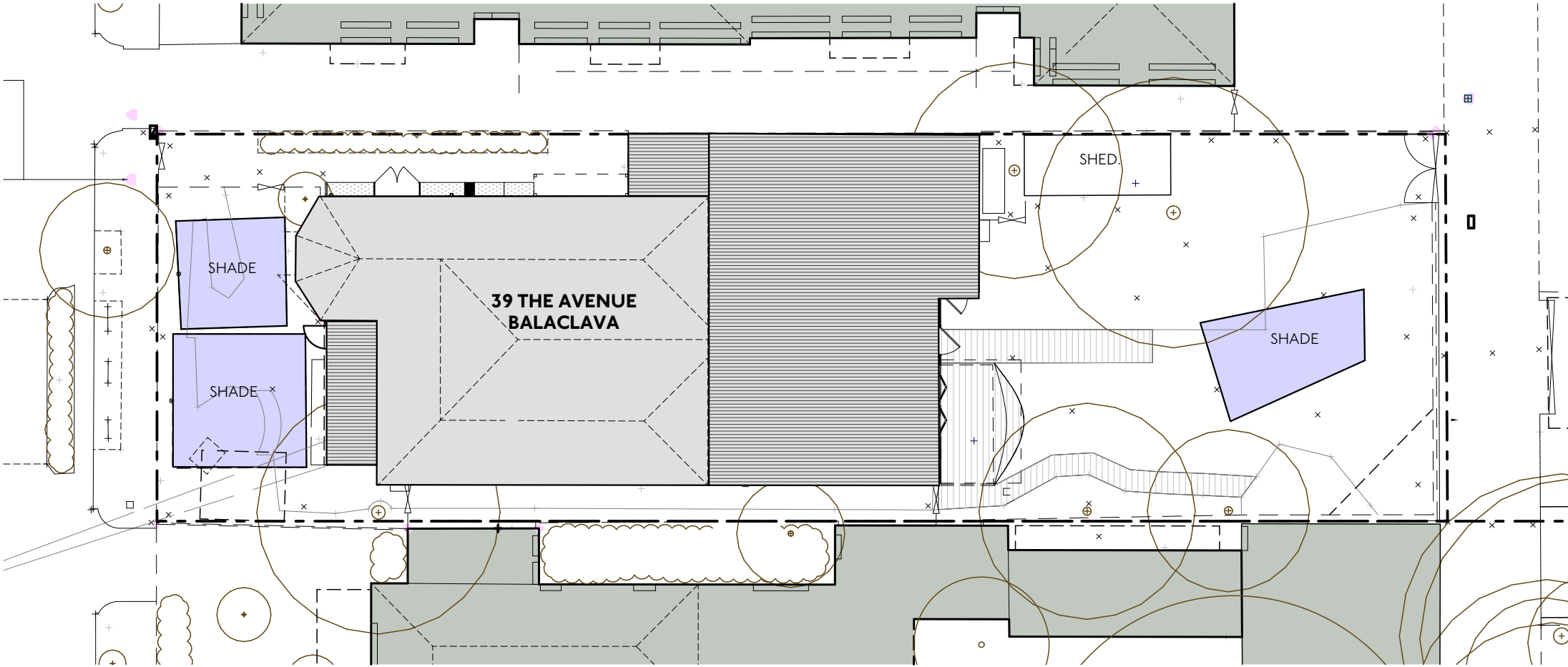


FEASIBILITY STUDY

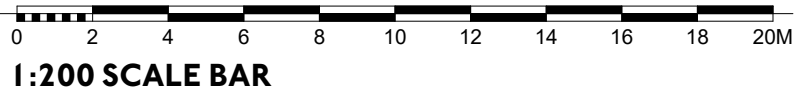
39 THE AVENUE, BALACLAVA

Not a development proposal.
An indicative concept for an upgraded, single storey facility.

Drawing No:	Layout Name
FS01	SITE PLAN - EXISTING
FS02	GROUND FLOOR PLAN - EXISTING
FS03	GROUND FLOOR PLAN - DEMOLITION
FS04	SITE PLAN - PROPOSED
FS05	GROUND FLOOR PLAN - PROPOSED



