

EXTENT



ELWOOD STAGE 2 HERITAGE REVIEW

VOLUME 2: CITATIONS

Prepared for City of Port Phillip

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PART 1A

Elwood: Normanhurst Estate Precinct – HO318

The Elwood: Normanhurst Estate Precinct (hereafter referred to as 'the precinct') includes the properties at 2-6, 3-15, and 18- 36 Burns Street, 1A, 1-11, and 2-22 Heaton Avenue, 231-243 and 247-251 Brighton Road, and 153-173 Glen Huntly Road, Elwood, as shown in Figure 1.



Figure 1 Precinct curtilage plan. Source: Nearmap and Extent Heritage Pty Ltd, 2022.

1. Thematic Context

Victoria's framework of historical themes

6. Building towns, cities and the garden state: 6.3 Shaping the suburbs, 6.7 Making homes for Victorians

Port Phillip thematic environmental history

5. Buildings and cultural landscapes: 5.2 Shaping the suburbs

2. History

The following history has been prepared utilising a history written by Andrew Ward & Associates as part of the 1998 Port Phillip Heritage Review, augmented by additional research undertaken by Extent Heritage.

Pre-colonial history

The land and environmental surrounds of Elwood is home to the Yalukit Willam clan of the Bunurong language group, who occupied territory east of the Werribee River to St Kilda. With lands adjacent to the sea and in proximity to the neighbouring Elwood wetlands, this environment provided

Traditional Owners with access to an abundance of resources, including freshwater vegetables, wildfowl and eels from the Elwood wetlands, as well as saltwater shellfish, fish and crustaceans from the reef. Meanwhile, the rocky headland of red, brown and yellow sandstone, now known as Point Ormond, was a prominent feature in the landscape that provided views across Port Phillip Bay (see Figure 2). Archaeological records indicate that the area of Point Ormond was an active campsite, with stone axes and bowl awls recovered in the area in the 1970s (Eidelson 2006, 42). A shell midden was also uncovered in close proximity to Point Ormond, suggesting that the Bunurong people in the area cooked shellfish gathered from the reef (Ellender and Weaver 1994). The land that would later become Elwood is shown in Figure 2 as being lightly wooded, and pre-colonial ecological vegetation classes indicate that the land comprised a mix of damp sands herb woodlands and grassy woodlands.

While the rich cultural heritage of Traditional Owners in Elwood continues to have a strong presence to this day, their lifestyle and lands were severely impacted following the onset of European colonisation, particularly after the arrival of the Glen Huntly emigrant ship in Port Phillip Bay in 1840 (Finn 1888, 596-597). The ship was carrying 157 Scottish passengers, with fifty suffering from Typhus fever. A makeshift quarantine settlement was immediately established adjacent to the shore on Point Ormond near to the precinct, then known as Little Red Bluff (Moore 1990). As shellfish harvests took place right alongside the station, superintendent Charles La Trobe ordered the expulsion of all Aboriginal camps from the area (Eidelson 2006, 42). La Trobe's actions formed merely one part of a wider colonial process of displacement and dispossession, which would have continued terrible ramifications for generations.



Figure 2. c.1864 illustration of Point Ormond and the coast looking towards St Kilda, representing a pre-developed landscape. Source: Clark, T. c.1864. Red Bluff Brighton (Point Ormond). Watercolour painting, accession no: H299. State Library of Victoria.

Contextual history of Elwood

Elwood's first land sales took place until 1851, which saw the subdivision of land in both St Kilda and what was then known as 'North Elwood' into generous allotments (Surveyor General's Department 1851). Early developments on these allotments comprised a scattering of freestanding mansion estates, including the extant Elwood House at 30 & 30A Vautier Street, Elwood (c.1850s) (Heritage Alliance 2005, 12; Eidelson 2006). Erected on higher ground, these mansions solidified Elwood's south-western fringe as a prestigious location. Meanwhile, the majority of the present day suburb to the north of Glen Huntly Road comprised a wetland known as the Elwood Swamp (Public Record Office of Victoria 1851). Deemed unsuitable for residential development, the wetland was soon transformed into a site for noxious trades required by European settlement, with a night soil depot established at Barkly Street in 1857, an open slaughter yard established in 1858 and an abattoir building erected in 1861 (see Figure 3) (Way Back When Consulting Historians 2021, 29-30).



Figure 3. 1851 map showing ‘North Elwood’ allotments south of the wetland, and Glen Huntly and Ormond Roads marked in red. Source: Surveyor General’s Department, Port Phillip Branch. 1851. ‘Village of Elsternwick.’ Map. Citation no. VPRS 8168/P0002. Public Record Office Victoria.

