

Not a development proposal. An assessment of indicative yield.



GROUND FLOOR - PROPOSED
1:500



| no. | revision | date |
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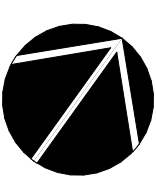
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Architecture Matters Pty Ltd
Level 1, 430 William Street
West Melbourne VIC 3003

T (03) 9329 7063
F (03) 9329 7919

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CLIENT DETAILS
CITY OF PORT PHILLIP
ADDRESS
99A Carlisle Street,
St Kilda, 3182



PROJECT
ELWOOD CHILDRENS CENTRE
REDEVELOPMENT FEASIBILITY
STUDY
46 TENNYSON STREET,
ELWOOD 3184
PROJECT NUMBER
2150

DRAWING
SITE PLAN - EXISTING 1:500
Scale: AS SHOWN @ A3
Date: 31/01/2022

FS00

Not a development proposal. An assessment of indicative yield.



SITE PLAN - EXISTING
1:200



| no. | revision | date |
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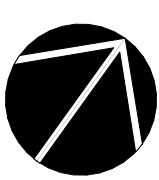
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St Kilda, 3182



PROJECT
**ELWOOD CHILDRENS CENTRE
REDEVELOPMENT FEASIBILITY
STUDY**
46 Tennyson Street,
Elwood 3184
PROJECT NUMBER
2150

DRAWING
SITE PLAN - EXISTING 1:200
Scale: **AS SHOWN @ A3**
Date: **31/01/2022**

FS01

Not a development proposal. An assessment of indicative yield.



SITE PLAN - PROPOSED
1:200



| no. | revision | date |
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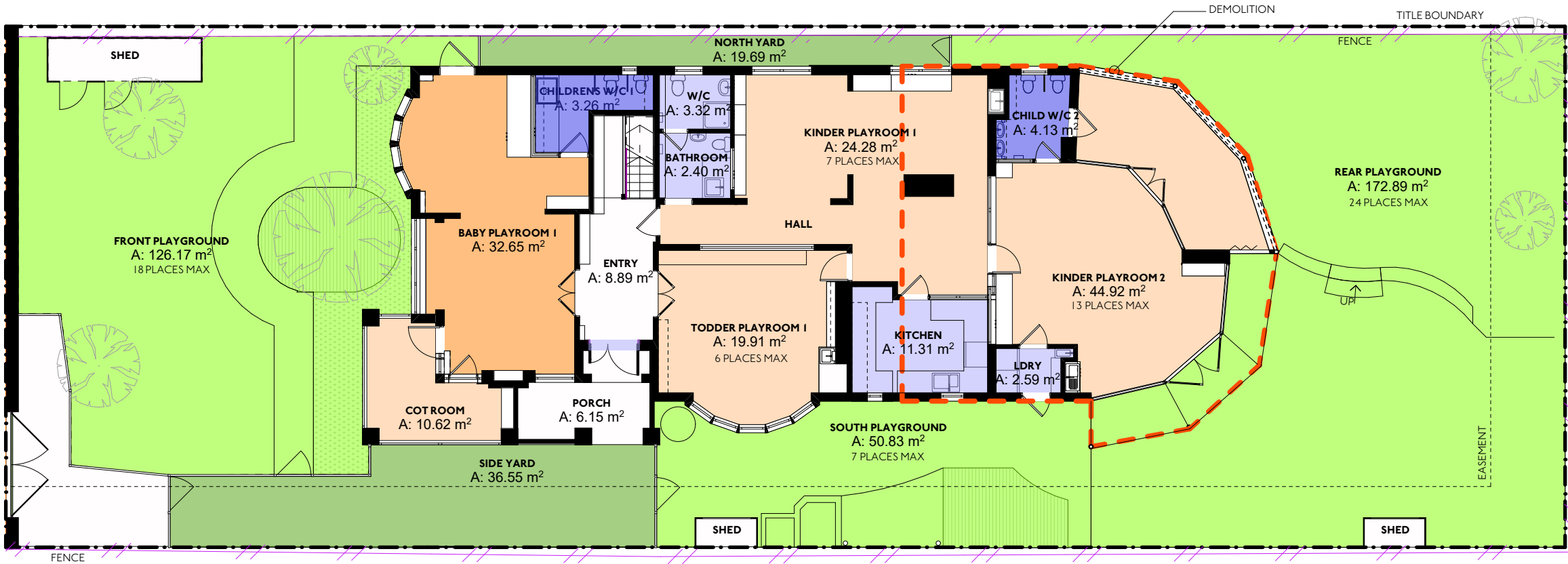


PROJECT
ELWOOD CHILDRENS CENTRE
REDEVELOPMENT FEASIBILITY
STUDY
46 Tennyson Street,
Elwood 3184
PROJECT NUMBER
2150

DRAWING
SITE PLAN - PROPOSED 1:200
Scale: AS SHOWN @ A3
Date: 31/01/2022

FS02

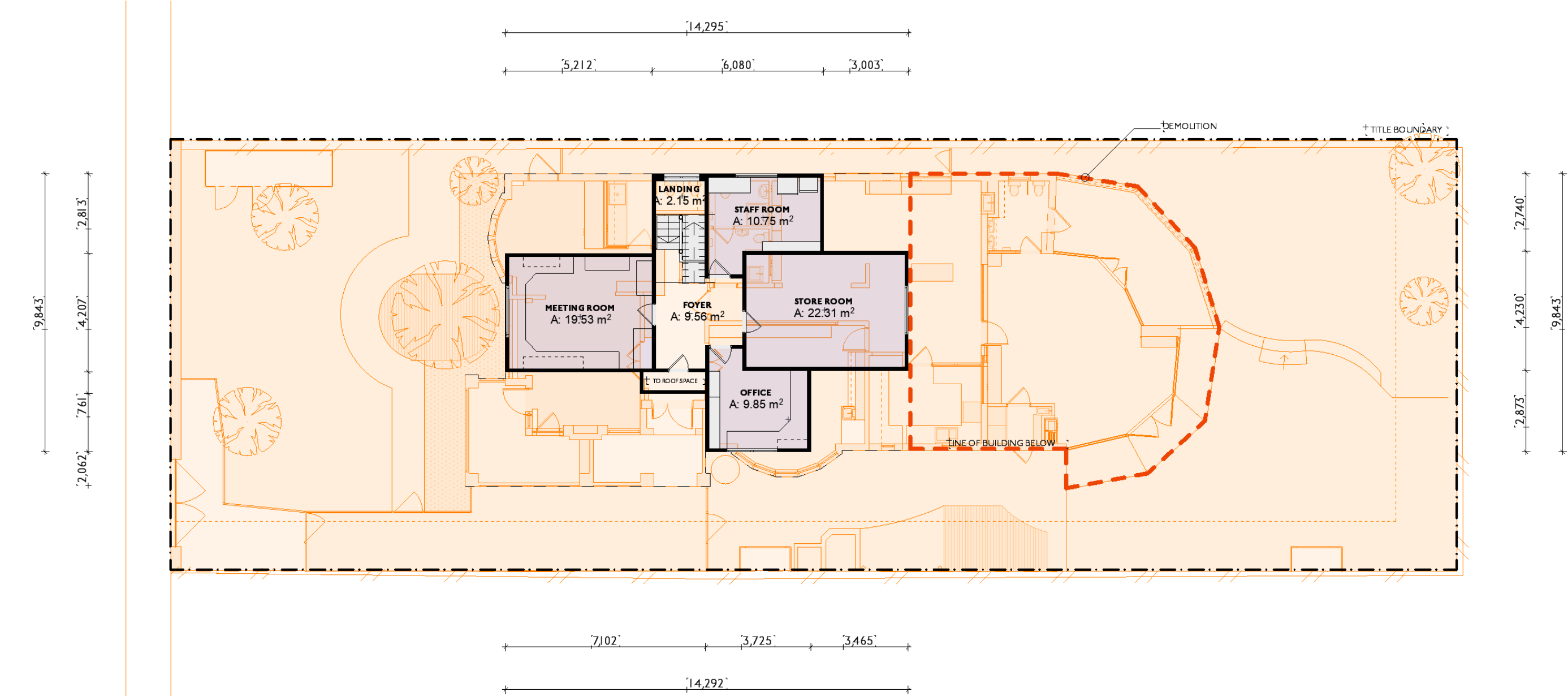
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GROUND FLOOR PLAN - EXISTING
1:150

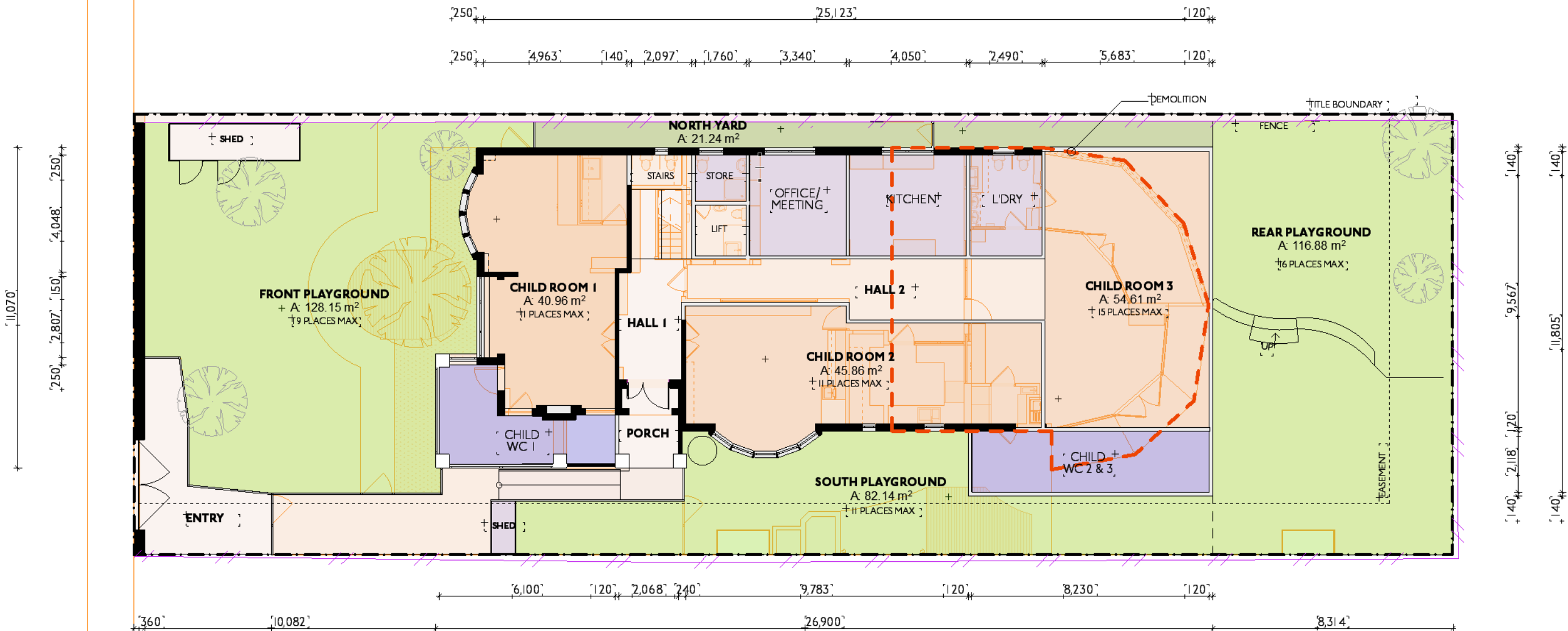
- PLAYROOMS
- CHILD W/C
- STAFF
- PLAYGROUND
- YARD
- EXISTING WALL
- NEW WALL

Not a development proposal. An assessment of indicative yield.



FIRST FLOOR PLAN - EXISTING
1:150

Not a development proposal. An assessment of indicative yield.