1 SITE PLAN - EXISTING
1:200



PRELIMINARY ONLY
NOT FOR CONSTRUCTION



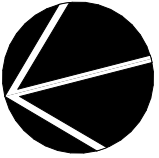
no.	revision	date

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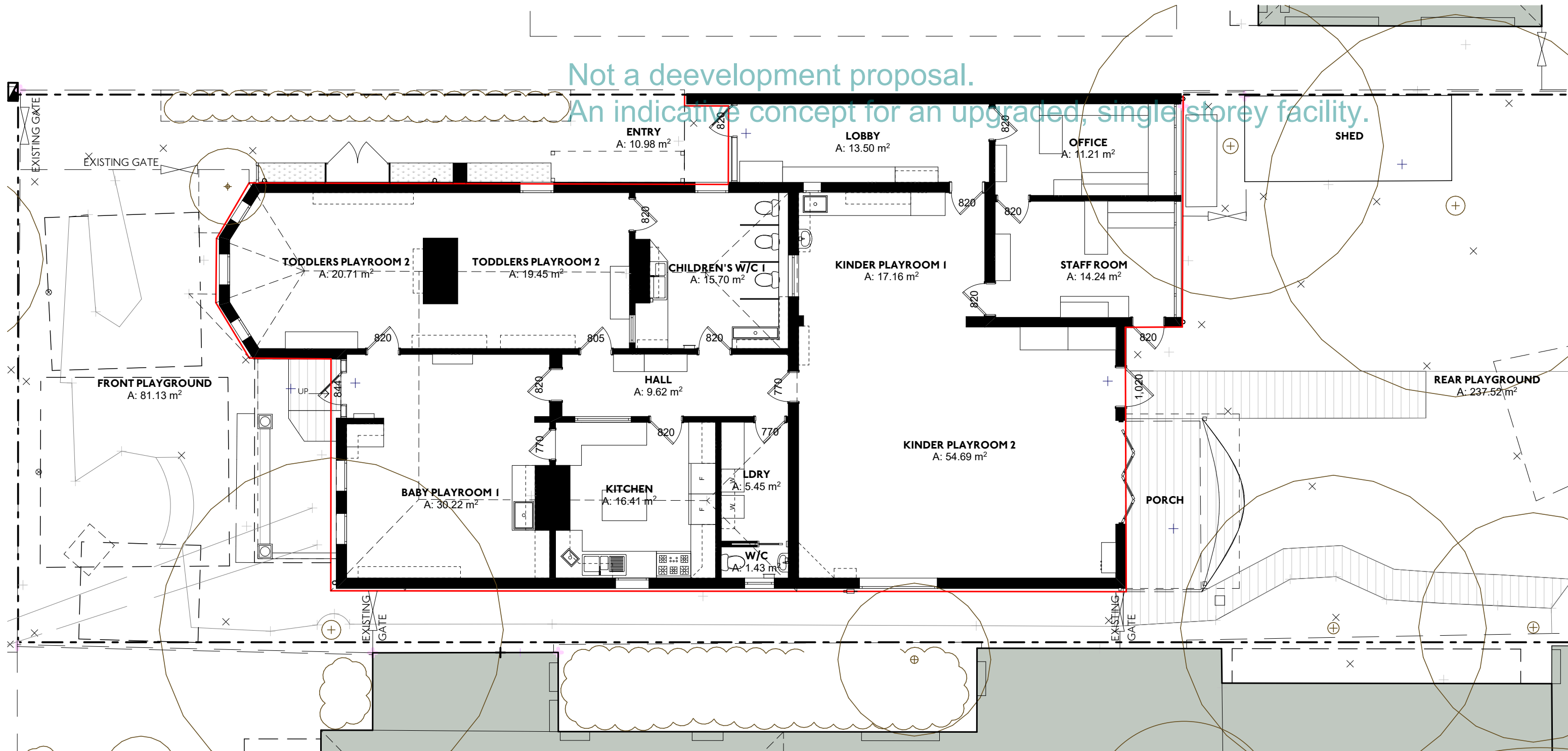
CLIENT DETAILS
CITY OF PORT PHILLIP
ADDRESS
99A CARLISLE STREET,
ST KILDA, 3182



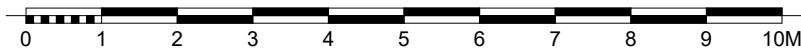
PROJECT
THE AVENUE CHILDREN'S
CENTRE FEASIBILITY STUDY
39 THE AVENUE BALACLAVA VIC,
3138
PROJECT NUMBER
2208

DRAWING
SITE PLAN - EXISTING
Scale: AS SHOWN @ A3
Date: 28/04/2022
FS01

Not a development proposal.
An indicative concept for an upgraded, single storey facility.



1 GROUND FLOOR PLAN - EXISTING
1:100



1:200 SCALE BAR

EXISTING ARRANGEMENTS

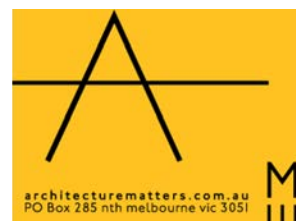
CURRENT CAPACITY (MAX) - 41 CHILDREN (non compliant)
CURRENT STAFF (MAX) - 10 STAFF

SITE AREA - 682.92m2
EXISTING BUILDING FOOTPRINT - 286.90m2 (inc. verandah and decks)
FRONT PLAYGROUND (clear space) - 81.13m2
REAR PLAYGROUND (clear space) - 235.74m2