The suburb underwent a period of change during the 1880s land boom, which not only spurred the subdivision of mansion estates and the development of several middle-class Victorian villas and mansions, but also the closure of noxious trade facilities and subsequent swamp reclamation works via the development of Elwood Canal by 1897 (The Caulfield and Elsternwick Leader 1889, 4). By 1908, the first land sales on what once comprised the wetlands had taken place, paving the way for further urban growth. Notably, the construction of Elwood Canal, along with the opening of the Victorian Railways St Kilda to Brighton electric tramway line in 1906, spearheaded another residential boom in Elwood during the first two decades of the twentieth century. More intense than its 1880s predecessor, this period saw the subdivision of remaining sparse mansion estates in Elwood, as well as rapid residential development on the reclaimed wetland and in area south of Ormond Road (Heritage Alliance 2005, 21-23). While newly erected stock predominantly comprised of freestanding middle-class bungalows, there were also several more modest semi-detached Federation villas that hark back to the Victorian era in their form and detailing. The area was also a popular location for purpose-built residential flats built in fashionable interwar styles, such as the Old English style Hartpurty Court at 9-11 Milton Street, Elwood (HO191) and the Moderne style Windermere Flats at 49 Broadway, Elwood (HO67).

The last distinct phase of residential development in Elwood would ultimately take place in the post-war period, which saw the construction of austere apartment developments characterised by stylistic eclecticism and architectural Modernism (Heritage Alliance 2005, 27-28). The influence of European émigré architects who settled in Melbourne's southern suburbs can be seen in the development of architect designed post-war apartment blocks such as Dr Ernest Fooks' post-war Modernist flats at 15 Beach Avenue, Elwood (1969), Michael R.E. Feldhagen's Surf Side flats at 46 Ormond Esplanade, Elwood (1963) and Ted Berman's post-war Modernist flats at 76 Mitford Street (1961-62).

Nineteenth century development

During the nineteenth century, there was little development on and in the vicinity of the land where Elwood: Normanhurst Estate Precinct is located. Whilst Brighton Road, formerly Arthur's Seat Road or Point Nepean Road, on the eastern boundary of the precinct was present from at least the 1840s, and the railway to North Brighton from December, 1859, the only building to be erected in close proximity to where the precinct is located today was the Elsternwick Hotel, constructed in 1854 at 259 Brighton Road, Elwood. The original portion of the hotel still survives today, though the higher and more grandiose corner section was a later extension. By 1873, J.E.S. Vardy's survey plans of the Borough of St. Kilda show that the area in which the precinct is located had been subdivided. Burns Street had been formed but the land was mostly vacant. J. T. Nankivell's house on Brighton Road to the north of Burns Street occupied an L-shaped block with a secondary frontage to Burns Street where there were outbuildings. Further west, the low-lying swamp lands of Elwood would not be drained until 1905 with the construction of the Elwood Canal.



Figure 4. 1861 view of the land on which HO318 Elwood: Normanhurst Estate Precinct would be established. The only building recorded is the Elsternwick Hotel, as identified by the red arrow. Source: Public Records Office. VPRS 8168/P0002, CS25; Port Phillip Point Ormond To Red Cliff; Cos.

The Brighton Road cable tramway was opened on 11 October, 1888. Prior to its extension, this tramway terminated north of the precinct in Brighton Road, in proximity to Brunning Street, where both the tram car depot and offices were constructed. An auctioneer's poster of the era advertised land facing the Brighton Road with the cable tramway in the form of an "extension" running down this roadway and turning south in front of the Elsternwick Hotel along New Street in the direction of Brighton. Further west, an extension of the St. Kilda railway was anticipated with a new station at Elwood. By 1906, there were three houses on the north side of Burns Street, including Broad Hinton at 6 Burns Street, and the substantial Arranmore property, formerly located on the corner of Burns Street and Brighton Road. Heaton Avenue had been formed and subdivided, although no development had taken place, and there were four houses facing Brighton Road, including Normanhurst neighbouring the Elsternwick Hotel. Today, only the hotel and Broad Hinton remain intact to demonstrate this phase in the history of the precinct. These properties are shown in the 1905 Melbourne and Metropolitan Board of Works Plan, as shown in Figure 5.