GROUND FLOOR PLAN - PROPOSED & GROUND FLOOR PLAN - EXISTING
1:150



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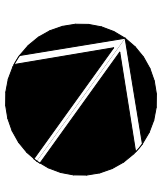
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PROJECT
ELWOOD CHILDRENS CENTRE
REDEVELOPMENT FEASIBILITY
STUDY
46 Tennyson Street,
Elwood 3184
PROJECT NUMBER
2150

DRAWING
GROUND FLOOR PLAN -
PROPOSED & GROUND FLOOR
PLAN - EXISTING
Scale: AS SHOWN @ A3
Date: 31/01/2022
FS05

[illegible]

- 

PLAYROOMS

CHILD W/C

10

STAFF



PLAYGROUND

YARD

EXISTING WALL

11

NEW WALL

[illegible]

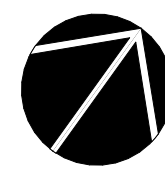
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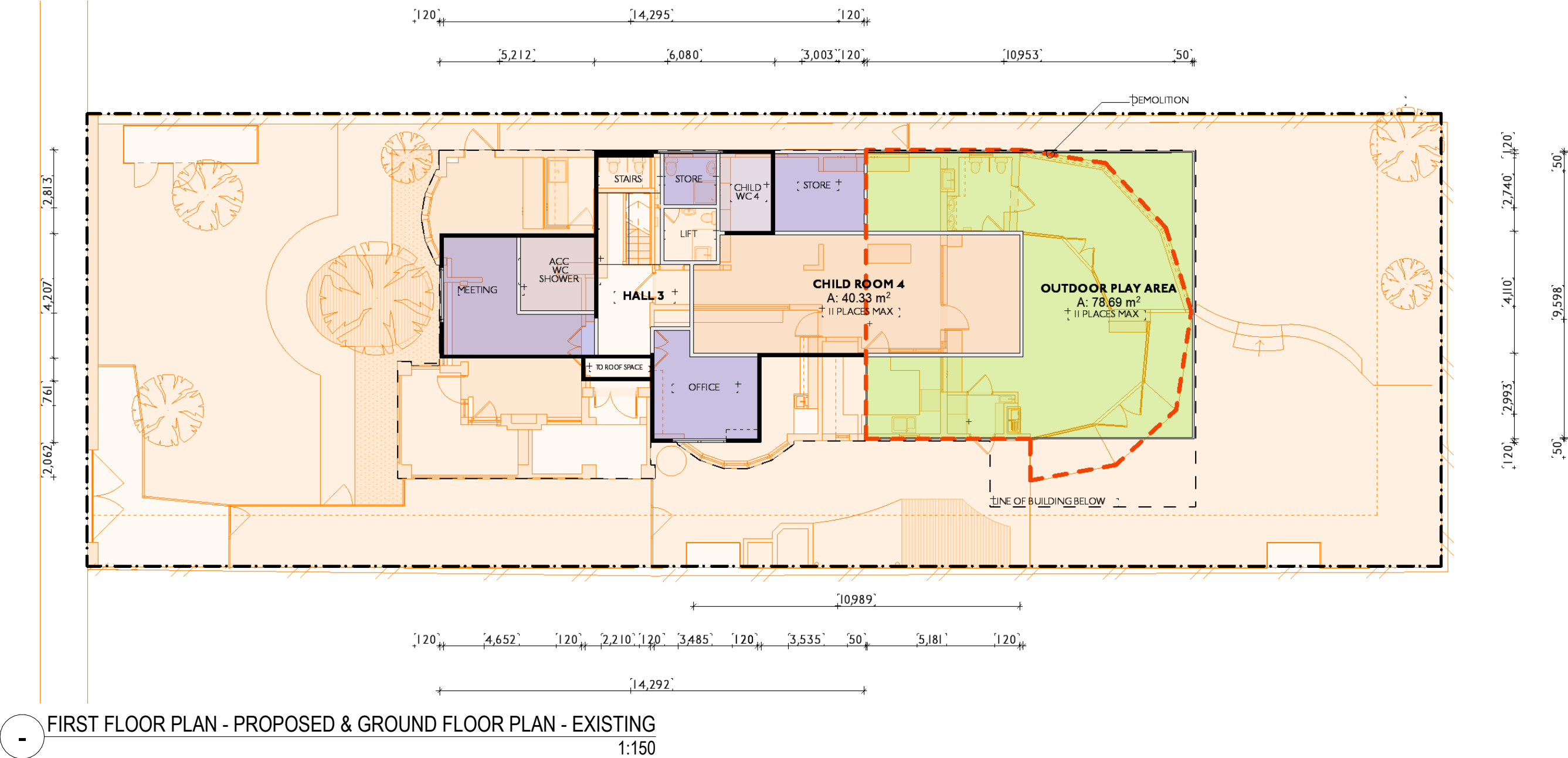
PROJECT
ELWOOD CHILDRENS CENTRE
REDEVELOPMENT FEASIBILITY
STUDY
46 TENNYSON STREET,
ELWOOD 3184
PROJECT NUMBER
2150

DRAWING
GROUND FLOOR PLAN -
PROPOSED
Scale: AS SHOWN @ A3
Date: 31/01/2022

FS06



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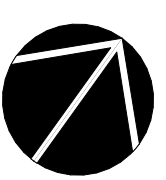
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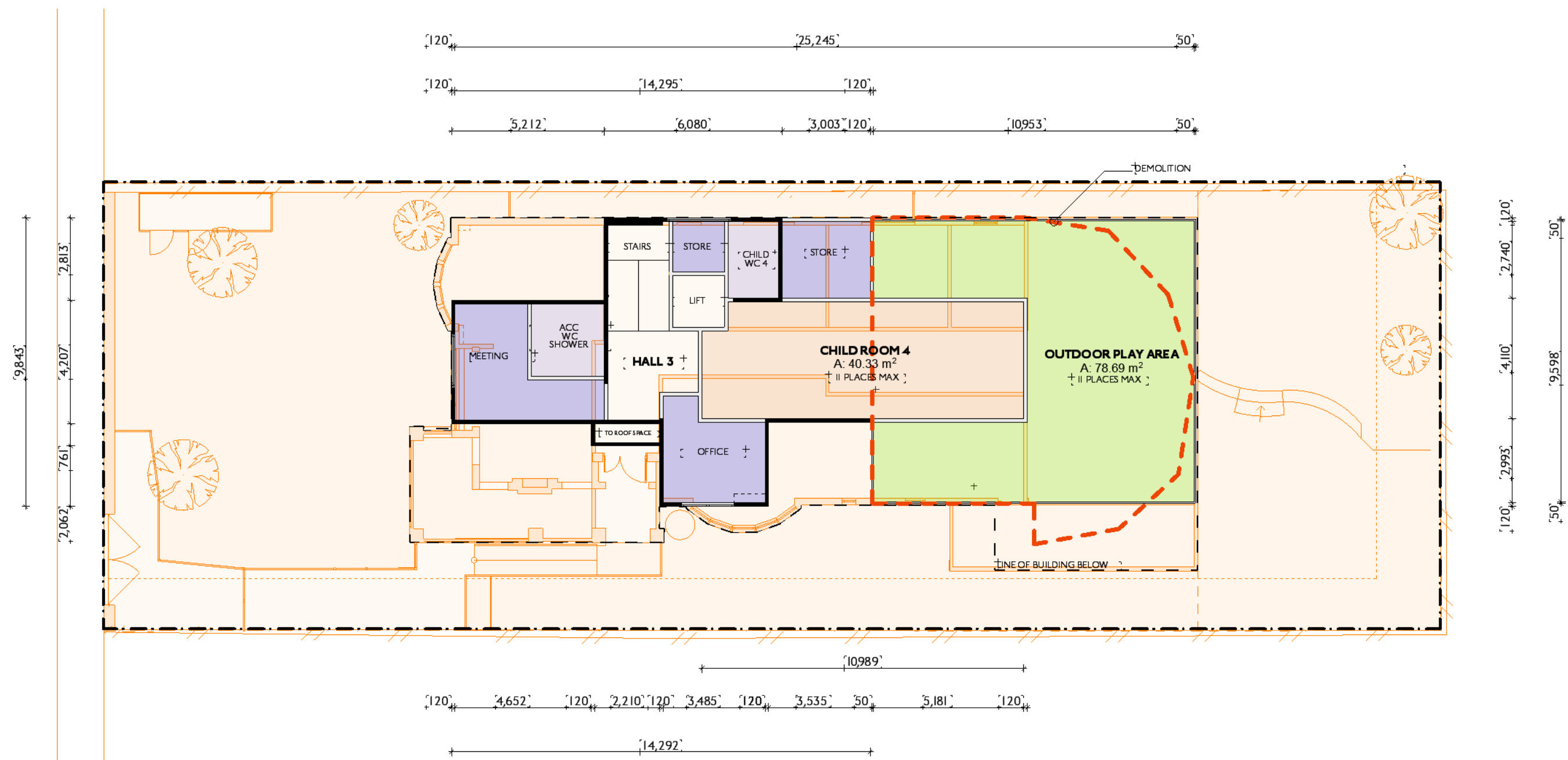
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PROJECT
ELWOOD CHILDRENS CENTRE
REDEVELOPMENT FEASIBILITY
STUDY
46 Tennyson Street,
Elwood 3184
PROJECT NUMBER
2150

DRAWING
FIRST FLOOR PLAN - PROPOSED
& EXISTING
Scale: AS SHOWN @ A3
Date: 31/01/2022
FS07

Not a development proposal. An assessment of indicative yield.



FIRST FLOOR PLAN - PROPOSED & GROUND FLOOR PLAN - EXISTING
1:150



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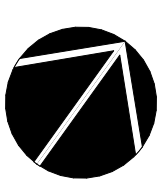
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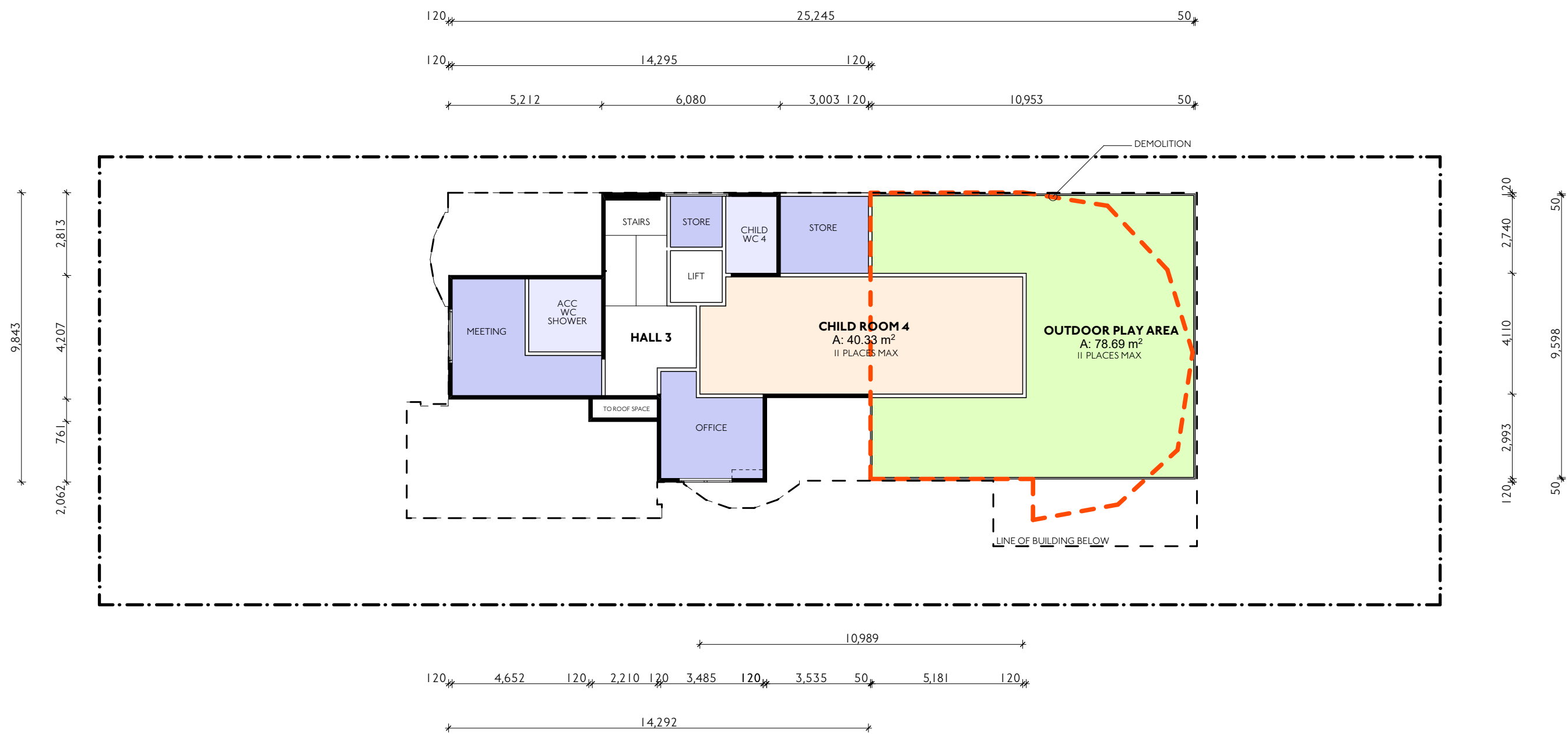
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PROJECT
ELWOOD CHILDRENS CENTRE
REDEVELOPMENT FEASIBILITY
STUDY
46 TENNYSON STREET,
ELWOOD 3184
PROJECT NUMBER
2150

DRAWING
FIRST FLOOR PLAN - PROPOSED
& GROUND FLOOR PLAN -
PROPOSED
Scale: AS SHOWN @ A3
Date: 31/01/2022
FS08

Not a development proposal. An assessment of indicative yield.



FIRST FLOOR PLAN - PROPOSED
1:150



| no. | revision | date |
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PROJECT
ELWOOD CHILDRENS CENTRE
REDEVELOPMENT FEASIBILITY
STUDY
46 Tennyson Street,
Elwood 3184
PROJECT NUMBER
2150

DRAWING
FIRST FLOOR PLAN - PROPOSED
Scale: AS SHOWN @ A3
Date: 31/01/2022

FS09

From: Anthony Gionfriddo [REDACTED]@architecturematters.com.au>
Sent: Monday, 31 January 2022 6:12 PM
To: Tom Temay; Anthony Savenkov
Cc: [REDACTED]; [REDACTED]
Subject: 2150 - Elwood Children's Centre Feasibility Study
Attachments: 2150_46 TENNYSON STREET ELWOOD_FEASIBILITY STUDY.pdf

Dear Anthony/Tom,

Further to our meeting last Friday, please find attached our feasibility study drawings and notes for the potential redevelopment of the existing Elwood Children's Centre at 46 Tennyson St Elwood.