* GROSS FLOOR AREA SHOWN UNDER ROOM NAMES

PRELIMINARY ONLY

NOT FOR CONSTRUCTION



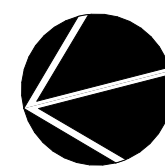
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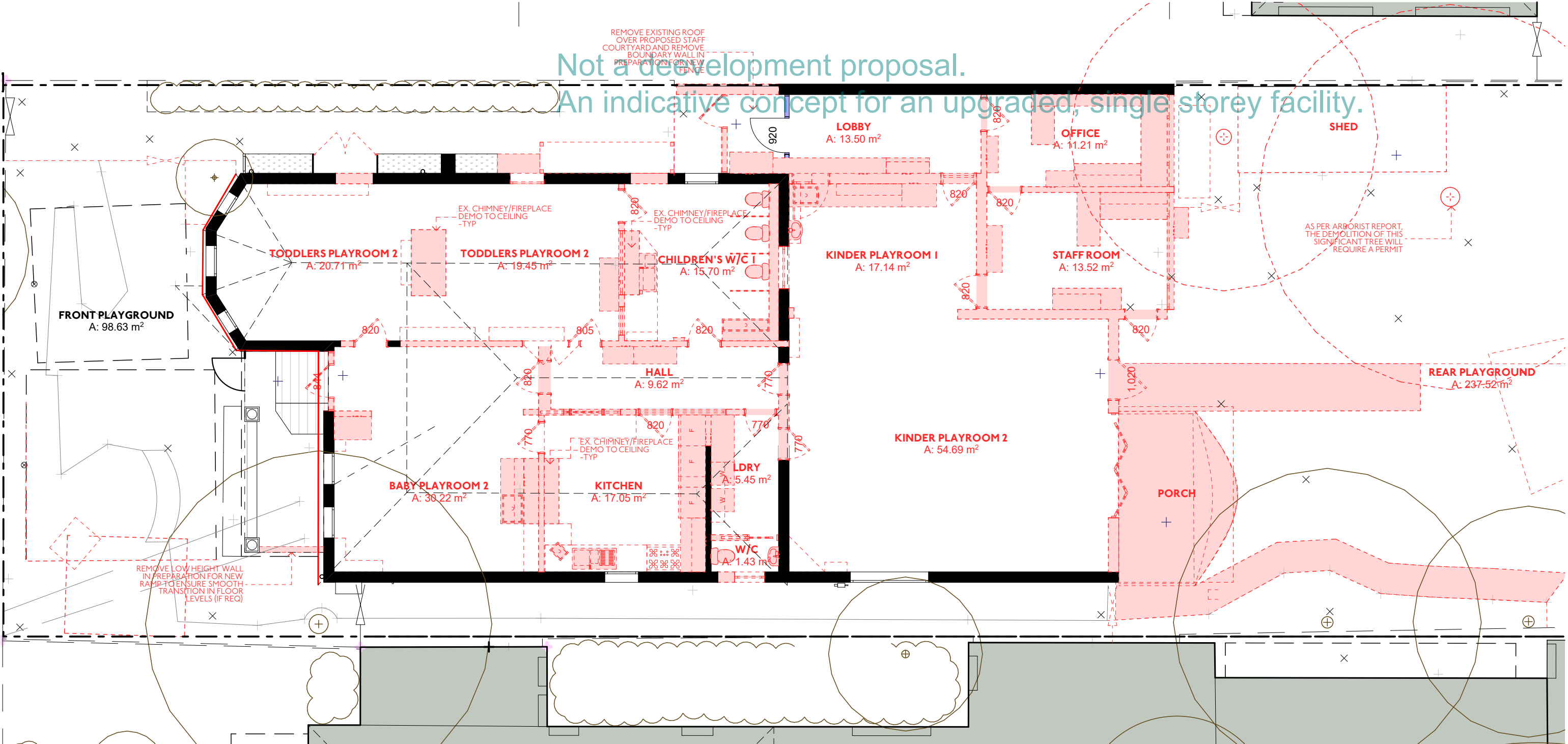


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ST KILDA, 3182

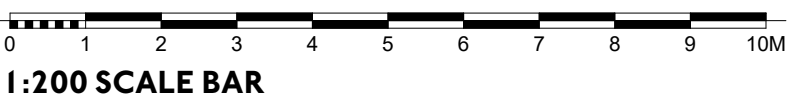


PROJECT
THE AVENUE CHILDREN'S
CENTRE FEASIBILITY STUDY
39 THE AVENUE BALACLAVA VIC,
3138
PROJECT NUMBER
2208

DRAWING
GROUND FLOOR PLAN
- EXISTING
Scale: AS SHOWN @ A3
Date: 28/04/2022
FS02



1 GROUND FLOOR PLAN - DEMOLITION
1:100



PRELIMINARY ONLY

NOT FOR CONSTRUCTION



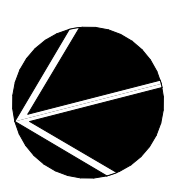
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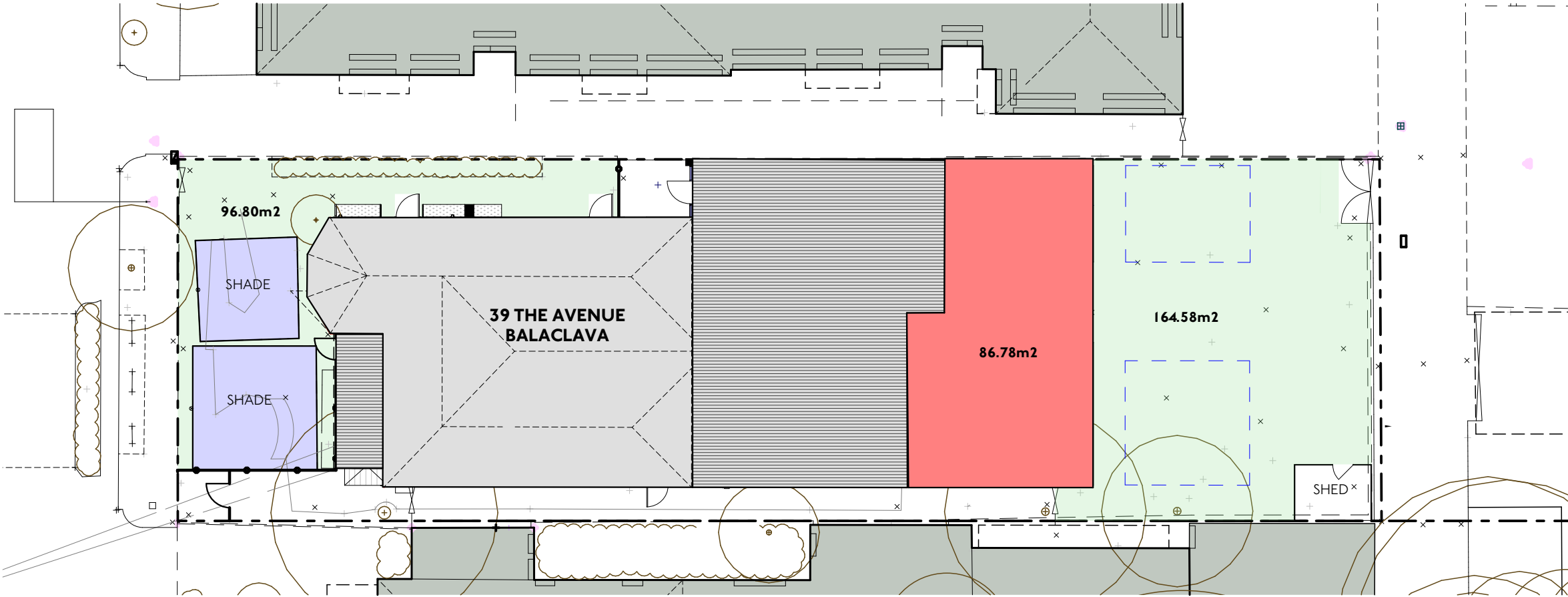
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99A CARLISLE STREET,
ST KILDA, 3182