Broad Hinton is located at 6 Burns Street, Elwood, on the highest position of Burns Street and is a distinguished two-storeyed asymmetrical Victorian villa with cast iron detailing recalling the work of John A.B. Koch which is also seen at Narellan at 3 Moule Avenue in Brighton. Miles Lewis records that the first owner of Broad Hinton was one William Johnston. The house was completed in 1892 for Johnston, however by 1893 The Argus record the owner as one R Russell-Brown (The Argus, 1893, 1). Between 1895 and 1897, the Russell-Brown's left Broad Hinton and the house was then purchased by the Wilson family. The Wilson family attempted to sell the property in 1907, however they then put to sale all the furnishings of the mansion in 1909, noting that Mrs. A. M. Wilson was going into

temporary retirement from housekeeping and could no longer maintain the furnishings (The Argus, 15 May 1909, 3). The Wilsons would remain at Broad Hinton well into the mid-twentieth century. The house was then advertised for sale in 1984 by the Australian Jewish News, recognising its “Victorian Grandeur” (The Australian Jewish News, 1984, 42).

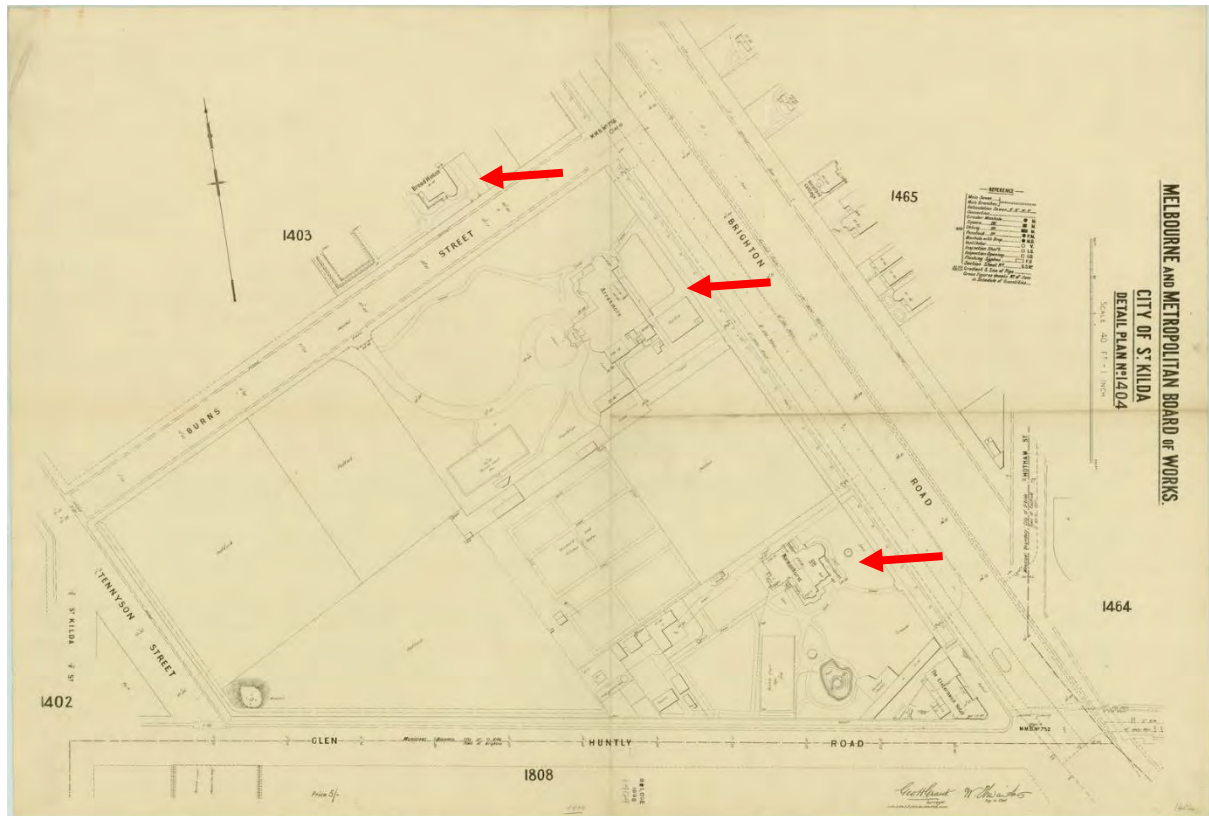


Figure 5. 1905 Melbourne and Metropolitan Board of Works Plan, showing the three substantial Victorian mansions and the Elsternwick Hotel. From the top down: Broad Hinton, Arranmore and Normanhurst. Source: State Library of Victoria, Melbourne & Metropolitan Board of Works. detail plan 1403, 1905

Following the economic crash of the 1890s, the large Victorian era estates with associated grounds offered land investors in the early twentieth century great opportunities for subdivision, development and ultimate profit. These future subdivisions would alter the built environment significantly.



Figure 6. Arranmore, photographed in 1895. Source: Arranmore Elsternwick Home of A Rowan Esq, 1895. Source: State Library of Victoria, ID. H93.64/12.