PROJECT BRIEF

- Investigations, designs and drawings to support Feasibility Study into redevelopment of existing converted two-storey brick dwelling operating as Elwood Children's Centre for a children's services compliant and accessibility compliant 50-60 place children's centre

PROJECT CONSIDERATIONS

- Existing building siting, structure, non-compliances
- Town Planning constraints - Heritage Overlay; sensitive neighbourhood setting
- Title Encumbrances - prescribed use, building materials; easement to south & east boundaries
- Optimal operational configurations - staffing ratios; age-groups; child room-outdoor area adjacencies; supervision/surveillance
- Cost-benefit for refurbishment/new - extent of existing fabric retention (Town Planning) vs extent of demolition/new work

DESIGN STUDY OUTCOMES

1. **Refer drawings (dated 31.01.2022)**
 - FS00 LOCATION PLAN - EXISTING
 - FS01 SITE PLAN EXISTING
 - FS02 SITE PLAN - PROPOSED
 - FS03 GROUND FLOOR PLAN - EXISTING
 - FS04 FIRST FLOOR PLAN - EXISTING
 - FS05 GROUND FLOOR PLAN - PROPOSED (with Ground Floor Plan - Existing)
 - FS06 GROUND FLOOR PLAN - PROPOSED
 - FS07 FIRST FLOOR PLAN - PROPOSED (with Ground Floor Plan - Existing)
 - FS08 FIRST FLOOR PLAN - PROPOSED (with First Floor Plan - Existing)
 - FS09 FIRST FLOOR PLAN - PROPOSED
2. **Total Maximum Places: 48 children (unable to achieve 50-60 places)**
 - Room 1: 11 max.
 - Room 2: 11 max.
 - Room 3: 15 max.
 - Room 4: 11 max.
3. **Staff:Child Ratios for optimal room capacity:**
 - 0-2 years - 1:4

- 3-4 years - 1:11
- 5+ years - 1:15
- Room 1, 2 & 4 are optimally sized for efficient staffing numbers for 3-4 years and Room 3 for 4-5 years if required.
- Unable to achieve an optimal room area for 0-2 years (4-unit - 4, 8 or 12 child), however at 11 children, Rooms 1, 2 & 4 are close.

4. Limitations of existing building

- Usable existing floor space is fractured by poor accessibility (level-changes; non-compliant doorways & hallways; no lift); structural elements (load-bearing walls, chimneys, roof) & room areas relative to optimal operational and regulatory capacities
- Remodelling for accessibility broadly achieved (at high-level conceptual only) through provision of new accessibly ramped entry, regularised internal floor levels, widened doorways and hallways, new stair, new lift)
- Remodelling for better operations broadly achieved (at high-level conceptual only) through simplified circulation, regularised room floor plans; centrally and supervisable child bathrooms

5. Site/Plan Limitations:

- Heritage overlay: Limited demolition, respectful additions
- Easement to south: No real impact as maintenance of south side access is operationally good
- Easement to east: No impact
- Ground Floor Administration/Office unable to have direct supervision/control of front door/foyer
- Wall height on north side of proposed first floor roof deck Outdoor Play Area relative to north boundary neighbour/title boundary setback may be difficult to achieve as-of-right under building/planning regulations. Requires further detailed analysis of neighbouring property and final building scope/design.
- Whilst the available room sizes broadly align for each Child Room to their immediately adjacent Playgrounds for Child Room 2, 3 & 4, Child Room 1 is undersized relative to the capacity of the adjacent Front Playground. This imbalance is further weakened if Child 1 is continued to be used for Infants due to the much lesser need for immediately adjacent outdoor space. Front Playground could still be utilised by other Child Room's however, as per the existing arrangement, the path through to the playground is somewhat circuitous and less than ideal.
- South Playground relying on narrow west end to achieve required outdoor area
- CoPP should obtain legal advice on how project sits relative to apparent restriction on use – "Will not at any time hereafter erect of permit or allow to be erected on the land hereby transferred any building other than a *dwelling*..."
- No existing car parking provided on site and none proposed as part of redevelopment project. Potential to utilise part of Front Playground for on-site car parking if required. CoPP to obtain advice from COPP Town Planning.

We look forward to your further consideration of the above and attached and please contact me if you or your quantity surveyor require any additional information to assist with the finalisation of your Feasibility Study.

kind regards,
architecture matters p/l

anthony gionfriddo
director

level 1, 430 william street west melbourne VIC 3003 tel: 9329 7063 www.architecturematters.com.au

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City of Port Phillip

46 Tennyson Street, Elwood VIC 3184

Preliminary Cost Pan (New Design)

7 February 2022

Property Development Associate | Property and Assets
99a Carlisle Street,
St Kilda VIC 3182

7 February 2022

City of Port Phillip
46 Tennyson Street, Elwood VIC 3184

Dear Tom,

In accordance with your instructions, we have prepared a Preliminary Cost Plan based on drawings provided, and report herein the estimated total project cost as follows:

Building & Siteworks

Estimated Total Project Cost Based on Project Being Tendered in January 2024

Excluding GST

\$2,400,000.00

Exclusions

In compiling this costing, we have not allowed for the following:

- Bank charges and financing costs
- Future maintenance & replacement of equipment due to wear & tear
- Energy consumption costs
- Decanting costs
- Major upgrade to existing services
- Rainwater tanks
- Solar panels
- Retaining walls
- Rock excavation
- Contaminated soil removal
- Works to front playground/ south playground/ rear playground/ north yard (Allow make good only)
- Cost escalation beyond January 2024

We trust that this is satisfactory for your purposes at this stage.

Yours faithfully,

A handwritten signature in blue ink, appearing to be 'Tom', is written over a large black rectangular redaction box.

Director

Member of AIQS - MAIQS 10619
Registered Building Practitioner - QS 47529

City of Port Phillip
46 Tennyson Street, Elwood VIC 3184
Preliminary Cost Pan (New Design)
Summary

7 February 2022

| Items | | Area m2 FECA + UCA | Rate \$/m2 | Estimated Cost |
|---|--|-----------------------|---------------|-----------------------|
| 1.0 | Demolition | | | \$51,394.00 |
| 2.0 | Alteration & Addition to Existing Building | 464.0 | \$3,458.32 | \$1,604,661.00 |
| 3.0 | Siteworks Inc. Landscaping | | | \$53,945.00 |
| Sub Total Excluding GST | | | | \$1,710,000.00 |
| 4.0 | Cost Escalation to Tender (January 2024) | | | \$170,000.00 |
| Estimated Total Contract Sum Excluding GST | | | | \$1,880,000.00 |
| 5.0 | Contingency During Construction | | | \$130,000.00 |
| Estimated Net Project Cost Excluding GST | | | | \$2,010,000.00 |
| 6.0 | Consultant Fees Inc. PM | | | \$266,000.00 |
| Estimated Gross Project Cost Excluding GST | | | | \$2,276,000.00 |
| 7.0 | Authority Charges, Planning Permit, Building Permit & Etc. | | | \$50,000.00 |
| 8.0 | Loose Furniture & Equipment | | | \$74,000.00 |
| Estimated Total Project Cost Excluding GST | | | | \$2,400,000.00 |
| | Add - GST | | | \$240,000.00 |
| Estimated Total Project Cost Including GST | | | | \$2,640,000.00 |

Covid 19 Impact

This Cost Plan is prepared based on normal conditions and current material cost. The tender prices may be affected by unforeseeable consequences of Covid-19 pandemic such as spike in material costs, shortage of timber supply, unanticipated material delivery delay, government mandated shutdowns, on-site outbreak/ quarantine or the like.

Drawings Used

Architecture Drawings

FS00 to FS09

City of Port Phillip
46 Tennyson Street, Elwood VIC 3184

Contact Details

Client

City of Port Phillip

7 February 2022

| Discipline | Consultant | Phone Number |
|------------------------|----------------------------|--------------|
| Architect | Architecture Matters | 03 9329 7063 |
| Landscape Architect | TBA | |
| Structure Engineer | Adams Consulting Engineers | 03 8600 9700 |
| Civil Engineer | TBA | |
| Mech. & Elec. Engineer | TBA | |
| Hydraulic Engineer | TBA | |
| Quantity Surveyors | DDH | 03 9417 5505 |

Elemental Summary

Project: City of Port Phillip

Details: 2. Preliminary Cost Plan (New Design)

Building: 46 Tennyson Street, Elwood VIC 3184

| Code | Description | Quantity | Unit | Rate | Total |
|------|---|------------|-----------|-----------------|------------------|
| | <u>Demolition</u> | | | | |
| 01 | Demolition | | | | 51,394 |
| | Sub Total Excluding GST | | | | 51,394 |
| | <u>Building - Addition & Alteration</u> | | | | |
| 02 | Preliminaries | | | | 174,158 |
| 03 | Substructure | | | | 87,460 |
| 04 | Columns | | | | 7,580 |
| 05 | Staircase | | | | 23,620 |
| 06 | Upper Floors | | | | 34,800 |
| 07 | Roof Framing, Roofing & Roof Plumbing | | | | 71,750 |
| 08 | External Walls | | | | 126,880 |
| 09 | Internal Walls | | | | 83,080 |
| 10 | Windows, Internal Glazed Screens & Window Furnishings | | | | 117,000 |
| 11 | Doors & Hardware | | | | 68,100 |
| 12 | Wall Finishes | | | | 35,000 |
| 13 | Floor Finishes | | | | 78,425 |
| 14 | Ceiling Finishes | | | | 31,555 |
| 15 | Joinery & Toilet Partitions | | | | 94,750 |
| 16 | Toilet Accessories, Kitchen Appliances & Signs | | | | 38,000 |
| 17 | Painting | | | | 30,320 |
| 18 | Sanitary Fixtures & Plumbing | | | | 136,640 |
| 19 | Electrical Services | | | | 138,413 |
| 20 | Mechanical Services | | | | 58,300 |
| 21 | Lift | | | | 75,000 |
| 22 | Fire Protection | | | | 3,000 |
| 23 | Design Variable | | | | 90,830 |
| | Sub Total Excluding GST (FECA + UCA) | 464 | m2 | 3,458.32 | 1,604,661 |
| | <u>Siteworks</u> | | | | |
| 24 | Siteworks inc. Landscaping | | | | 53,945 |
| | | | | | 1,710,000 |

Elemental Details

Project: City of Port Phillip
Building: 46 Tennyson Street, Elwood VIC 3184

Details: 2. Preliminary Cost Plan (New Design)

| Code | Description | Quantity | Unit | Rate | Total |
|-----------|--|------------|-----------|------------|----------------|
| 01 | Demolition | | | | |
| | <u>Preliminaries</u> | | | | |
| | Preliminaries | 1 | item | 6,704.00 | 6,704 |
| | <u>Demolition Works</u> | | | | |
| | Demolition works where required (FECA) | 379 | m2 | 110.00 | 41,690 |
| | <u>Asbestos Removal</u> | | | | |
| | Allow for asbestos removal | 1 | ps | 3,000.00 | 3,000 |
| | Demolition | | | | 51,394 |
| 02 | Preliminaries | | | | |
| | <u>Preliminaries</u> | | | | |
| | Preliminaries | 1 | item | 174,158.00 | 174,158 |
| | <u>Fully Enclosed Covered Area (FECA)</u> | | | | |
| | FECA to ground floor alteration & addition area | 265 | m2 | | |
| | FECA to first floor alteration & addition area | 114 | m2 | | |
| | Total FECA - Ground & First Floor | 379 | m2 | | |
| | <u>Unenclosed Covered Area (UCA)</u> | | | | |
| | UCA to first floor outdoor play area | 85 | m2 | | |
| | Preliminaries | | | | 174,158 |
| 03 | Substructure | | | | |
| | <u>Screw Piles</u> | | | | |
| | Allow for screw piles | 77 | m2 | 550.00 | 42,350 |
| | <u>Blinding & Pad Footings</u> | | | | |
| | Blinding & reinforced concrete pad footing (PF2) | 3 | m3 | 1,000.00 | 3,000 |
| | <u>Timber Floor Structure</u> | | | | |
| | Timber floor structure comprising 90 x 45 F17 KDHW joists at 450 cts., 90 x 90 F17 KDHW bearers & 100 x 100 concrete stump with 400 x 400 x 200 deep pad | 7 | m2 | 300.00 | 2,100 |
| | Lift FFL with timber batten & FC sheet over existing slab to child + wc1 | 19 | m2 | 200.00 | 3,800 |
| | Strengthen existing floor structure where required | 1 | item | 1,000.00 | 1,000 |
| | Investigate & repair damp issues to existing building subfloor & rectify (2b, 13) | 1 | item | 2,500.00 | 2,500 |
| | <u>Concrete Floor Structure</u> | | | | |
| | 100 Thk. reinforced concrete raft slab with SL82 top complete with edge beam, internal beam, 0.2 thk. vapour barrier, 50 thk. sand bed, edge form & excavation | 58 | m2 | 350.00 | 20,300 |