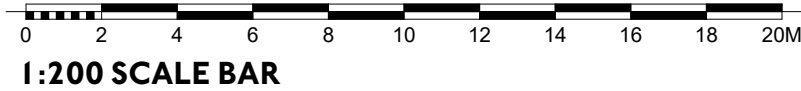
PROJECT
THE AVENUE CHILDREN'S
CENTRE FEASIBILITY STUDY
39 THE AVENUE BALACLAVA VIC,
3138
PROJECT NUMBER
2208

DRAWING
GROUND FLOOR PLAN
- DEMOLITION
Scale: AS SHOWN @ A3
Date: 28/04/2022
FS03

Not a development proposal.
An indicative concept for an upgraded, single storey facility.



1 SITE PLAN - PROPOSED
1:200



LEGEND

CHILDREN'S PLAY AREA

EXTENDED AREA

SHADE SAIL/SHELTERED AREA

PROPOSED SHADE SAIL/SHELTERED AREA (NOMINAL)

PROPOSED ARRANGEMENTS

CAPACITY (MAX) - 34 CHILDREN
CARERS (MAX) - 5 CARERS

SITE AREA - 682.92m2
PROPOSED BUILDING FOOTPRINT - 360.67m2 (inc. verandah) **52.8%**
FRONT PLAYGROUND (clear space) - 95.91m2 = 13 CHILD CAPACITY
REAR PLAYGROUND (clear space) - 164.68m2 = 22 CHILD CAPACITY

TODDLER PLAYROOM 1 (clear space) - 26.91m2 = 8 CHILD CAPACITY
TODDLER PLAYROOM 2 (clear space) - 15.10m2 = 4 CHILD CAPACITY
KINDER PLAYROOM 1 (clear space) - 38.97m2 = 11 CHILD CAPACITY
KINDER PLAYROOM 2 (clear space) - 39.40m2 = 11 CHILD CAPACITY

* GROSS FLOOR AREA SHOWN UNDER ROOM NAMES

PRELIMINARY ONLY

NOT FOR CONSTRUCTION



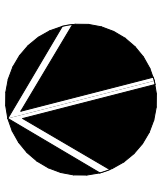
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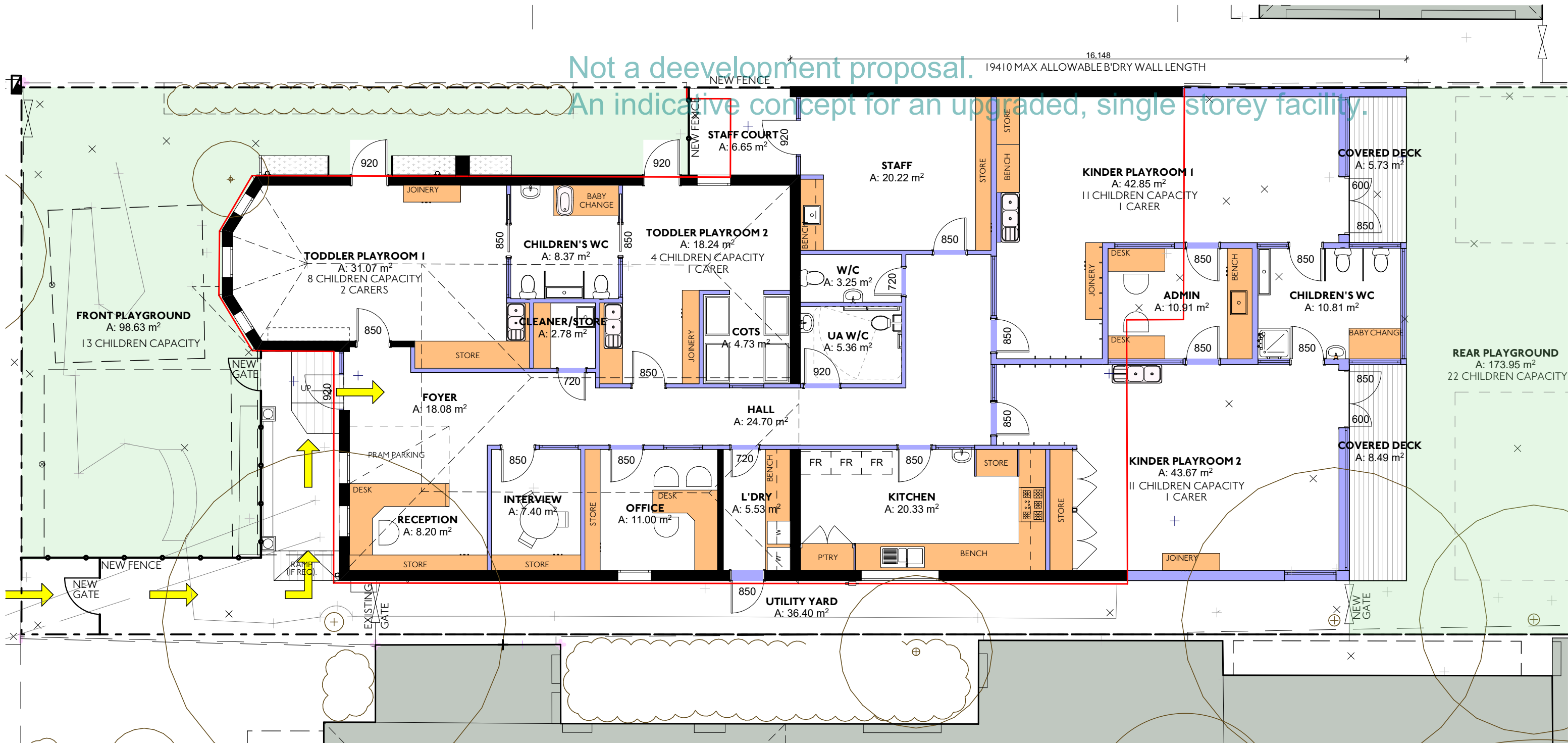