Figure 7. Contemporary view of Broad Hinton, located at 6 Burns Street Elwood. Source: Extent Heritage Pty Ltd, 2022.

Federation/Edwardian and interwar development

In 1913, the Prahran and Malvern Tramways Trust opened its Glen Huntly Road electric tramway from Carnegie to Brighton Road outside the Elsternwick Hotel. It was extended to Point Ormond along Glen Huntly Road on 4 June, 1915, thereby connecting Melbourne's southeastern suburbs with the beach, and providing residents in the vicinity of Brighton Road improved travel times to the city. This was reflected in the subsequent initial development of lots on Burns Street between 1911 and 1915, numbering a total of nine residences with approved building permits. Extant properties included in this early wave of development include nos. 20 and 22 Burns Street, constructed in 1912 for one Mrs. M. Alpen, and nos. 28-34 Burns Street, comprising four brick residences constructed in 1914. From late 1925 to 1926, the Brighton Road cable tram was converted to electric traction and by August 1926 it had been extended to Glen Huntly Road where it connected to the tram to Carnegie.

These improvements to public transport encouraged the subdivision and redevelopment of the Normanhurst and Arranmore estates, which were offered for sale in late 1917. The proximity to Elsternwick Station was not unrecognised, and it was used as marketable element. The sales notice indicates that Heaton Avenue had been created by this time:

SALE BY AUCTION Of The Beautiful NORMANHURST ESTATE, Glenhuntly Road, Brighton Road, Burns Street, Tennyson Street, Heaton Avenue, SOUTH ST. KILDA – ELSTERNWICK SUBDIVIDED INTO ALLOTMENTS – All Roads Made, Gas and Water Mains in Every Street. Terms – One-sixth Deposit, Balance Over 4 Years, 5 Per Cent, Interest. Electric Tram Passes Property: Elsternwick Station 5 Minutes' Walk – Almost Adjoins Elsternwick Park and Golf Links. Also the Mansion, "ARRANMORE." (The Argus, 2)

Following the subdivision of Normanhurst Estate, houses on Heaton Avenue, Brighton Road, Burns Street and Glen Huntly Road were rapidly constructed, altering the landscape considerably with former sprawling gardens and paddocks subdivided and populated by Federation and Interwar California Bungalows, and single fronted cottages. Arranmore was demolished but Normanhurst was initially retained on a much-reduced allotment. In 1918, following the subdivision of the Normanhurst Estate, the first residences were constructed at nos. 6, 7, 8 and 12 Heaton Avenue. The following year, 3 and 14 Heaton Avenue were constructed. The remaining dwellings on Heaton Avenue were subsequently constructed between 1920 and 1923. With this, the rapid development of Heaton Avenue following the 1917 land auctions is reflective of the consistent character of the development located on the street. It is also representative of the wider developmental trend across the precinct, specifically the development of the Victorian Estates for the construction of Federation and Interwar Bungalows, and single fronted cottages, to cater to the burgeoning upper-middle class of Elwood. This new upper-middle class was also employing architects to design their properties in some cases, as indicated by the residence at 6 Heaton Avenue, and the residence at 9 Heaton Avenue designed by J.R.C. Blanche. By 1923, all allotments auctioned in 1917 had been developed and were occupied by a structure, as shown in the aerial photograph at Figure 8 below.



Figure 8. 1931 aerial view of HO318, showing all allotments occupied. Note from the top down: Broad Hinton with its remaining grounds, Normanhurst with its remaining grounds, and the Elsternwick Hotel. Source: Landata, Maldon Prison (11/1931).

In the interwar years, the broader stylistic trend of high-density flat development also made an impact on the precinct. By this time, the wider area was substantially built up and many apartment developments were constructed. Most of the Normanhurst Estate was developed as single housing. In 1927 the prominent 'architect who builds' Howard R. Lawson converted an early twentieth century house at 24-26 Burns Street into four flats, which were named 'Arranmore'. The apartment blocks at nos. 165, 167, 171 and 173 Glen Huntly Road were also constructed during the 1930s.

The Normanhurst property was sold at auction on the 5th February 1938, and was described by The Argus as:

'... The property, which is within a few minutes' walk of the Elsternwick Railway Station and on the Brighton road tram route, lends itself to subdivision. It is understood that this course will be followed by the purchaser at an early date.' (The Argus, 1938, 3).

The following year, The Mercury published a photo of the mansion, stating 'Old landmark goes', with a photo of the mansion in the process of being demolished (The Mercury, 1939, 7).



Figure 9. Normanhurst mid-demolition. Source: The Mercury, 20 May 1939, 7.