Elemental Details

Project: City of Port Phillip
Building: 46 Tennyson Street, Elwood VIC 3184

Details: 2. Preliminary Cost Plan (New Design)

| Code | Description | Quantity | Unit | Rate | Total |
|-----------|---|--------------------|------|-----------|---------------|
| 03 | Substructure | <i>(Continued)</i> | | | |
| | 125 Thk. reinforced concrete slab with SL82 top & bottom complete with ditto | 19 | m2 | 400.00 | 7,600 |
| | Allow for drill, dowel bars & epoxy to existing edge beam | 1 | item | 2,500.00 | 2,500 |
| | <u>Termite Treatment</u> | | | | |
| | Allow for termite treatment | 77 | m2 | 30.00 | 2,310 |
| | Substructure | | | | 87,460 |
| 04 | Columns | | | | |
| | <u>Column & Double Studs</u> | | | | |
| | Allow for columns & double studs where required (FECA) | 379 | m2 | 20.00 | 7,580 |
| | Columns | | | | 7,580 |
| 05 | Staircase | | | | |
| | <u>Staircase</u> | | | | |
| | 1000 Wide flight with intermediate landing & balustrade/ handrail | 1 | item | 20,000.00 | 20,000 |
| | Stair nosing | 1 | item | 1,620.00 | 1,620 |
| | Enclosed stair soffit or barrier | 1 | item | 2,000.00 | 2,000 |
| | Staircase | | | | 23,620 |
| 06 | Upper Floors | | | | |
| | <u>First Floor Framing</u> | | | | |
| | First floor framing & substrate to building addition area | 31 | m2 | 250.00 | 7,750 |
| | Ditto to outdoor play area | 85 | m2 | 250.00 | 21,250 |
| | <u>Floor Insulation</u> | | | | |
| | Allow for floor insulation | 116 | m2 | 50.00 | 5,800 |
| | Upper Floors | | | | 34,800 |
| 07 | Roof Framing, Roofing & Roof Plumbing | | | | |
| | <u>Roof Framing, Roofing & Roof Plumbing Over Building Addition Area</u> | | | | |
| | Roof Framing | | | | |
| | Retain existing main roof framing | | note | | |
| | New roof framing to building addition area | 50 | m2 | 250.00 | 12,500 |
| | Roof Insulation, Sarking & Mesh | | | | |
| | Roof insulation, sarking & safety wire mesh | 50 | m2 | 35.00 | 1,750 |
| | Roofing | | | | |
| | Retain existing main roofing | | note | | |
| | New roofing to building addition area | 50 | m2 | 200.00 | 10,000 |
| | Roof Plumbing | | | | |
| | Retain existing roof plumbing | | note | | |
| | New roof plumbing to building addition area | 1 | item | 5,000.00 | 5,000 |

Elemental Details

Project: City of Port Phillip
Building: 46 Tennyson Street, Elwood VIC 3184

Details: 2. Preliminary Cost Plan (New Design)

| Code | Description | Quantity | Unit | Rate | Total |
|------|--|----------|------|----------|----------------|
| 07 | Roof Framing, Roofing & Roof Plumbing | | | | (Continued) |
| | <u>Roof Cover Over First Floor Outdoor Play Area</u> | | | | |
| | Allow for roof cover over first floor outdoor play area | 85 | m2 | 500.00 | 42,500 |
| | Roof Framing, Roofing & Roof Plumbing | | | | 71,750 |
| 08 | External Walls | | | | |
| | <u>Repair Works</u> | | | | |
| | Repair & replace missing/ damaged shingles to front facade of building & sub floor vent | 1 | item | 3,500.00 | 3,500 |
| | <u>External Walls</u> | | | | |
| | External wall | 49 | m | 1,620.00 | 79,380 |
| | <u>Balustrades</u> | | | | |
| | Balustrade to first floor outdoor play area | 35 | m | 1,000.00 | 35,000 |
| | <u>Lintels, Wall Bracings, Architraves & Etc.</u> | | | | |
| | Allow for lintels, wall bracings, architraves & etc. | 1 | item | 9,000.00 | 9,000 |
| | External Walls | | | | 126,880 |
| 09 | Internal Walls | | | | |
| | <u>Repair Works</u> | | | | |
| | Repair & make good existing internal walls where required | 1 | item | 5,000.00 | 5,000 |
| | <u>Internal Walls</u> | | | | |
| | Infill existing door/ window opening in 250 thk. wall | 4 | m | 900.00 | 3,600 |
| | 120 Thk. internal wall partition | 73 | m | 560.00 | 40,880 |
| | <u>Lift Shaft Walls</u> | | | | |
| | 190 Thk. reinforced block lift wall | 8 | m | 2,500.00 | 20,000 |
| | Wall lining to above | 8 | m | 700.00 | 5,600 |
| | <u>Lintels, Wall Bracings, Architraves & Etc.</u> | | | | |
| | Allow for lintels, wall bracings, architraves & etc. | 1 | item | 8,000.00 | 8,000 |
| | Internal Walls | | | | 83,080 |
| 10 | Windows, Internal Glazed Screens & Window Furnishings | | | | |
| | <u>Repair Works</u> | | | | |
| | Replace exterior window panels where gaps/ rotting have occurred & repair jamming window frames where required | 1 | item | 7,000.00 | 7,000 |

Elemental Details

Project: City of Port Phillip
Building: 46 Tennyson Street, Elwood VIC 3184

Details: 2. Preliminary Cost Plan (New Design)

| Code | Description | Quantity | Unit | Rate | Total |
|-----------|--|----------|------|-----------|--------------------|
| 10 | Windows, Internal Glazed Screens & Window Furnishings | | | | <i>(Continued)</i> |
| | <u>Windows</u> | | | | |
| | Allow for new fixed/ sliding/ awning window | 1 | item | 65,000.00 | 65,000 |
| | <u>Flyscreens</u> | | | | |
| | Replace flyscreen to external front windows (8) | 1 | item | 5,000.00 | 5,000 |
| | <u>Internal Glazed Screens</u> | | | | |
| | Allow for new internal glazed screen | 1 | item | 25,000.00 | 25,000 |
| | <u>Window Furnishings</u> | | | | |
| | Allow for window furnishings | 1 | item | 15,000.00 | 15,000 |
| | Windows, Internal Glazed Screens & Window Furnishings | | | | 117,000 |
| 11 | Doors & Hardware | | | | |
| | <u>External Doors</u> | | | | |
| | Single swing glazed door, frame & hardware | 2 | no. | 2,500.00 | 5,000 |
| | Double swing glazed door, frame & hardware | 3 | no. | 4,800.00 | 14,400 |
| | Unequal double swing glazed door, frame & hardware | 1 | no. | 3,600.00 | 3,600 |
| | <u>Internal Doors</u> | | | | |
| | Single swing/ sliding door, frame & hardware | 7 | no. | 1,500.00 | 10,500 |
| | Single swing glazed door, frame & hardware | 6 | no. | 2,500.00 | 15,000 |
| | Double swing glazed door, frame & hardware | 2 | no. | 4,800.00 | 9,600 |
| | <u>Door Control System</u> | | | | |
| | Allow for door control system | 1 | item | 10,000.00 | 10,000 |
| | Doors & Hardware | | | | 68,100 |
| 12 | Wall Finishes | | | | |
| | <u>Wall Covering</u> | | | | |
| | Allow for wall vinyl / wall tiles/ splashback & waterproofing | 1 | item | 35,000.00 | 35,000 |
| | Wall Finishes | | | | 35,000 |
| 13 | Floor Finishes | | | | |
| | <u>Repair Works</u> | | | | |
| | Repair & make good existing floor surface | 295 | m2 | 20.00 | 5,900 |
| | <u>Floor Covering</u> | | | | |
| | Floor covering to ground & first floor (FECA) | 379 | m2 | 115.00 | 43,585 |
| | Ditto to first floor outdoor play area (UCA) | 85 | m2 | 150.00 | 12,750 |

Elemental Details

Project: City of Port Phillip
Building: 46 Tennyson Street, Elwood VIC 3184

Details: 2. Preliminary Cost Plan (New Design)

| Code | Description | Quantity | Unit | Rate | Total |
|------|---|-------------|------|-----------|--------|
| 13 | Floor Finishes | (Continued) | | | |
| | Waterproofing to wet area | 149 | m2 | 35.00 | 5,215 |
| | Tactile indicators to stair | 1 | item | 1,500.00 | 1,500 |
| | <u>Skirtings</u> | | | | |
| | Skirtings (FECA) | 379 | m2 | 25.00 | 9,475 |
| | Floor Finishes | | | | 78,425 |
| 14 | Ceiling Finishes | | | | |
| | <u>Repair Works</u> | | | | |
| | Repair & make good to existing ceiling where required | 190 | m2 | 35.00 | 6,650 |
| | <u>Ceilings Lining</u> | | | | |
| | New plasterboard ceiling lining | 125 | m2 | 100.00 | 12,500 |
| | New moisture resistant plasterboard ceiling lining | 64 | m2 | 120.00 | 7,680 |
| | <u>Ceiling Insulation</u> | | | | |
| | Allow for new ceiling insulation | 189 | m2 | 25.00 | 4,725 |
| | Ceiling Finishes | | | | 31,555 |
| 15 | Joinery & Toilet Partitions | | | | |
| | <u>Cupboards, Drawers & Fittings</u> | | | | |
| | Sundry joinery to ground & first floor (FECA) | 379.00 | m2 | 250.00 | 94,750 |
| | Joinery & Toilet Partitions | | | | 94,750 |
| 16 | Toilet Accessories, Kitchen Appliances & Signs | | | | |
| | <u>Toilet Accessories</u> | | | | |
| | Toilet accessories | 1 | item | 25,000.00 | 25,000 |
| | <u>Kitchen Appliances</u> | | | | |
| | Kitchen appliances - cooktop, dishwashers & oven | 1 | item | 10,000.00 | 10,000 |
| | Fridges & microwave by others | | note | | |
| | <u>Internal Signs</u> | | | | |
| | Internal signs | 1 | item | 3,000.00 | 3,000 |
| | Toilet Accessories, Kitchen Appliances & Signs | | | | 38,000 |
| 17 | Painting | | | | |
| | <u>Internal & External Painting</u> | | | | |
| | Internal external painting where required (FECA) | 379 | m2 | 80.00 | 30,320 |
| | Painting | | | | 30,320 |

Elemental Details

Project: City of Port Phillip
Building: 46 Tennyson Street, Elwood VIC 3184

Details: 2. Preliminary Cost Plan (New Design)

| Code | Description | Quantity | Unit | Rate | Total |
|------|-------------|----------|------|------|-------|
|------|-------------|----------|------|------|-------|

18 Sanitary Fixtures & Plumbing

Repair Works

| | | | | |
|-------------------------------------|---|------|----------|-------|
| Investigate, test & repair plumbing | 1 | item | 2,500.00 | 2,500 |
|-------------------------------------|---|------|----------|-------|

Sanitary Fixtures & Taps Inc. Internal Water Services & Internal Sewer Drains

Ground Floor

| | | | | |
|---------------------|---|------|-----------|--------|
| Kitchen | 1 | item | 5,000.00 | 5,000 |
| Child room 1 to 3 | 3 | item | 3,500.00 | 10,500 |
| Staff W/C - Deleted | | note | | |
| Child WC 1 | 1 | item | 20,000.00 | 20,000 |
| Child WC 2 & 3 | 1 | item | 25,000.00 | 25,000 |
| Laundry | 1 | item | 9,540.00 | 9,540 |
| Office/ meeting | 1 | item | 5,000.00 | 5,000 |

First Floor

| | | | | |
|--------------|---|------|-----------|--------|
| ACC WC | 1 | item | 11,000.00 | 11,000 |
| Child WC 4 | 1 | item | 11,000.00 | 11,000 |
| Child room 4 | 1 | item | 3,500.00 | 3,500 |
| Meeting | 1 | item | 5,000.00 | 5,000 |

Hot Water Unit

| | | | | |
|----------------|---|------|----------|-------|
| Hot water unit | 1 | item | 5,000.00 | 5,000 |
|----------------|---|------|----------|-------|

Boiling/ Chilled Water Tap Units

| | | | | |
|--------------------|---|------|----------|--------|
| Boiling water unit | 3 | item | 6,200.00 | 18,600 |
|--------------------|---|------|----------|--------|

Drinking Fountains

| | | | | |
|--------------------|---|------|----------|-------|
| Drinking fountains | 1 | item | 5,000.00 | 5,000 |
|--------------------|---|------|----------|-------|

Sanitary Fixtures & Plumbing

136,640

19 Electrical Services

Upgrade Works

| | | | | |
|---|-----|------|-----------|---------|
| Upgrade switchboard & reconfigure lighting, power, data & etc. (FECA) | 379 | m2 | 270.00 | 102,330 |
| Hearing augmentation | 1 | item | 20,000.00 | 20,000 |

Testing, Commissioning & Etc.

| | | | | |
|-------------------------------|---|------|----------|-------|
| Testing, commissioning & etc. | 1 | item | 3,500.00 | 3,500 |
|-------------------------------|---|------|----------|-------|

Builder's Works & Coordination

| | | | | |
|--------------------------------|---|------|-----------|--------|
| Builder's works & coordination | 1 | item | 12,583.00 | 12,583 |
|--------------------------------|---|------|-----------|--------|