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ADDRESS
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ST KILDA, 3182

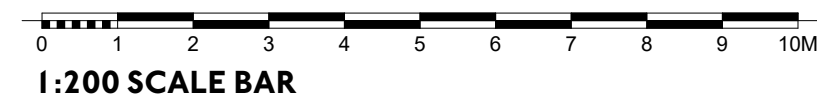


PROJECT
THE AVENUE CHILDREN'S
CENTRE FEASIBILITY STUDY
39 THE AVENUE BALACLAVA VIC,
3138
PROJECT NUMBER
2208

DRAWING
SITE PLAN - PROPOSED
Scale: AS SHOWN @ A3
Date: 28/04/2022
FS04



1 GROUND FLOOR PLAN - PROPOSED
1:100



PRELIMINARY ONLY

NOT FOR CONSTRUCTION

Not a development proposal.

An indicative concept for an upgraded, single storey facility.

City of Port Phillip

**The Avenue Children's Centre
(Alteration & Addition)**

Feasibility/ Concept Design Cost Plan

17 May 2022



[REDACTED]
Property Development Associate | Property and Assets
99a Carlisle Street,
St Kilda VIC 3182

17 May 2022

City of Port Phillip
The Avenue Children's Centre (Alteration & Addition)

[REDACTED],
In accordance with your instructions, we have prepared a Feasibility/ Concept Design Cost Plan based on drawings provided, and report herein the estimated total project cost as follows:

Building & External Works

Estimated Total Project Cost Based on Project Being Tendered in December 2023

Excluding GST

\$2,100,000.00

Exclusions

In compiling this costing, we have not allowed for the following:

- Bank charges and financing costs
- Future maintenance & replacement of equipment
- Energy consumption costs
- Decanting costs/ relocation costs
- Deeper footings such as bored piers, screw piles & the like
- Solar panels
- Boundary fencing (Retain Existing)
- Retaining walls
- Rock excavation
- Contaminated soil removal
- Cost escalation to Tender beyond December 2023
- Cost escalation / market conditions during construction period

We trust that this is satisfactory for your purposes at this stage.

Yours faithfully,

[REDACTED SIGNATURE]

Director

Member of AIQS - MAIQS 10619
Registered Building Practitioner - QS 47529

City of Port Phillip
The Avenue Children's Centre (Alteration & Addition)
Feasibility/ Concept Design Cost Plan
Summary

Not a development proposal.
An indicative concept for an upgraded, single storey facility.

17 May 2022

Items		Area m2 GFA	Rate \$/m2	Estimated Cost
1.0	Demolition			\$60,065.00
2.0	Single Storey Building	333.0	\$3,392.84	\$1,129,817.00
3.0	Siteworks & Landscaping	231.0	\$689.80	\$159,343.00
4.0	External Services			\$44,275.00
5.0	External Signage			\$6,500.00
Sub Total Excluding GST				\$1,400,000.00
6.0	Cost Escalation to Tender Dec. 2023 & Market Conditions			\$180,000.00
Estimated Total Contract Sum Excluding GST				\$1,580,000.00
7.0	Contingency During Construction			\$80,000.00
Estimated Net Project Cost Excluding GST				\$1,660,000.00
8.0	Consultant Fees Inc. PM			\$280,000.00
Estimated Gross Project Cost Excluding GST				\$1,940,000.00
9.0	Authority Charges, Planning Permit, Building Permit & Etc.			\$50,000.00
10.0	ITC Network			\$5,000.00
11.0	Loose Furniture & Play Equipment			\$105,000.00
Estimated Total Project Cost Excluding GST				\$2,100,000.00
	Add - GST			\$210,000.00
Estimated Total Project Cost Including GST				\$2,310,000.00

Covid 19 Impact

This Cost Plan is prepared based on normal conditions and current material cost. The tender prices may be affected by unforeseeable consequences of Covid-19 pandemic such as spike in material costs, shortage of timber supply, unanticipated material delivery delay, government mandated shutdowns, on-site outbreak/ quarantine or the like.

Drawings Used

Architecture Drawings

FS01 to FS05

City of Port Phillip
Feasibility/ Concept Design Cost Plan

Not a development proposal.
An indicative concept for an upgraded, single storey facility.

Contact Details

Client City of Port Phillip

17 May 2022

Discipline	Consultant	Phone Number
Architect	Architecture Matters	
Landscape Architect	TBA	
Structure Engineer	TBA	
Civil Engineer	TBA	
Mech. & Elec. Engineer	TBA	
Hydraulic Engineer	TBA	
Quantity Surveyors	DDH	

Elemental Summary

Project: The Avenue Children's Centre (Alt & Add)
Building: 39 The Avenue, Balaclava VIC 3138

Details: Feasibility/ Concept Design Cost Plan –
 Alt & Add

Not a development proposal.
 An indicative concept for an upgraded, single storey facility.