The final stage of development occurred in the late 1930s following the demolition of Normanhurst in 1938. The increasing popularity of multi-dwelling development was reflected in the building of flats on each of the new allotments. In Glen Huntly Road, three blocks of flats were constructed at nos. 175, 167 and 173 from 1940 to 1941. At 171 Glen Huntly Road, the owner H. Crouch obtained a building permit for a two-storey residence in 1939, but it was soon converted to two flats. The flats at 169 Glen Huntly Road and 251 Brighton Road were constructed in the post-war period. The demolition of Normanhurst is also reflected in a 1945 aerial of the site (refer to Figure 10), as is the subsequent development of flats on Glen Huntly Road, noting that No. 169 was not yet constructed in 1945.

The house at 16 Burns Street was subsequently built in 1940 on part of the grounds of Broad Hinton. It also appears from building records that a house was built at no.18 during the interwar period, which was replaced by the present flats.



Figure 10. 1945 aerial view. Note from the top down: the now subdivided grounds of Broad Hinton and the now partially occupied grounds of the former Normanhurst estate. Source: Department of Environment Land Water and Planning, Mapshare, ID. 84862B.

Post-war development

The two remaining vacant blocks on the Normanhurst subdivision were developed after World War II. In 1956 J.A. Trencher built the block of six flats at 251 Brighton Road, and the three-storey block of 11 flats at 169 Glen Huntly Road was completed three years later in 1959.

By 1968, the grounds of Broad Hinton had been subdivided and three residences were constructed on the new allotments. These residences comprise 16 Glen Huntly Road constructed in 1940, and later 14 Glen Huntly Road completed in 1966 and 12 Glen Huntly Road in 1967.

The apartment block at 233 Brighton Road was not constructed until 1973, replacing a bungalow formerly located on the property (The Australian Jewish News, 1973, 29).



Figure 11. 1968 aerial view of the precinct, showing Broad Hinton with the red arrow as the only remnant Victorian structure in the precinct. Source: Landata, Melbourne 1968 (10/1968).

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3. Description

This precinct occupies a triangular area generally bounded by Glen Huntly Road to the south, the rear of properties fronting Burns Street to the north and Brighton Road to the northeast. The precinct is a residential area comprising mainly of single and double storey detached houses predominantly from the Federation and Interwar periods, with a group of Interwar Moderne flats in Glen Huntly Road. Common housing styles within the precinct include: Federation villas, Arts & Crafts Bungalows, California Bungalows, Indian Bungalows and Interwar Moderne apartments.

The Federation era residences typically present transitional influences seen in the stylistic trends popular in the years leading up to, and during, the Interwar era. This includes a built form dominated by projecting gables with half-timbered detailing, bay windows, and the decorative application of stucco rendering.

The California Bungalow residences present characteristics quintessential to the bungalow form, including projecting half-timbered gables, and gabled porches supported on thick brick piers. The face clinker bricks and roughcast facades, brick piers, timber brackets and shingles present a materiality palette and design typical of the style. Several residences within the precinct also present Arts & Crafts influences seen in the expressive and elaborate roof form and façade treatment, through the use of timber bracketing under the exposed eaves, shingle details, some use of roughcast render, leadlight windows and half-timbering. The Arts & Crafts residences typically present a consistent open gable form with a projecting, centred gable awning and main entrance.

The Indian Bungalow form represented within the precinct is a significantly more austere design, stripped of ornamentation but still aligned with the principles of Bungalow design. The Indian Bungalow form is not equipped with fenestration or decoration, and utilising a hipped roof form as opposed to the gabled forms reflected across the majority of the bungalows represented in HO318. Common elements however do include the austere rendered chimneys, use of leaded diamond-pane windows and emphasis on a deep verandah.

The freestanding Interwar era residences are typically influenced by the English Vernacular movement seen in the high-pitched roof forms, expressed chimney breasts and Tudor-style half-timbered gables. Glen Huntly Road includes a group of Interwar era apartment residences with Moderne influences. This can be seen in their symmetrical front façades and fenestration, streamlined projecting main entrances and stairwells, and decorative horizontal and vertical detailing achieved through the use of contrasting renders and brick.

The residences along Brighton Road are predominantly of the California Bungalow style, as represented at nos. 235, 237, 239, and 249 Brighton Road. Federation residences can also be observed at nos. 231, 243 and 245 Brighton Road. The California Bungalow residences present varied detailed finishes such as varying uses of render, chimney detailing and the use of timber shingling.