Elemental Details

Project: City of Port Phillip
Building: 46 Tennyson Street, Elwood VIC 3184

Details: 2. Preliminary Cost Plan (New Design)

| Code | Description | Quantity | Unit | Rate | Total |
|-----------|---|----------|------|-----------|--------------------|
| 19 | Electrical Services | | | | <i>(Continued)</i> |
| | Electrical Services | | | | 138,413 |
| 20 | Mechanical Services | | | | |
| | <u>Upgrade Works</u> | | | | |
| | Mechanical services | 1 | item | 40,500.00 | 40,500 |
| | Kitchen exhaust system | 1 | item | 2,500.00 | 2,500 |
| | Exhaust system to W/Cs | 50 | m2 | 150.00 | 7,500 |
| | <u>Testing, Commissioning & Etc.</u> | | | | |
| | Testing, commissioning & etc. | 1 | item | 2,500.00 | 2,500 |
| | <u>Builder's Works & Coordination</u> | | | | |
| | Builder's works & coordination | 1 | item | 5,300.00 | 5,300 |
| | Mechanical Services | | | | 58,300 |
| 21 | Lift | | | | |
| | <u>Passenger Lift</u> | | | | |
| | Passenger lift to serve 2 floors | 1 | item | 70,000.00 | 70,000 |
| | Builder's works & coordination | 1 | item | 5,000.00 | 5,000 |
| | Lift | | | | 75,000 |
| 22 | Fire Protection | | | | |
| | <u>Fire Protection</u> | | | | |
| | Allow for fire protection | 1 | item | 3,000.00 | 3,000 |
| | Fire Protection | | | | 3,000 |
| 23 | Design Variable | | | | |
| | <u>Design Variable</u> | | | | |
| | Allow for variance in design during documentation development | 1 | item | 90,830.00 | 90,830 |
| | Design Variable | | | | 90,830 |
| 24 | Siteworks inc. Landscaping | | | | |
| | <u>Preliminaries</u> | | | | |
| | Preliminaries | 1 | item | 6,341.00 | 6,341 |
| | <u>Clear Site</u> | | | | |
| | Clear site as required | 33 | m2 | 15.00 | 495 |
| | <u>Bulk Cut & Fill</u> | | | | |
| | Bulk cut & fill to building addition area (GFA) | 26 | m2 | 60.00 | 1,560 |
| | Ditto to ramp & landing | 7 | m2 | 20.00 | 140 |

Elemental Details

Project: City of Port Phillip
Building: 46 Tennyson Street, Elwood VIC 3184

Details: 2. Preliminary Cost Plan (New Design)

| Code | Description | Quantity | Unit | Rate | Total |
|-----------|---|----------|------|-----------|--------------------|
| 24 | Siteworks inc. Landscaping | | | | <i>(Continued)</i> |
| | <u>External Signage</u> | | | | |
| | Upgrade signage to front of building | 1 | ps | 10,000.00 | 10,000 |
| | <u>Footpath</u> | | | | |
| | Concrete paving & base | 17 | m2 | 150.00 | 2,550 |
| | <u>External Ramp & Landing</u> | | | | |
| | Concrete ramp with SL82 top, 0.2 thk. polythene membrane, 50 thk. sand bed & 50 thk. crushed rock | 7 | m2 | 250.00 | 1,750 |
| | Balustrade/ handrail | 12 | m | 600.00 | 7,200 |
| | Tactile indicators | 1 | item | 1,575.00 | 1,575 |
| | Drill, dowel bars & epoxy to existing slab | 1 | item | 500.00 | 500 |
| | <u>Side Fence & Gate</u> | | | | |
| | Side fence & gate - Deleted | | note | | |
| | <u>Shed</u> | | | | |
| | 850 x 1850 Shed & base | 1 | item | 1,500.00 | 1,500 |
| | <u>Sundry Repair Works</u> | | | | |
| | Sundry repair works | 1 | item | 15,000.00 | 15,000 |
| | <u>Design Variable</u> | | | | |
| | Allow for variance in design during documentation development | 1 | item | 5,334.00 | 5,334 |
| | Siteworks inc. Landscaping | | | | 53,945 |

Dear [REDACTED]

25 March 2022

[REDACTED]
Property Development
Associate
Port Phillip City Council

Via email:
[REDACTED]@portphillip.
vic.gov.au

**Traffic/Transport Due Diligence Assessment
46 Tennyson Street, Elwood**

Ratio has been engaged by Port Phillip City Council to undertake a Due Diligence Assessment with respect to Traffic and Transport matters for a potential increase in childcare places to the existing childcare centre located at 46 Tennyson Street in Elwood.

There are currently 39 children in attendance at the childcare centre. For the purpose of this assessment, a potential increase in 10 childcare places has been considered. This would generate a statutory car parking requirement of 2 spaces pertinent to Clause 52.06 of the Port Phillip Planning scheme.

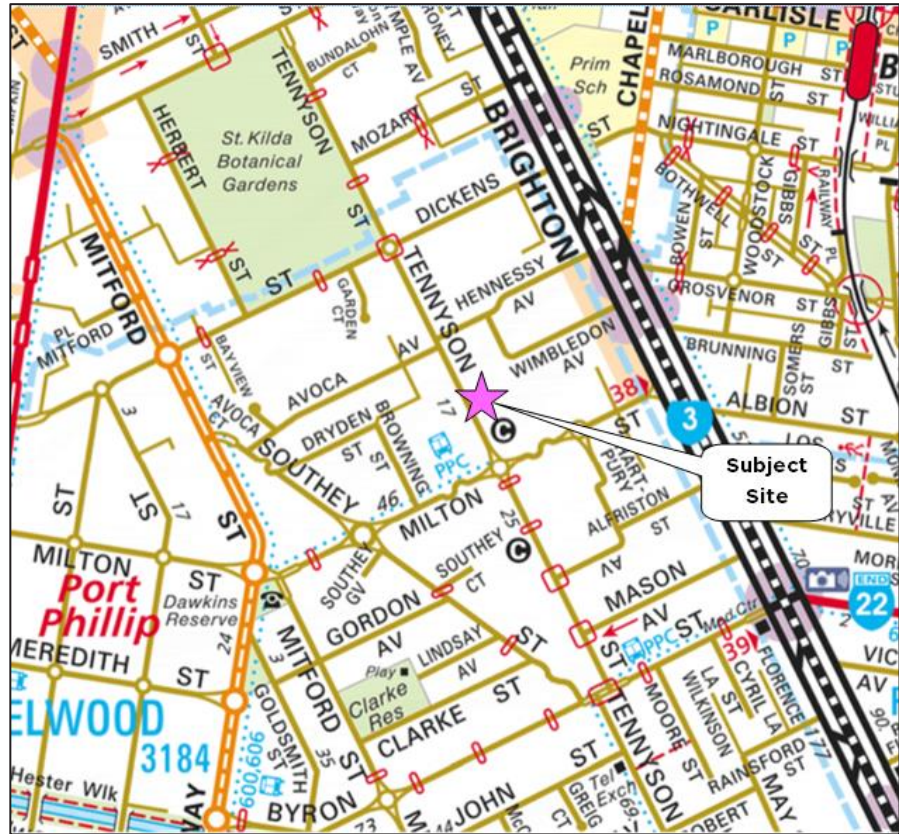
The following Due Diligence assessment concerns the implications as a result of the potential expansion to the existing childcare centre having regard to access, car parking and traffic generation.

1 Existing Conditions

1.1 Location

The subject site is located on the eastern side of Tennyson Street, midblock between Hennessy Avenue and Milton Street, in Elwood. The site's location relative to the surrounding road network can be seen in Figure 1.1.

Figure 1.1: Locality of Subject Site



Source: Melways

The site is located within a Neighbourhood Residential Zone (NRZ6) and is subject to a Heritage Overlay – Schedule 7 (HO7).

The site is located within a residential catchment area and within 250 metres of the Brighton Street Activity Centre (Elwood). Other key non-residential uses located within convenient walking distance of the site include:

- St Kilda Botanical Gardens, located approximately 250 metres north-west;
- Clarke Reserve, located approximately 400 metres south-west;
- St Kilda Primary School, located approximately 400 metres north-east;
- Carlisle Street Activity Centre, located 675 metres north-east;
- Balaclava Station, located 700 metres north-east;
- Ripponlea Station, located 730 metres south-east.

1.2 Subject Site

The site is rectangular in shape, with a frontage to Tennyson Street of 15.2 metres, and maximum site depth of 45.4 metres to provide an overall site area of approximately 680 square metres.

The site is currently occupied by a double storey building which operates as the Elwood Children's Centre. There is a double-width crossover connecting to/from Tennyson Street, which is shared between the properties located at 46 and 48 Tennyson Street.

An aerial view of the site is displayed in Figure 1.2.

Figure 1.2: Aerial View of Subject Site and Surrounds



Source: Landchecker

1.3 Existing Operations

The existing building on site currently operates as Elwood Children's Centre.

There is no car parking provided on site. As a result, all parents and staff travel to and from the site via walking, cycling, public transport or by private vehicle parking on-street.

The subject site and building are owned by the City of Port Phillip.

1.4 Road Network

Tennyson Street

Tennyson Street is a Council managed Local Road which runs in a north-west to south-east alignment between Byron Street and Blessington Street, in Elwood.

In the vicinity of the site, Tennyson Street has a pavement width of 14.6 metres accommodating one lane of traffic in each direction, a separate kerbside parking lane on each side of the road and a central median of 2.2 metres wide, within a road reserve of 24.0 metres. Constructed footpaths are on both sides of the road.

The speed limit of Tennyson Street is 40 km/h.

Kerbside car parking at the frontage of the subject site is restricted to 1/4P from 8:30am to 10:00am and 4:00pm to 5:30pm from Monday to Friday. Kerbside car parking in other locations on Tennyson Street is generally unrestricted.

A view of Tennyson Street facing south-east towards the subject site and facing north-west from the subject site are displayed in Figure 1.3 and Figure 1.4, respectively.

Figure 1.3: Street View of Tennyson Street (facing South-East)



Site Inspection Photos – March 2022

Figure 1.4: Street View of Tennyson Street (facing North-West)



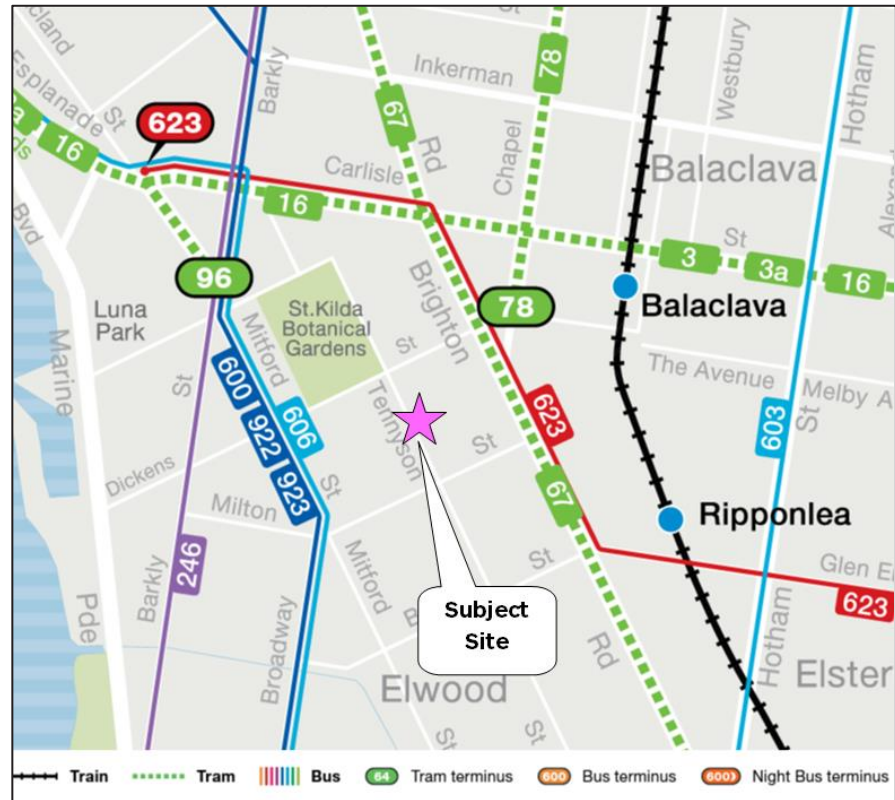
Site Inspection Photos – March 2022

1.5 Public Transport

The site is well serviced by public transport, being located approximately 450 metres (5 minutes walking distance) from tram and bus stops. Tram services connect the site with locations such as Malvern, Chadstone, Melbourne University and Carnegie.

The public transport services accessible within convenient walking distance of the subject site are displayed in Figure 1.5 and detailed in Table 1-1.