Code	Description	Quantity	Unit	Rate	Total
<u>Alteration & Addition to Existing Children's Centre</u>					
01	Demolition				60,065
02	Alteration & Addition to Existing Single Storey Building	333	m2	3,392.84	1,129,817
03	Siteworks & Landscaping	231	m2	689.80	159,343
04	External Services				44,275
05	External Signage				6,500
					1,400,000

Elemental Details

Project: The Avenue Children's Centre (Alt & Add)
Building: 39 The Avenue, Balaclava VIC 3138

Details: Feasibility/ Concept Design Cost Plan –
 Alt & Add

Not a development proposal.
 An indicative concept for an upgraded, single storey facility.

Code	Description	Quantity	Unit	Rate	Total
------	-------------	----------	------	------	-------

01 Demolition

Preliminaries

Preliminaries	1	item	7,835.00	7,835
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Demolition Works

Strip out existing within existing building where required (GFA)	265	m2	120.00	31,800
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Demolish existing galvanized iron shed (Approx. 12m2)	1	item	1,200.00	1,200
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Demolish existing shed (Approx. 1m2)	1	item	700.00	700
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Remove existing concrete path	38	m2	75.00	2,850
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Remove existing timber deck	29	m2	40.00	1,160
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Remove existing awning	85	m2	35.00	2,975
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Remove existing water tank	1	no.	490.00	490
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Remove existing play equipment	1	item	3,000.00	3,000
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Remove existing sand pit, soft landscape & etc.	217	m2	15.00	3,255
---	-----	----	-------	-------

Cut down existing tree & cart away	2	no.	750.00	1,500
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Remove existing fence & gate	10	m	30.00	300
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Asbestos Removal

Allow asbestos removal	1	ps	3,000.00	3,000
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Demolition				60,065
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02 Alteration & Addition to Existing Single Storey Building

Gross Floor Area (GFA)

GFA to alteration building area	262	m2		
---------------------------------	-----	----	--	--

GFA to addition building area	71	m2		
-------------------------------	----	----	--	--

Total GFA - Alteration & Addition	333	m2		
--	------------	-----------	--	--

Preliminaries

Preliminaries	1	item	122,641.00	122,641
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Clear Site

Clear site as required to addition building area (GFA)	71	m2	2.00	142
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Bulk Cut & Fill

Bulk cut & fill where required to addition building area (GFA)	71	m2	15.00	1,065
--	----	----	-------	-------

Substructure

Elemental Details

Project: The Avenue Children's Centre (Alt & Add)
Building: 39 The Avenue, Balaclava VIC 3138

Details: Feasibility/ Concept Design Cost Plan –
 Alt & Add

Not a development proposal.
 An indicative concept for an upgraded, single storey facility.

Code	Description	Quantity	Unit	Rate	Total
------	-------------	----------	------	------	-------

02 Alteration & Addition to Existing Single Storey Building

(Continued)

Blinding & Footings

Allow for blinding & footings where required to addition building area (GFA)	71	m2	85.00	6,035
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Existing Ground Floor Structure

Investigate, repair & strengthen to existing floor structure where required (GFA)	262	m2	35.00	9,170
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New Ground Floor Structure

New floor structure to addition building area (GFA)	71	m2	450.00	31,950
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Termite Treatment

Allow for termite treatment to addition building area (GFA)	71	m2	25.00	1,775
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Columns

Column where required (GFA)	333	m2	35.00	11,655
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Roof Framing, Roofing & Roof plumbing

Existing Roof Framing, Roofing & Roof Plumbing

Retain existing roof framing, roofing & roof plumbing		note		
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Minor make good where required	1	item	3,000.00	3,000
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New Roof Framing, Roofing & Roof Plumbing

Roof framing to addition building area inc. covered deck area	86	m2	250.00	21,500
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Metal roofing inc. flashing, capping & etc.	86	m2	150.00	12,900
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Roof plumbing	1	item	3,000.00	3,000
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External Walls & Windows

Make good to existing external wall where required	1	item	3,000.00	3,000
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110 Thk. external wall	4	m	1,520.00	6,080
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Extra over for window to above	2	m	900.00	1,800
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150 Thk. external wall	6	m	1,520.00	9,120
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Extra over for window to above	6	m	900.00	5,400
--------------------------------	---	---	--------	-------

270 Thk. external wall	21	m	1,920.00	40,320
------------------------	----	---	----------	--------

Extra over for window to above	7	m	500.00	3,500
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Allow flyscreens to operable windows	1	item	4,250.00	4,250
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Internal Walls & Internal Glazed Screens

Make good to existing internal wall where required	1	item	2,400.00	2,400
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110 Thk. internal wall partition	69	m	600.00	41,400
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Extra over for internal glazed screen to above	6	m	1,420.00	8,520
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150 thk. internal wall partition	30	m	750.00	22,500
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Extra over for internal glazed screen to above	8	m	1,270.00	10,160
--	---	---	----------	--------

Elemental Details

Project: The Avenue Children's Centre (Alt & Add)
Building: 39 The Avenue, Balaclava VIC 3138

Details: Feasibility/ Concept Design Cost Plan –
 Alt & Add

Not a development proposal.
 An indicative concept for an upgraded, single storey facility.