Notable houses on Brighton Road include:

- Nos. 1A Heaton Avenue (formerly 245 Brighton Road) and 243 Brighton Road are a distinct and highly intact pair of matching Federation triple fronted residences dominated by projecting front and side open gables with bay sash windows. The half-timbered gables are partially clad with timber shingles. A complex gable roof is clad with terracotta Marseilles tiles with ridge

capping and rendered squat chimneys with tall chimney pots. The face brick wall fronting Brighton Road and Heaton Avenue at no. 243 feature repeated patterning achieved with spaced brickwork, capped with bullnosed bricks. No. 243 is largely obscured by tall hedges, however its roof form and half-timbering are clearly visible from the streetscape.

- No. 247 Brighton Road presents Interwar Old English influences as seen in its dominant steep roof pitch with vergeless gables creating a distinctive jerkinhead profile roof of the structure. It features tall chimney stacks, expressed along the face of the structure, and long banks of sash windows. There is an original low, rendered front brick wall with tall piers flanking the entrance complement the main structure.



Figure 12. 247 Brighton Road. Source: Extent Heritage Pty Ltd, 2022.



Figure 13. 1A Heaton Ave (formerly 245 Brighton Road). Source: Extent Heritage Pty Ltd, 2022.



Figure 14. 243 Brighton Road. Source: Extent Heritage Pty Ltd, 2022.

Glen Huntly Road contains two distinct groups: the group of Arts & Crafts bungalows at nos. 153, 155, 159 (Kilwex), 161 (Maytime), and 163 Glen Huntly Road, and the group of Interwar Moderne style flats at nos. 165, 167, 171 and 173. A notable example is located at no. 161 Glen Huntly Road (PPHR citation 1996), named Maytime and constructed in c.1920, comprising a California Bungalow with a stone foundation. The open gable form structure is finished with a roughcast render and weatherboard cladding along its side elevations. The front façade includes a centred, projecting gabled awning and main entrance flanked by banks of timber sash windows with diagonal leadlight patterning.

The eastern extent of the road is dominated by two and three-storey apartment buildings. This includes Moderne style apartments at nos. 167 and 173 (Greenmont). No. 165 Glen Huntly Road incorporates Moderne style influences as seen in its lack of ornamentation, cream brick and corner windows with horizontal glazing bars, and an intact front brick wall constructed in 1940. The apartments at No. 165, 167 and 173 were constructed by the same builder. No. 169 observes a post-war austerity design.

Notable structures on Glen Huntly Road include:

- No. 173 Glen Huntly Road, named Greenmont and constructed in 1941, comprising a substantial three-storey Interwar Moderne apartment block with projecting streamlined cantilevered balconies and a central projecting square stairwell featuring a vertical window strip. The original front boundary wall consists of a brick wall with piers and a header laid coping. The wall is painted white with a black strip under the coping that is cohesive with the colour scheme of the apartment building.
- No. 171 Glen Huntly Road is a two storey Interwar era apartment block. It consists of face clinker red brick construction juxtaposed with the application of horizontal strips of white render. The structure extends over the driveway to form a sheltered entrance portico. The

groups of fixed and timber sash windows punctuate the façade and corners, finished with a white timber frame. A distinct feature is the tall chimney, expressed along the front façade with an alternating render and face brick course. The low brick front wall and piers with a stepped cap and precast ball finial is finished with a similar materiality matching the main residence.

No. 167 Glen Huntly Road, constructed in 1938, comprising a double storey Interwar Moderne apartment block is characterised by face brown brick. The symmetrical front façade features a projecting centred streamlined bay with contrasting white stucco and dark brown thin brick detailing. Dark brown brick is also employed at the base of the structure, windowsills, lintels and as horizontal single course lines corner edges. The original low brick front wall employs a similar materiality and colour scheme as the main residence.



Figure 15. 161 Glen Huntly Road, 'Maytime'. Source: Extent Heritage Pty Ltd, 2022.



Figure 16. 155 Glen Huntly Road. Source: Extent Heritage Pty Ltd, 2022.



Figure 17. 173 Glen Huntly Road, 'Greenmont'. Source: Extent Heritage Pty Ltd, 2022.



Figure 18. 167 Glen Huntly Road. Source: Extent Heritage Pty Ltd, 2022.