Figure 1.5: Public Transport Services



Source: Public Transport Victoria Maps

Table 1-1: Public Transport Routes

| Service | Route Number | Route | Nearest Stop | Walking Distance |
|---------|--------------|--|--|-------------------------|
| Tram | 67 | Melbourne University – Carnegie | Wimbledon Ave/Brighton Road (Stop #34) | 450 metres (5 minutes) |
| | 3-3a | Melbourne University – East Malvern | St Kilda Rd/Carlisle St (Stop #35) | 900 metres (11 minutes) |
| | 16 | Melbourne University – Kew via St Kilda Beach | | |
| Bus | 623 | Glen Waverly – St Kilda via Mount Waverly & Chadstone & Carnegie | Wimbledon Ave/Brighton Rd | 450 metres (5 minutes) |
| | 606 | Elsternwick Station – Fishermans Bend | Dickens St/Mitford St | 550 metres (6 minutes) |
| | 600 | Southland Shopping Centre – St Kilda Station | | |
| | 922 | | | |
| | 923 | | | |

| Service | Route Number | Route | Nearest Stop | Walking Distance |
|---------|------------------|---|----------------------|-----------------------------|
| | 246 | Elsternwick – Clifton Hill via St Kilda | Dickens St/Barkly St | 900 metres (11 minutes) |
| Train | Sandringham Line | | Ripponlea Station | 900 metres (12 minutes) |
| | | | Balaclava Station | 1.0 kilometres (13 minutes) |

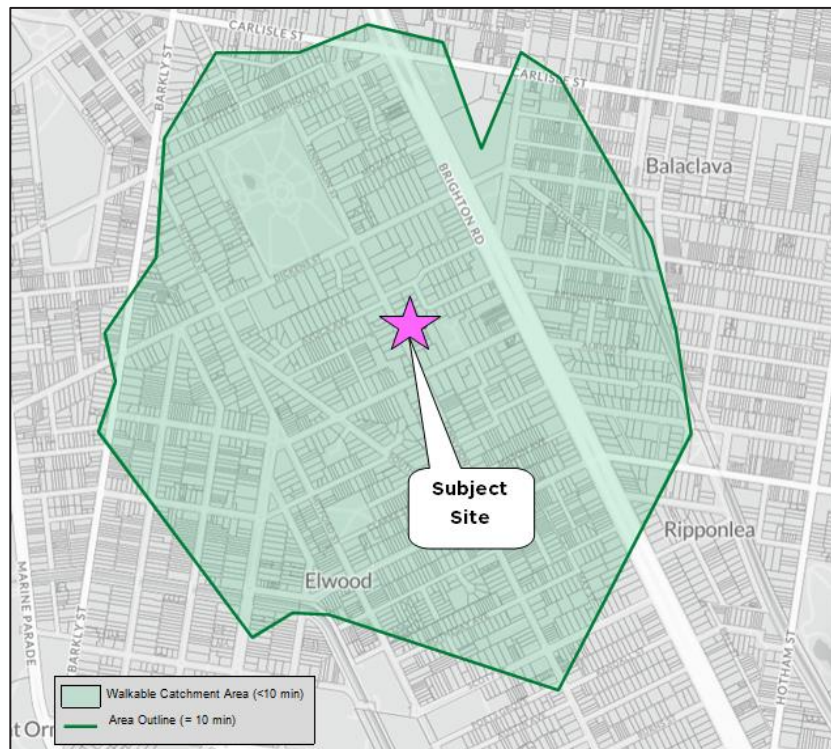
Source: Public Transport Victoria

1.6 Pedestrian Network

Pedestrian movements are also well facilitated with footpaths provided on both sides of Tennyson Street and the majority of the roads within the vicinity of the site. These pedestrian facilities provide access between the subject site, nearby on-street car parking and the public transport network within 10 minutes of walking.

There is a large residential catchment located within 10 minutes walk of the subject site, as displayed in Figure 1.6, indicating that residents living within this catchment area are within a comfortable walking distance of the site.

Figure 1.6: Walkable Services from the Subject Site



Source: Landchecker

1.7 Bicycle Infrastructure

The subject site has good access to Melbourne's bicycle network, with numerous on and off-road paths throughout the suburb of Elwood and the municipality of Port Philip.

On-road bicycle lanes run along Barkly Street, Mitford Street, Brighton Road, Chapel Street, Inkerman Street, Glen Eira Road, Glen Huntly Road

and Broadway, which provides access to St Kilda to the north, Ripponlea and Elsternwick to the east and Brighton to the south of the site.

The Elster Creek trail is an off-road shared path which connects between Brighton East and McKinnon, running along the Elster Creek. The trail provides access to the subject site via on-road bicycle paths along Barkly Street and Mitford Street/Broadway, and connects to the wider bicycle network.

The Bay Trail is an off-road shared path which runs between Port Melbourne and Mordialloc, adjacent to the coastline which borders the Port Phillip Bay. This trail is within the vicinity of the St Kilda Marina and the St Kilda Beach, accessible from the subject site via the bike paths along Barkly Street and the Elster Creek Trail.

The location of the subject site relative to nearby bicycle infrastructure is displayed in Figure 1.7.

Figure 1.7: City of Port Philip TravelSmart Map



Source: Port Philip City Council

1.8 On-Street Car Parking

A review of on-street car parking occupancy and availability was undertaken for parking on Tennyson Street and other streets within convenient walking distance to the subject site.

The survey was conducted on Thursday 22 February 2022 between 7:00am to 10:00am and 3:00pm to 7:00pm. The survey area is displayed in Figure 1.8.

Figure 1.8: Car Parking Occupancy Survey Area



At the Tennyson Street site frontage, two car parking spaces are restricted to 1/4P (15 minute) time limit in order to facilitate drop-off and pick-up movements to/from the childcare centre.

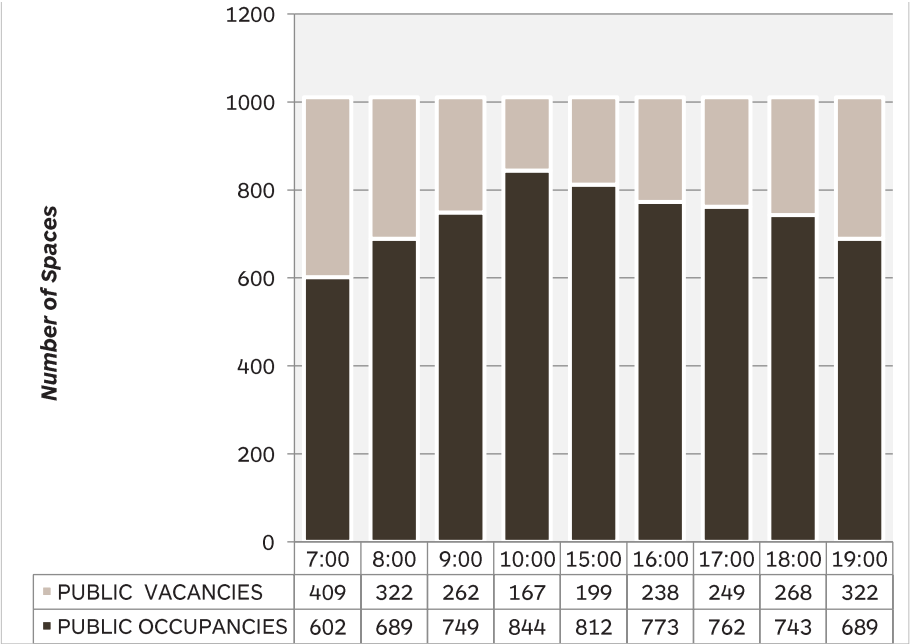
On-street car parking proximate to the site is predominantly unrestricted, with certain areas being subject to short-term parking restrictions.

The car parking occupancy survey illustrated the following:

- During the peak times when childcare drop-off activity typically occurs around the hours of 8am to 9am, there were found to be a minimum of 262 car parking spaces available within the survey area.
- During the peak times of childcare pick-up, from 3pm to 6pm, there were found to be a minimum of 199 car parking spaces available within the survey area.

The temporal demand profile of car parking occupancy within the overall survey area displayed above, is shown in Graph 1-1.

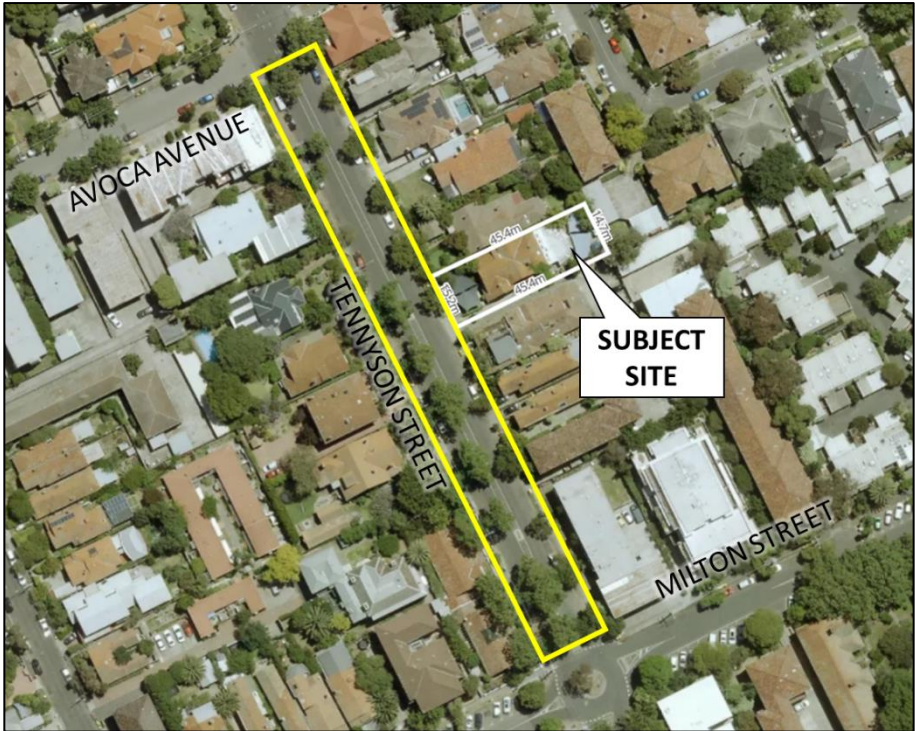
Graph 1-1: Thurs 22 Feb 2022 – On-street Car Parking Availability – Overall



Tennyson Street Car Parking Availability

Parents will typically seek car parking spaces in close proximity to the development to drop-off and pick-up their children conveniently. Therefore, the car parking occupancy and availability of kerbside spaces on Tennyson Street between Avoca Avenue and Milton Street has been considered in isolation. The isolated study area is displayed below in Figure 1.9 and provides a maximum walking distance of 100 metres from the site.

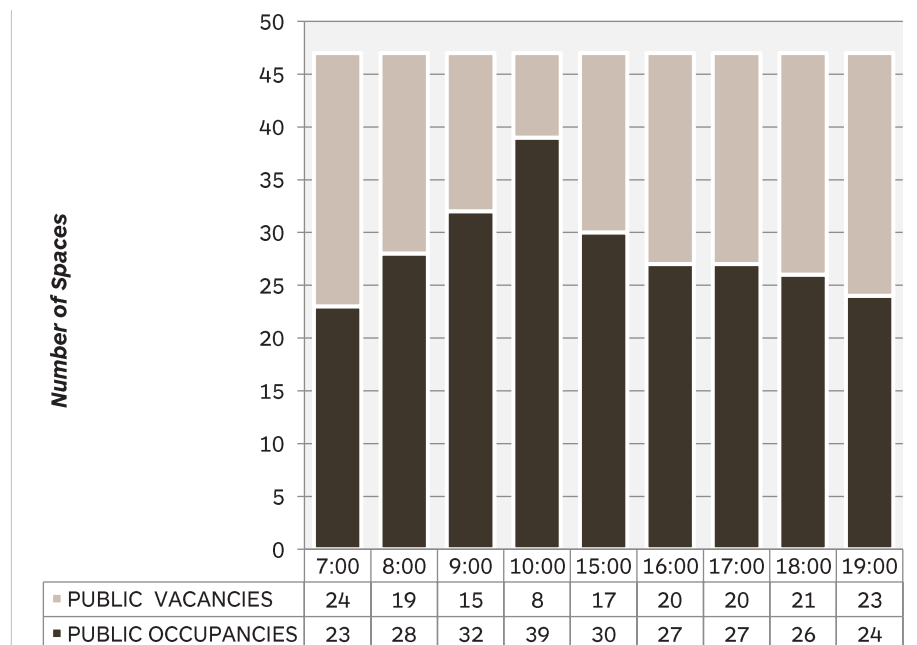
Figure 1.9: Tennyson Street On-Street Car Parking In Vicinity of Site



The car parking occupancy results observed on Tennyson Street are observed as follows and displayed in Graph 1-2:

- During the peak times when childcare drop-off activity typically occurs around the hours of 8am to 9am, there were found to be a minimum of 15 car parking spaces available within the survey area.
- During the times of 8am and 9am there were observed to be 1 of the two space available within the 1/4P parking spaces at the site frontage.
- During the peak times of childcare pick-up, from 3pm to 6pm, there were found to be a minimum of 17 car parking spaces available within the survey area.
- Between the times of 3pm to 6pm, there were observed to be between 1 and zero spaces available of the two 1/4P parking spaces at the site frontage.

Graph 1-2: Thurs 22 Feb 2022 – On-street Car Parking Availability – Tennyson Street (from Milton Street to Avoca Avenue)



The complete car parking occupancy survey results are attached in Appendix A: Car Parking Occupancy Survey Results.

2 Potential Development

This due diligence assessment is undertaken to assess the impacts of a potential increase in childcare places to existing centre operating at 46 Tennyson Street, Elwood.

For the purpose of this assessment, an increase of 10 childcare places has been considered resulting the total number of childcare places increased from 39 to 49 places.

3 Car Parking Requirements

Parking requirements for a range of uses are set out under Clause 52.06 of the Port Phillip Planning Scheme. Table 1 of Clause 52.06 sets out the car parking requirement that applies to a use listed in the Table.

Of relevance, Clause 52.06-5 states that:

A car parking requirement in Table 1 is calculated by multiplying the figure in Column A or Column B (which ever applies) by the measure in Column C.

Column A applies unless Column B applies.

