details: Preliminary Cost Plan - Rev.1

Code	Description	Quantity	Unit	Rate	Total
18	Electrical Services				<i>(Continued)</i>
	<u>Testing, Commissioning & Etc.</u>				
	Testing, commissioning & etc.	1	item	3,000.00	3,000
	<u>Builder's Works & Coordination</u>				
	Builder's works & coordination	1	item	11,400.00	11,400
	Electrical Services				125,390
19	Mechanical Services				
	<u>Upgrade Works</u>				
	Mechanical services	1	item	30,000.00	30,000
	Exhaust system to W/Cs	1	item	10,500.00	10,500
	<u>Testing, Commissioning & Etc.</u>				
	Testing, commissioning & etc.	1	item	2,500.00	2,500
	<u>Builder's Works & Coordination</u>				
	Builder's works & coordination	1	item	4,300.00	4,300
	Mechanical Services				47,300
20	Lift				
	<u>Passenger Lift</u>				
	Passenger lift to serve 2 floors	1	item	70,000.00	70,000
	Builder's works & coordination	1	item	5,000.00	5,000
	Lift				75,000
21	Fire Protection				
	<u>Fire Protection</u>				
	Allow for fire protection	1	item	3,000.00	3,000
	Fire Protection				3,000
22	Design Variable				
	<u>Design Variable</u>				
	Allow for variance in design during documentation development	1	item	84,359.00	84,359
	Design Variable				84,359
23	Siteworks inc. Landscaping				
	<u>Preliminaries</u>				
	Preliminaries	1	item	5,626.00	5,626
	<u>Clear Site</u>				
	Clear site as required	49	m2	10.00	490

Elemental Details

Project: City of Port Phillip - 46 Tennyson Street,
Building: Elwood
 46 Tennyson Street, Elwood VIC 3184

Details: Preliminary Cost Plan - Rev.1

Code	Description	Quantity	Unit	Rate	Total
23	Siteworks inc. Landscaping				<i>(Continued)</i>
	<u>Bulk Cut & Fill</u>				
	Bulk cut & fill to building addition area (GFA)	42	m2	50.00	2,100
	Ditto to ramp & landing	7	m2	20.00	140
	<u>External Signage</u>				
	Upgrade signage to front of building (4d)	1	item	10,000.00	10,000
	<u>External Ramp & Landing</u>				
	Concrete ramp with SL82 top, 0.2 thk. polythene membrane, 50 thk. sand bed & 50 thk. crushed rock	7	m2	250.00	1,750
	Balustrade/ handrail	13	m	600.00	7,800
	Tactile indicators	1	item	1,575.00	1,575
	Drill, dowel bars & epoxy to existing paving	1	item	500.00	500
	<u>Side Fence & Gate</u>				
	Side fence & gate	2	m	500.00	1,000
	<u>Repair Works</u>				
	Repair over verandah to rear of kinder playroom 2 (2)	11	m2	150.00	1,650
	Replace external fencing panels to boundary fences (5)	1	item	6,000.00	6,000
	Reposition/ replace front entrance gate button (7)	1	item	500.00	500
	Level area with full turf coverage to rear verandah to fix uneven surfaces (12)	1	item	4,000.00	4,000
	<u>Design Variable</u>				
	Allow for variance in design during documentation development	1	item	4,314.00	4,314
	Siteworks inc. Landscaping				47,445