The residences along Heaton Avenue are largely characterised by the Interwar California Bungalow style. California Bungalow residences on the northern side of the avenue typically present a projecting open gable front portico with distinctly shaped squat piers can be seen at nos. 4, 8, 10, 12, 14, 18, and 20 Heaton Avenue. One example of an Indian Bungalow is represented at 11 Heaton Avenue. The predominantly intact California Bungalow style residences on Heaton Avenue create a strong and cohesive visual aesthetic along the avenue, with similar highlights in other residences of different styles including:

- The Arts & Crafts style residence at no. 9 Heaton Avenue (PPHR citation 2012), comprising an expressive and elaborate roof form and façade treatment, as well as projecting shingled flat dormer window, conical bay on the ground floor, and half timbering on the eastern gable end with a defined low-pitched roof form. This structure constructed in 1921 by R. Sloane is distinct within the group of California Bungalow residences.
- A residence constructed in 1920 with transitional Federation to Interwar influences at no. 16 Heaton Avenue, is a single storey building with a gabled roof with a low pitch. The structure has a bay window to the projecting gable end with decorative render on the gable end apex. A recessed entrance is concealed in a porch, supported by brick pillars and detailed with render. The chimneys are intact, with terracotta pots and render.
- No. 14 Heaton Avenue presents as a highly intact example of a California Bungalow residence built by A. Clissold constructed in 1919. The double fronted residence features a projecting open gable, enclosed front verandah supported on brick piers with paired square timber posts. The residence is finished with a yellow roughcast render. It presents a low-pitched roof with a broad front porch gable which is representative of the true bungalow form. The low masonry

front consisting of roughcast wall sections with stuccoed squat piers and coping, complement the materiality and colour scheme of the main residence.

- No. 6 Heaton Avenue (PPHR citation 2011), similar to no. 9 Heaton Avenue, addresses the street with a unique Arts & Crafts design known as Attic Villas. Architect designed and built by W.A.J. Townsend, the façade is dominated by a substantial projecting gable with a bay window, and the large low-pitched Bungalow roof form clad in Marseille tiles fronts the street, showing a façade dominated by tiling. A small first floor balcony containing decorative shingles is located on the western elevation.
- No. 11 Heaton Avenue is the only example of an Indian Bungalow found within the precinct. It was constructed in 1920 by the War Service Homes. It is characterised by a dominant single hipped roof with two roughcast rendered chimneys. The double fronted façade includes a bay window and partially enclosed front verandah accessed from the eastern elevation. The windows generally consist of a painted white, timber sash window with a diagonal leadlight upper pane. The residence is set on a roughly triangular allotment with an extensive front yard. A contemporary grey colour scheme was recently introduced to the residence and garage structure.



Figure 19. No. 9 Heaton Avenue. Source: Extent Heritage Pty Ltd, 2022.

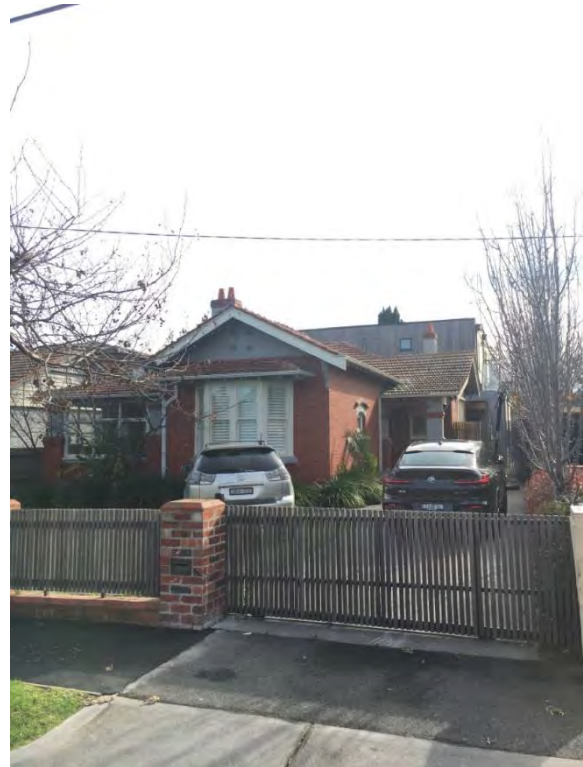


Figure 20. No. 16 Heaton Avenue. Source: Extent Heritage Pty Ltd, 2022.



Figure 21. No. 4 Heaton Avenue. Source: Extent Heritage Pty Ltd, 2022.



Figure 22. No. 6 Heaton Avenue. Source: Extent Heritage Pty Ltd, 2022.

The northern side of Burns Street includes a group of Federation style semi-detached residences at the western end of the street, located at nos. 28-30 and 32-24. The southern side of Burns Street predominantly consists of residences with some restrained Arts and Crafts influences. The residences present a highly varied overall form and detailing, similar to other California Bungalow residences within the precinct utilising half-timbering, terracotta Marseille tiles, low-pitched gabled roofs and deep porch entrances.