Column B applies if:

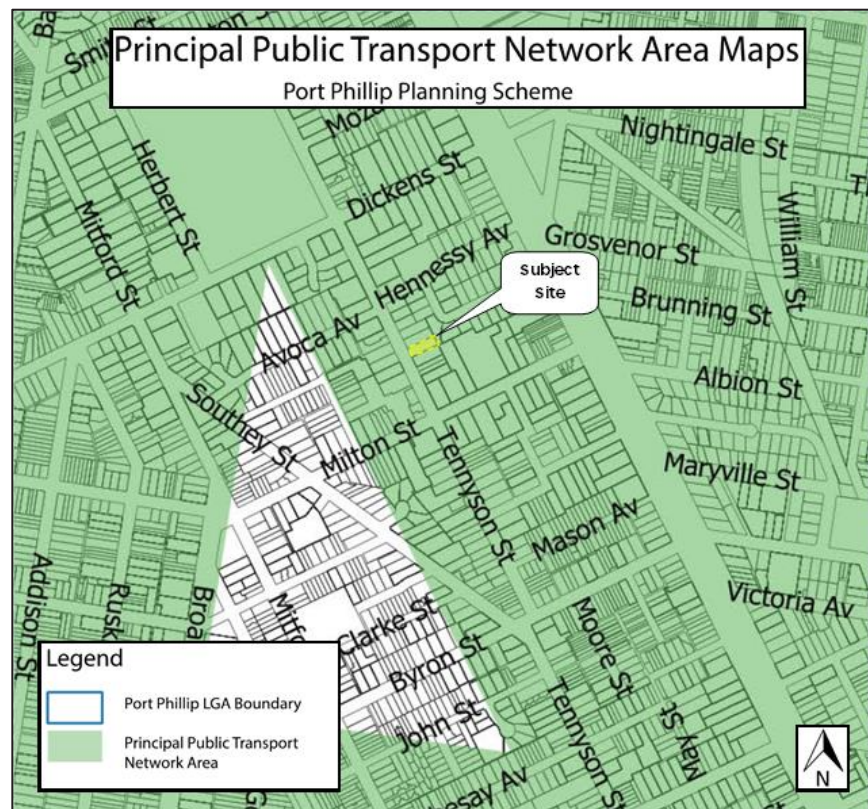
- Any part of the land is identified as being within the Principal Public Transport Network Area as shown on the Principal Public Transport Network Area Maps (State Government of Victoria, 2018); or
- A schedule to the Parking Overlay or another provision of the Planning Scheme specifies that Column B applies.

Additionally, the car parking requirement specified for a use listed in Table 1 does not apply if:

- A car parking requirement for the use is specified under another provision of the Planning Scheme: or
- A schedule to the Parking Overlay specifies the number of car parking spaces required for the use.

The subject site is located within the Principal Public Transport Network (PPTN) Area as illustrated in Figure 3.1 and is not subject to a car parking overlay. Therefore, Column B rates outlined in Table 1 of Clause 52.06-5 apply.

Figure 3.1: Port Phillip Principal Public Network Area



Source: DELWP 2019

Application of the statutory Column B rate to the potential increase in childcare places results in the statutory car parking requirement displayed in Table 3-1.

Table 3–1: Clause 52.06 Statutory Car Parking Requirement

| Land use | Measure | Rate | No. Spaces |
|-----------|-------------|-----------------------|-----------------|
| Childcare | 10 children | 0.22 spaces per child | 2 spaces |

Therefore, the potential increase in 10 children has a statutory car parking requirement of 2 car parking space.

Provision of Car Parking On-site

As seen in the aerial image of the subject site displayed in Figure 1.2, most of the existing site area is occupied by children's play space and other uses associated with the childcare centre. As there is a Heritage Overlay applicable to the site, it has been assumed that there is limited opportunity for the site to be redevelopment in order to accommodate car parking on site.

Therefore, the following assessment is conducted pertinent to the provisions of Clause 52.06, considering a reduction of car parking to zero.

3.1 Car Parking Demand Assessment

Pertinent to Clause 52.06 of the Planning Scheme, the car parking provision can be reduced (including to zero), provided the applicant satisfies the responsible authority that the provision of car parking is justified.

Clause 52.06 requires that a Car Parking Demand Assessment must be conducted, which is to assess the car parking demand likely to be generated by the proposed new use.

A Car Parking Demand Assessment is to consider various factors which would support or enable future residents/visitors/employees of a development to travel to and from the site via other transport modes. Those considerations relevant to the proposal are discussed within the following sections.

Key factors of the likely car parking demand generated by the subject site are discussed in the following sections.

Existing Car Parking Reduction

As discussed in Section 1.3, the existing childcare centre on site currently accommodates 39 childcare places with **zero** car parking spaces provided on site.

Application of the statutory car parking rate of 0.22 car parking spaces to the existing 39 places results in a statutory requirement of 8 car parking spaces. Therefore, the existing childcare operation has an existing car parking reduction of **8** spaces associated with the site.

Therefore, the existing 39 children are considered to travel to site by walking, cycling, public transport or being dropped off in a private vehicle whilst their parents park kerbside on the local road network.

As shown previously in Figure 1.6, many residential dwellings are located within a convenient 10 minute walking distance of the childcare centre. It is considered that a high proportion of parents and children will walk to and from the subject site under existing conditions.

Two short-term 15-minute car parking spaces are provided at the site frontage on Tennyson Street to facilitate pick-up and drop-off

movements. The car parking occupancy surveys discussed previously in Section 1.8 showed that during times of peak demand, there was a minimum of one car parking space available within the short-term bays, and a minimum of 25 vacant spaces along Tennyson Street.

Travel mode questionnaire surveys were provided to the existing childcare centre, however these surveys were not completed.

On the basis of the residential catchment area surrounding the site, and the number of car parking spaces available on Tennyson Street during the car parking survey, that many of the existing children who attend the centre travel there via sustainable transport means – by walking or cycling.

The travel modes of the potential 10 additional children to the childcare centre would be considered to reflect the existing mode splits of the existing children who attend the centre. Therefore the additional 10 children could be anticipated to largely walk to the centre, accompanied by their parent(s).

Walking Catchment

As discussed in Sections 1.6, the pedestrian infrastructure allows excellent connectivity from the subject site to surrounding network.

Future children attending the childcare centre who live within the walking catchment area of the site will easily be able to walk to and from childcare with their parents.

Car Parking Restrictions

As discussed in Section 1.8, the kerbside parking available proximate to the site is unrestricted, with two spaces immediately adjacent to the site being subject to 1/4P restrictions.

The results of the car parking occupancy survey have demonstrated there to be one of the two 1/4P spaces available during the peak times of survey.

As discussed earlier, it is anticipated that most of the existing and potential future children walk or will walk to the subject site. Therefore, it is likely that the car parking demand generated by the additional 10 children will be less than the statutory requirement of 2 spaces.

At times, up to 1 car parking space may be generated in the unrestricted car parking spaces on Tennyson Street. Should this occur, the car parking space is anticipated to be occupied only for a short period whilst the parent drops off or picks up their child. Therefore, the impact to surrounding residents on Tennyson Street is anticipated to be minimal.

Access to Public Transport

As discussed in Section 1.5, the site is well serviced by public transport, being conveniently located in proximity to Ripponlea Station and Balaclava Station, and numerous tram routes such as 3-3a, 16 and 67 accessible from tram stops within 900 metres of the site, supplemented by bus services.

The various public transport services offer a viable means of alternate transport for parents which allow them to conveniently drop off or pick up their children from the childcare centre on the way to and from work.

Access to Bicycle Facilities

As discussed in Section 1.7, the site has good access to the nearby bicycle infrastructure, being connected by on-road bicycle lanes which run along

Brighton Road and connect to the surrounding bicycle network and neighbourhoods.

The site's access to pedestrian and bicycle infrastructure enables walking and cycling as viable transport alternatives for parents to pick up and drop off their children.

In order to encourage and facilitate future parents and children to cycle to the site, it is recommended that additional bicycle parking be provided on site if possible.

Availability of Car Parking

As discussed within the preceding sections, the existing children and parents attending the childcare centre currently travel to the site by walking, cycling, public transport or dropped off/picked up utilising on-street car parking spaces. Based on the sustainable transport factors discussed in the sections above and the residential catchment area within convenient distance of the subject site, it is considered likely that a high proportion of the existing cohort attending the childcare centre attend the site on foot.

The potential 10 additional children to the centre are anticipated to travel to the site via similar travel modes to the existing cohort. Therefore, it is anticipated that the additional 10 children are unlikely to generate a car parking demand equal to the statutory requirement.

Nonetheless, should the additional 10 students generate 2 car parking spaces on-street, the car parking occupancy surveys displayed previously in Section 1.8 show there to be a minimum of 15 car parking spaces available in close proximity to the site on Tennyson Street during the peak times of morning drop-off, and a minimum of 17 spaces available during peak afternoon pick-up. During the times of peak childcare activity, the two 15 min car parking spaces at the site frontage were observed to have a maximum of 1 space of the 2 available.

The maximum of 2 car parking spaces generated by the additional 10 children can easily be accommodated within the on-street car parking provision of Tennyson Street within convenient walking distance of the site. Parents parking on-street typically park for a short period of time before departing, therefore the impact to the overall availability of on-street parking for the use of residents in the area is anticipated to be minimal.

Policies

There is significant support within the Port Phillip Planning Scheme and various Council strategies for developments which encourage the use of sustainable transport alternatives from the private motor vehicle, including those listed and discussed below.

Clause 15.02-1S – Energy and Resource Efficiency

Clause 15 of the Port Phillip Planning Scheme is the State Planning Policy on Built Environment and Heritage. Clause 15.02 is in relation to sustainable development, with Clause 15.02-1 in relation to Energy and resource efficiency.

Of particular relevance to this report, Clause 15.02-1 states the following strategy:

“Support low energy forms of transport such as walking and cycling.”

Clause 18.02-1 – Sustainable Personal Transport

Clause 18 of the Port Phillip Planning Scheme is the State Planning Policy on Transport. Clause 18.02 is in relation to movement networks, with Clause 18.02-1 in relation to Sustainable personal transport.

Of particular relevance to this report, Clause 18.02-1 states the following strategy:

“Ensure development.... provides opportunities to promote walking and cycling.”

Clause 21.03 – Ecologically Sustainable Development

Clause 21.03: Ecologically Sustainable Development of the Port Phillip Planning Scheme outlines the relevant Local Planning Policies that relate to transport and parking.

Broadly, Clause 21.03 outlines Port Phillip’s aim to reduce car dependence by promoting sustainable transport (walking, cycling and public transport). It includes a number of strategies that aim to achieve these goals, the following are those relevant to this proposal:

- Facilitate the use of sustainable transport modes in preference to private vehicles use by ensuring the development supports the prioritisation of transport modes in the following order:
 - Walking
 - Cycling
 - Public transport
 - Freight
 - Multiple occupancy vehicles
- To create a walking network that is integrated, safe and accessible and encourages more people to walk more often.
- To create a cycling network that is integrated, safe and accessible and encourages more people to cycle more often by extending the existing network of dedicated cycle routes to improve the connections for on-road and off-road cyclists and ensure that adequate end of trip facilities are provided, as appropriate.
- To facilitate an increase in the use of public transport by:
 - Supporting improvements to the overall convenience, accessibility and safety of the public transport, including public transport stops and interchanges.
 - Ensuring major entertainment, recreation, retail, education and employment uses are accessible by public transport.
- To reduce the impact of vehicles on local areas by:
 - Allow for a reduction in the required number of on-site parking spaces where the provision of sustainable transport facilities / initiatives can reduce the demand for parking through increased use of alternative modes of transport: walking, cycling, and public transport.

Move, Connect, Live – Integrated Transport Strategy 2018-2028

Port Phillip Council adopted Move, Connect, Live in September 2018. The 10-year strategy aims to deliver on Port Phillip Council’s commitment to supporting a well-connected transportation future for the City, to make it easy for people to move around and connect with places in a way that suits them as the City grows.

The ITS identifies a *“long-term plan to ensuring that as a community we can adapt to the increasing number of trips and the challenges associated with increased congestion, while creating travel choices, prioritising effective and equitable access to transport options, and ensuring the liveability and safety of our streets”*.

The ITS identifies seven key priorities, including the following four which are considered of particular relevance to this assessment:

- *“Creating 10-minute walkable neighbourhoods”*
- *“Boosting bike riding”*
- *“Partnering to deliver reliable, accessible and more frequent public transport”*
- *“Improving parking management”*

The ITS acknowledges that *“with a road network that is at capacity and cannot be increased, requires a rethink of how more sustainable modes of transport can be used.”*

4 Summary

The preceding due diligence assessment has been conducted to consider an assumed increase in the number of childcare places by 10 places to the existing childcare centre located at 46 Tennyson Street in Elwood.

The increase in 10 childcare places would generate a car parking requirement of 2 car parking space pertinent to Clause 52.06 of the Port Phillip Planning Scheme. For the following reasons, a reduction in car parking to zero spaces is considered satisfactory for the subject site:

- The existing childcare centre accommodates 39 child places. The existing children and parents attending the centre currently travel to the site by walking, cycling, public transport or dropped off/picked up utilising on-street car parking spaces as the existing centre is provided with no car parking on site. The existing centre has a car parking reduction of 8 spaces.
- The medium density residential dwellings captured within the walkable catchment surround the subject site demonstrates that any future children and parents of the centre within this area can walk to/from the childcare centre within 10 minutes.
- Two kerbside car parking spaces at the site frontage are restricted to 1/4P parking in order to facilitate pick-up/drop-off movements to the childcare centre.
- The site is well serviced by public transport, well serviced by bicycle infrastructure which will enable parents to travel to and from the site on bicycle, or to drop-off children on their way to work.
- It is recommended, if possible, for bicycle parking to be provided on-site to encourage parents and children to cycle to site.
- Numerous Planning Policies, including Port Phillip’s Integrated Transport Strategy, seek to reduce dependence on private motor vehicles.
- Car parking occupancy data has demonstrated that there is sufficient capacity within the on-street car parking spaces along Tennyson Street within 100 metres walking distance of the site to accommodate the maximum of 2 car parking spaces generated by the additional children to the centre.