Code	Description	Quantity	Unit	Rate	Total
------	-------------	----------	------	------	-------

02 Alteration & Addition to Existing Single Storey Building

(Continued)

Window Coverings

Allow for window coverings	1	item	13,100.00	13,100
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External & Internal Doors

External

850 Wide single swing door, frame & hardware	1	no.	2,040.00	2,040
920 Wide ditto	2	no.	2,100.00	4,200
920 Wide single swing glazed door, frame & hardware	2	no.	2,870.00	5,740
1450 Wide unequal double swing glazed door, frame & hardware	2	no.	4,524.00	9,048

Internal

720 Wide single swing door, frame & hardware	3	no.	1,924.00	5,772
850 Wide ditto	12	no.	2,040.00	24,480
920 Wide ditto	1	no.	2,100.00	2,100
850 Wide single sliding door, frame & hardware	2	no.	1,740.00	3,480

Lintels, Wall Bracings, Architraves & Sundry

Lintels, wall bracings, architraves & sundry	1	item	15,000.00	15,000
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Wall Finishes

Splashback, wall vinyl, waterproofing & etc.	1	item	22,000.00	22,000
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Floor Finishes

Make good & prepare existing floor surface where required	262	m2	35.00	9,170
Floor covering, waterproofing & skirtings	296	m2	140.00	41,440

Ceiling Finishes

Make good to existing ceiling lining where required	205	m2	25.00	5,125
Ceiling lining to addition building area	77	m2	100.00	7,700
Extra over for MR ceiling lining in wet area	51	m2	120.00	6,120
Eave soffit lining	15	m2	200.00	3,000
Allow for ceiling insulation	143	m2	15.00	2,145

Joinery

Reception

600 Deep L shape reception desk - Part of Loose Furniture		note		
400 Deep storage cupboard unit	3.61	m	1,842.00	6,650

Elemental Details

Project: The Avenue Children's Centre (Alt & Add)
Building: 39 The Avenue, Balaclava VIC 3138

Details: Feasibility/ Concept Design Cost Plan –
 Alt & Add

Not a development proposal.
 An indicative concept for an upgraded, single storey facility.

Code	Description	Quantity	Unit	Rate	Total
------	-------------	----------	------	------	-------

02 Alteration & Addition to Existing Single Storey Building

(Continued)

Interview

400 Deep storage cupboard unit	2.34	m	1,842.00	4,310
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Office

600 Deep L shape desk - Part of Loose Furniture		note		
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400 Deep storage cupboard unit	3.17	m	1,842.00	5,839
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Laundry

650 Deep bench cupboard	3.17	m	1,584.00	5,021
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350 Deep overhead cupboard	3.17	m	900.00	2,853
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Kitchen

700 Deep pantry	1.44	m	2,474.00	3,563
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700 Deep bench cupboard	8.15	m	2,110.00	17,197
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400 Deep overhead cupboard	3.17	m	984.00	3,119
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700 Deep storage cupboard unit	1.16	m	2,474.00	2,870
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Kinder Playroom 2

450 Deep bench cupboard	1.31	m	1,210.00	1,585
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710 Deep storage cupboard unit	3.17	m	2,474.00	7,843
--------------------------------	------	---	----------	-------

440 Deep joinery	1.50	m	1,497.00	2,246
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Children's WC

800 Deep baby change bench cupboard	3.06	m	1,872.00	5,728
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Admin

2 x 600 Deep linear desk - Part of Loose Furniture		note		
--	--	------	--	--

620 Deep bench cupboard	2.89	m	1,907.00	5,511
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Kinder Playroom 1

450 Deep bench cupboard	1.31	m	1,210.00	1,585
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600 Deep ditto	1.25	m	1,489.00	1,861
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600 Deep storage cupboard unit	1.25	m	2,250.00	2,813
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Staff

600 Deep bench cupboard	1.86	m	1,489.00	2,770
-------------------------	------	---	----------	-------

400 Deep overhead cupboard	1.86	m	984.00	1,830
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400 Deep storage cupboard unit	4.02	m	1,842.00	7,405
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Toddler Playroom 2

600 Deep bench cupboard	2.12	m	1,489.00	3,157
-------------------------	------	---	----------	-------

440 Deep joinery	2.45	m	1,497.00	3,668
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Cleaner

450 Deep storage cupboard unit	1.71	m	1,944.00	3,324
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Toddler Playroom 1

600 Deep bench cupboard	1.00	m	1,489.00	1,489
-------------------------	------	---	----------	-------

Elemental Details

Project: The Avenue Children's Centre (Alt & Add)
Building: 39 The Avenue, Balaclava VIC 3138

Details: Feasibility/ Concept Design Cost Plan –
 Alt & Add

Not a development proposal.
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Code	Description	Quantity	Unit	Rate	Total
02	Alteration & Addition to Existing Single Storey Building	<i>(Continued)</i>			
	440 Deep joinery	1.50	m	1,497.00	2,246
	710 Deep storage cupboard unit	3.00	m	2,474.00	7,422
	<u>Pinboards & Whiteboards</u>				
	Allow for pinboards & whiteboards	1	item	8,000.00	8,000
	<u>Toilet Partitions</u>				
	Toilet partition	4	no.	500.00	2,000
	<u>Toilet Accessories</u>				
	Toilet accessories	1	item	27,500.00	27,500
	<u>Kitchen Appliances</u>				
	Cooktop, oven, rangehood & dishwasher	1	item	12,000.00	12,000
	Washing machine, dryer, microwave & fridges by others		note		
	<u>Internal Signs</u>				
	Allow for internal signs where required	1	item	3,400.00	3,400
	<u>Painting</u>				
	Internal & external painting where required (FECA)	311	m2	80.00	24,880
	<u>Sanitary Fixtures, Tapware & Plumbing</u>				
	Sanitary Fixtures, Taps Inc. Internal Water Services & Internal Sewer Drains				
	Child toilet suite	4	no.	3,025.00	12,100
	Toilet suite	1	no.	2,970.00	2,970
	Disabled toilet suite	1	no.	4,620.00	4,620
	Wall basin & tap	3	no.	2,805.00	8,415
	Wall basin & sensor hands free tap	1	no.	3,245.00	3,245
	Disabled wall basin & tap	1	no.	3,410.00	3,410
	320 Deep x 1000 wide trough & taps	1	no.	2,950.00	2,950
	320 Deep x 1220 wide ditto	1	no.	3,650.00	3,650
	1000 Wide double bowl sink & tap	1	no.	2,500.00	2,500
	1200 Wide ditto	1	no.	2,700.00	2,700
	1300 Wide ditto	2	no.	2,900.00	5,800
	1150 Wide one and half bowl sink & tap	1	no.	2,700.00	2,700
	Cleaner sink & tap	1	no.	3,850.00	3,850