Should you have any further queries, please feel free to contact Saurav Naidu or the undersigned on 9429 3111.

Yours sincerely,



Senior Transport Engineer
Ratio Consultants

Encl. Traffic Surveys

Parking Tennyson St, Elwood

TRANS TRAFFIC SURVEY

trafficsurvey.com.au

QUALITY SYSTEM CERTIFICATION

DNV-GL

ISO 9001

SAFETY SYSTEM CERTIFICATION

DNV-GL

AS/NZS 4801

ENVIRONMENTAL SYSTEM CERTIFICATION

DNV-GL

ISO 14001

Parking Occupancy Survey

| | |
|-----------|---------------------------|
| Date: | Tuesday, 22 February 2022 |
| Location: | Tennyson St, Elwood |
| GPS: | -37.873631, 144.987208 |
| Weather: | Fine |
| Customer: | Ratio |

| Public Parking (1/0) | Map Ref | Street | Section (GPS/Street Address if Off-Street Car Park) | Side | Restriction | Clear Way | Capacity | Parking Occupancy | | | | | | | | |
|----------------------|---------|-------------|---|------|-------------------------------|--|----------|-------------------|------|------|-------|-------|-------|-------|-------|-------|
| | | | | | | | | 7:00 | 8:00 | 9:00 | 10:00 | 15:00 | 16:00 | 17:00 | 18:00 | 19:00 |
| 1 | | Byron St | From Southey St To Brighton Rd | N | Unrestricted | | 24 | 15 | 17 | 19 | 23 | 23 | 22 | 21 | 19 | 17 |
| 1 | | | | S | Unrestricted | | 32 | 20 | 22 | 24 | 27 | 28 | 26 | 25 | 25 | 24 |
| 1 | | | | | Disabled | | 1 | 0 | 0 | 0 | 1 | 1 | 0 | 0 | 1 | 1 |
| 1 | | | | | Bus Zone | | 1 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 |
| 1 | | Brighton Rd | From Byron St To Mason Ave | W | Unrestricted | | 6 | 4 | 5 | 5 | 6 | 6 | 6 | 6 | 6 | 6 |
| 1 | | | | | Mail Zone | | 1 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 |
| 1 | | | | | Bus Zone | | 1 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 |
| 1 | | | From Mason Ave To Alfriston St | W | Unrestricted | | 11 | 8 | 9 | 10 | 11 | 11 | 11 | 11 | 11 | 10 |
| 1 | | | From Alfriston St To Milton St | W | Unrestricted | | 18 | 14 | 16 | 18 | 18 | 18 | 18 | 18 | 17 | 16 |
| 1 | | | From Milton St To Wimbledon Ave | W | 1P 8am-6pm Mon-Sat | | 13 | 9 | 10 | 11 | 12 | 13 | 13 | 12 | 12 | 11 |
| 1 | | | | | Mail Zone | | 1 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 |
| 1 | | | From Wimbledon Ave To Hennessy Ave | W | 1P 8am-6pm Mon-Sat | | 2 | 0 | 1 | 1 | 2 | 2 | 2 | 2 | 2 | 2 |
| 1 | | | From Hennessy Ave To Dickens St | W | Unrestricted | | 18 | 11 | 13 | 14 | 15 | 17 | 16 | 15 | 15 | 14 |
| 1 | | Dickens St | From Brighton Rd To Tennyson St | N | 2P 8am-6pm | | 23 | 10 | 11 | 12 | 13 | 15 | 14 | 14 | 13 | 12 |
| 1 | | | | S | Unrestricted | | 23 | 15 | 19 | 22 | 23 | 23 | 22 | 22 | 21 | 19 |
| 1 | | | From Tennyson St To Mitford St | N | Unrestricted | | 64 | 37 | 39 | 41 | 47 | 51 | 47 | 46 | 44 | 42 |
| 1 | | | | | Permit Zone Carshare Go Get | | 1 | 0 | 0 | 0 | 0 | 1 | 1 | 1 | 1 | 1 |
| 1 | | | | | Disabled | | 1 | 1 | 1 | 0 | 1 | 0 | 0 | 0 | 0 | 0 |
| 1 | | | | | Permit Zone Carshare Flecicar | | 1 | 1 | 1 | 1 | 1 | 0 | 0 | 0 | 0 | 0 |
| 1 | | | | S | Unrestricted | | 28 | 18 | 21 | 23 | 24 | 23 | 21 | 21 | 20 | 18 |
| 1 | | | | | Unrestricted | No Parking 8-8:45am 4-5:15pm Mon-Thu, 8-8:45am 2:45-3:30pm Fri | 5 | 0 | 0 | 1 | 1 | 0 | 0 | 0 | 1 | 1 |
| 1 | | Mitford St | From Dickens St To Southey St | W | Unrestricted | | 11 | 6 | 7 | 8 | 10 | 9 | 9 | 9 | 8 | 7 |
| 1 | | | | E | Unrestricted | | 6 | 3 | 4 | 4 | 5 | 4 | 4 | 4 | 4 | 4 |
| 1 | | Southey St | From Mitford St To Milton St | W | Unrestricted | | 28 | 20 | 22 | 23 | 24 | 23 | 21 | 22 | 22 | 21 |

Parking Tennyson St, Elwood

| | | | | | | | | | | | | | | | | |
|---|--|-------------|---------------------------------|---|--|--|----|----|----|----|----|----|----|----|----|----|
| 1 | | | | | Disabled | | 1 | 1 | 1 | 0 | 1 | 0 | 0 | 0 | 0 | 0 |
| 1 | | | | E | Unrestricted | | 24 | 15 | 18 | 21 | 24 | 20 | 19 | 19 | 19 | 18 |
| 1 | | | From Milton St To Gordon Ave | W | Unrestricted | | 8 | 4 | 5 | 5 | 5 | 6 | 6 | 6 | 6 | 5 |
| 1 | | | | E | Unrestricted | | 18 | 10 | 12 | 13 | 14 | 11 | 11 | 11 | 11 | 11 |
| 1 | | | From Gordon Ave To Lindsay Ave | W | Unrestricted | | 9 | 5 | 6 | 6 | 7 | 6 | 6 | 6 | 6 | 6 |
| 1 | | | | E | Unrestricted | | 21 | 15 | 16 | 17 | 18 | 19 | 18 | 18 | 18 | 17 |
| 1 | | | From Lindsay Ave To Clarke St | W | Unrestricted | | 12 | 7 | 8 | 8 | 8 | 10 | 9 | 9 | 9 | 8 |
| 1 | | | | E | Unrestricted | | 6 | 4 | 4 | 4 | 4 | 5 | 5 | 5 | 5 | 4 |
| 1 | | | From Clarke St To Byron St | W | Unrestricted | | 9 | 3 | 4 | 4 | 5 | 3 | 3 | 3 | 3 | 3 |
| 1 | | | | E | Unrestricted | | 17 | 8 | 9 | 10 | 11 | 10 | 9 | 9 | 9 | 9 |
| 1 | | Tennyson St | From Byron St To Milton St | N | Unrestricted | | 38 | 22 | 26 | 29 | 35 | 35 | 32 | 31 | 29 | 27 |
| 1 | | | | S | Unrestricted | | 19 | 10 | 11 | 11 | 13 | 11 | 11 | 11 | 11 | 10 |
| 1 | | | From Milton St To Avoca Ave | N | Unrestricted | | 20 | 10 | 12 | 14 | 17 | 12 | 12 | 11 | 10 | 9 |
| 1 | | | | | Disabled | | 1 | 0 | 0 | 0 | 1 | 0 | 0 | 0 | 0 | 0 |
| 1 | | | | | 1/4P 8:30-10am 4-5:30pm Mon-Fri | | 2 | 0 | 1 | 1 | 2 | 2 | 0 | 0 | 0 | 0 |
| 1 | | | | S | Unrestricted | | 24 | 13 | 15 | 17 | 19 | 16 | 15 | 16 | 16 | 15 |
| 1 | | | From Avoca Ave To Dickens St | N | Unrestricted | | 15 | 8 | 9 | 10 | 10 | 9 | 9 | 9 | 9 | 8 |
| 1 | | | | S | Unrestricted | | 16 | 8 | 10 | 11 | 13 | 11 | 11 | 11 | 11 | 10 |
| 1 | | Avoca Ave | From Tennyson St To Southey St | N | Unrestricted | | 29 | 18 | 22 | 26 | 29 | 28 | 28 | 27 | 25 | 22 |
| 1 | | | | S | Unrestricted | | 34 | 25 | 28 | 30 | 34 | 34 | 32 | 32 | 29 | 26 |
| 1 | | Dryden St | From Southey St To Browning St | N | Unrestricted | | 21 | 12 | 15 | 17 | 19 | 20 | 19 | 18 | 17 | 15 |
| 1 | | | | S | Unrestricted | | 16 | 10 | 11 | 12 | 13 | 14 | 13 | 13 | 13 | 12 |
| 1 | | Browning St | From Dryden St To Milton St | W | Unrestricted | | 16 | 12 | 13 | 13 | 15 | 15 | 15 | 15 | 15 | 14 |
| 1 | | | | E | Unrestricted | | 16 | 12 | 14 | 16 | 16 | 16 | 16 | 15 | 15 | 15 |
| 1 | | Milton St | From Southey St To Tennyson St | W | Unrestricted | | 12 | 7 | 9 | 10 | 11 | 11 | 11 | 11 | 11 | 10 |
| 1 | | | | E | Unrestricted | | 18 | 13 | 14 | 14 | 16 | 15 | 15 | 15 | 14 | 13 |
| 1 | | | From Tennyson St To Brighton Rd | W | Unrestricted | | 27 | 11 | 12 | 13 | 15 | 10 | 9 | 9 | 8 | 7 |
| 1 | | | | E | 2P 8am-6pm Permit Zone All Other Times | | 12 | 5 | 6 | 7 | 8 | 6 | 6 | 6 | 6 | 5 |
| 1 | | | | | Loading Zone 15min 8am-6pm Mon-Fri | | 1 | 1 | 1 | 0 | 0 | 1 | 0 | 0 | 1 | 1 |
| 1 | | Hartpur Ave | From Milton St To Bend | W | Unrestricted | | 10 | 5 | 6 | 7 | 8 | 6 | 6 | 6 | 6 | 5 |
| 1 | | | | E | Unrestricted | | 6 | 3 | 4 | 4 | 5 | 4 | 4 | 4 | 4 | 4 |
| 1 | | | From Bend To Tennyson St | N | Unrestricted | | 12 | 5 | 6 | 7 | 8 | 8 | 8 | 8 | 8 | 8 |
| 1 | | | | S | Unrestricted | | 14 | 7 | 8 | 9 | 11 | 11 | 10 | 10 | 10 | 10 |

Parking Tennyson St, Elwood

| | | | | | | | | | | | | | | | | |
|---|----------------------|---------------|----------------------------------|---|--------------|--|----|------|------|------|------|------|------|------|------|------|
| 1 | | | | | Disabled | | 1 | 0 | 0 | 0 | 1 | 1 | 0 | 0 | 1 | 1 |
| 1 | | Alfriston St | From Hartpurv Ave To Brighton Rd | N | Unrestricted | | 13 | 7 | 8 | 9 | 10 | 9 | 9 | 9 | 9 | 8 |
| 1 | | | | S | Unrestricted | | 14 | 7 | 8 | 9 | 11 | 10 | 10 | 9 | 9 | 8 |
| 1 | | Mason Ave | From Brighton Rd To Tennyson St | N | Unrestricted | | 27 | 16 | 18 | 20 | 22 | 23 | 21 | 21 | 21 | 20 |
| 1 | | | | S | Unrestricted | | 33 | 22 | 24 | 25 | 29 | 27 | 27 | 27 | 25 | 22 |
| 1 | | Wimbledon Ave | From Brighton Rd To Bend | N | Unrestricted | | 17 | 10 | 12 | 14 | 17 | 16 | 16 | 16 | 16 | 15 |
| 1 | | | | S | Unrestricted | | 21 | 15 | 16 | 17 | 19 | 20 | 19 | 18 | 18 | 17 |
| 1 | | | From Bend To Hennessy Ave | W | Unrestricted | | 5 | 4 | 5 | 5 | 5 | 5 | 5 | 5 | 5 | 5 |
| 1 | | | | E | Unrestricted | | 8 | 6 | 7 | 8 | 8 | 7 | 7 | 7 | 7 | 7 |
| 1 | | Hennessy Ave | From Brighton Rd To Tennyson St | N | Unrestricted | | 29 | 21 | 23 | 24 | 28 | 24 | 22 | 22 | 21 | 19 |
| 1 | | | | S | Unrestricted | | 19 | 13 | 14 | 15 | 15 | 17 | 16 | 15 | 15 | 14 |
| | PUBLIC CAPACITY | | | | | | | 1011 | 1011 | 1011 | 1011 | 1011 | 1011 | 1011 | 1011 | 1011 |
| | PUBLIC OCCUPANCIES | | | | | | | 602 | 689 | 749 | 844 | 812 | 773 | 762 | 743 | 689 |
| | PUBLIC VACANCIES | | | | | | | 409 | 322 | 262 | 167 | 199 | 238 | 249 | 268 | 322 |
| | PUBLIC % OCCUPANCIES | | | | | | | 60% | 68% | 74% | 83% | 80% | 76% | 75% | 73% | 68% |

not available for public parking