Elemental Details

Project: The Avenue Children's Centre (Alt & Add)		Details: Feasibility/ Concept Design Cost Plan – Alt & Add			
Building: 39 The Avenue, Balaclava VIC 3138		Not a development proposal. An indicative concept for an upgraded, single storey facility.			
Code	Description	Quantity	Unit	Rate	Total
02	Alteration & Addition to Existing Single Storey Building	<i>(Continued)</i>			
	440 x 500 Sink & tap	1	no.	2,134.00	2,134
	440 x 630 ditto	1	no.	2,134.00	2,134
	Shower tap set & base	1	no.	2,760.00	2,760
	Washing machine taps	2	no.	940.00	1,880
	Laundry trough & tap	1	no.	2,552.00	2,552
	Hot Water Services				
	Hot water services	17	point	750.00	12,750
	Boiling Water Units				
	Boiling water unit	2	no.	6,000.00	12,000
	Services Connection				
	Allow for services connection & make good where required	1	item	8,000.00	8,000
	<u>Electrical Services</u>				
	Electrical services (FECA)	311	m2	250.00	77,750
	Hearing augmentation	1	item	20,000.00	20,000
	Testing, commissioning, manual & etc.	1	item	3,500.00	3,500
	Builder's works & coordination	1	item	10,125.00	10,125
	<u>Security System</u>				
	Security system (FECA)	311	m2	50.00	15,550
	Testing, commissioning, manual & etc.	1	item	1,000.00	1,000
	Builder's works & coordination	1	item	1,655.00	1,655
	<u>Mechanical Services</u>				
	Cooling & heating (FECA)	254	m2	200.00	50,800
	Exhaust system (FECA)	57	m2	250.00	14,250
	Testing, commissioning, manual & etc.	1	item	3,500.00	3,500
	Builder's works & coordination	1	item	6,855.00	6,855
	<u>Fire Protection</u>				
	Fire protection (GFA)	333	m2	5.00	1,665
	<u>Loose Furniture</u>				
	Loose furniture by others		note		
	<u>Design Variable</u>				
	Allow for variance in design during documentation development	1	item	63,421.00	63,421

Elemental Details

Project: The Avenue Children's Centre (Alt & Add)
Building: 39 The Avenue, Balaclava VIC 3138

Details: Feasibility/ Concept Design Cost Plan –
 Alt & Add

Not a development proposal.
 An indicative concept for an upgraded, single storey facility.

Code	Description	Quantity	Unit	Rate	Total
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02 Alteration & Addition to Existing Single Storey Building

(Continued)

Alteration & Addition to Existing Single Storey Building

1,129,817

03 Siteworks & Landscaping

Preliminaries

Preliminaries	1	item	18,895.00	18,895
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Clear Site

Clear site as required	231	m2	2.00	462
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Bulk Cut & Fill

Bulk cut & fill where required	231	m2	15.00	3,465
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Front Outdoor Playground

Retain existing front outdoor play space for 13 children		note		
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Soft & hard landscape to existing footpath	33	m2	200.00	6,600
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Fence	11	m	250.00	2,750
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850 Wide swing gate	1	no.	600.00	600
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Footpath & Entrance Ramp

Footpath	17	m2	200.00	3,400
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Ramp to front entrance if required	1	m2	250.00	250
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Fence & 950 wide swing gate	2	m	650.00	1,300
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Staff Court

Paving	6	m2	350.00	2,100
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Fence	5	m	300.00	1,500
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Utility Yard

Retain existing within utility yard		note		
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Rear Deck, Outdoor Playground & Shed

Rear deck	14	m2	550.00	7,700
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Rear outdoor play space for 22 children	153	m2	600.00	91,800
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3070 x 2240 Shed & base (7m2)	1	no.	4,035.00	4,035
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Play Equipment

Play equipment by others		note		
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Elemental Details

Project: The Avenue Children's Centre (Alt & Add)
Building: 39 The Avenue, Balaclava VIC 3138

Details: Feasibility/ Concept Design Cost Plan –
 Alt & Add

Not a development proposal.
 An indicative concept for an upgraded, single storey facility.

Code	Description	Quantity	Unit	Rate	Total
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03 Siteworks & Landscaping

(Continued)

Boundary Fencing & Gate

Retain existing boundary fence & gates

note

Design Variable

Allow for variance in design during documentation development

1 item

14,486.00

14,486

Siteworks & Landscaping

159,343

04 External Services

Preliminaries

Preliminaries

1 item

5,250.00

5,250

External Services

Associated external services

1 ps

35,000.00

35,000

Design Variable

Allow for variance in design during documentation development

1 item

4,025.00

4,025

External Services

44,275

05 External Signage

Preliminaries & Design Variable

Preliminaries & design variable

1 item

1,500.00

1,500

External Signage

External signage

1 ps

5,000.00

5,000

External Signage

6,500