Notable within Burns Street is Broad Hinton at no.6 Broad Hinton is a two-storey Victorian Italianate mansion on an elevated site on the north side. The asymmetrical stuccoed structure includes a slate tile roof with an imposing front projection with arched bay windows and deep front porch and verandah, characteristic of the Italianate form. The residence is highly detailed with ornate cast-iron posts, lacework and trim found at the verandah and upper-level bay window, paired bracketed awnings, string courses and moulded window architraves. The front fence consists of a bluestone block wall and piers with a low palisade fence.

Other notable buildings in Burns Street include:

- No. 20 and 22 Burns Street, comprising a pair of substantial and highly intact Federation houses in good condition with half-timbering and harling render on the front-facing gable ends. The residences demonstrate English Vernacular and Arts & Craft influences seen in the Tudor-style half-timbered gables. The residences were constructed in 1912 by the same builder.
- Arranmore Flats, 24-26 Burns Street, comprising a highly intact example of an early Interwar double storey flat block. Architect designed, it presents California Bungalow and Arts & Crafts influences seen in its domestic form with a projecting front portico supported on brick piers with paired timber posts, timber shingling and exposed eaves.



Figure 23. 20 Burns Street. Source: Extent Heritage Pty Ltd, 2022.



Figure 24. 22 Burns Street. Source: Extent Heritage Pty Ltd, 2022.



Figure 25. Arranmore 24-26 Burns Street. Source: Extent Heritage Pty Ltd, 2022.



Figure 26. Broad Hinton, 6 Burns Street. Source: Extent Heritage Pty Ltd, 2022.

Within the precinct, the residences present with a fairly consistent setback along Burns Street and Heaton Road. This setback allows for a generous front yard with most residences including a side driveway and parking area. While most residences include timber picket fencing, there is little overall

consistency in fence and wall types. However, most front walls and fences remain lower in height, allowing for the visibility of the residences and front gardens within the wider views of the streetscape.

While there is minimal incursion of Post-war and contemporary residences within the precinct, a number of residences have been highly altered. This includes some residences with second-storey rear additions that are visible from the public domain, as seen at no. 237 Brighton Road, nos. 157 and 161 Glen Huntly Road, nos. 28 and 32 Burns Street and nos. 1A, 7, 9, 16, 18 and 20 Heaton Avenue. Highly visible alterations commonly found within the precinct include:

- Rendering of original face brickwork for example at no. 153 Glen Huntly Road.
- Introduction of contemporary colour schemes, for example at nos. 5, 7, 11 and 18 Heaton Avenue, and nos. 20, 28 and 32 Burns Street.
- Unsympathetic front walls and fences, for example at nos. 231 and 245 Brighton Road, nos. 153, 155, 159 and 163 Glen Huntly Road, nos. 5, 7, 9, 12, 18 and 20 Heaton Avenue, and nos. 1, 28, 30 and 32 Burns Street. Some examples of original boundary fences and walls can be recognised at nos. 235, 237 and 243 Brighton Road, 14 Heaton Avenue and 161 Glen Huntly Road.

5. Comparative Analysis

The Elwood: Normanhurst Estate Precinct is a cohesive collection of early twentieth century and Interwar residences constructed following the subdivision of the Victorian Broad Hinton, Arranmore and Normanhurst estates. With this, it is directly comparable to two other precincts included on the Heritage Overlay for the City of Port Phillip. Comparable examples include:

- **Elwood: Addison Street-Milton Street Precinct, City of Port Phillip (HO403).** The Elwood: Addison Street-Milton Street Precinct is historically and aesthetically significant to the City of Port Phillip as a cohesive collection of Federation and Queen Anne Revival residences with a variety of Edwardian residences and commercial structures. This precinct is comparable to the Elwood: Normanhurst Estate Precinct as two cohesive examples of early twentieth century precincts representing the subdivision and development of Port Phillip's suburbs. Both precincts are also aesthetically comparable, sharing similar built features with the use of gabled roof forms, Marseille terracotta tiling, brick masonry construction with natural masonry finish, some use of decorative harling render and projecting gable ends. Contrasting elements between both precincts include the scale, with HO403 being a larger precinct than HO318, and HO318 representing bungalow development in greater intensity. However, both precincts are comparable as early twentieth century developments within Elwood.
- **Elwood: Glen Huntly and Ormond Roads Precinct, City of Port Phillip (HO8).** The Elwood: Glen Huntly and Ormond Roads Precinct is historically, aesthetically and socially significant to the City of Port Phillip. Though far larger than HO318 with a wider diversity of architectural elements, both HO8 and HO318 are historically comparable as representing the early twentieth century subdivision of the former Victorian estates. This is represented in the common built form shown at both precincts, with remnant Victorian elements, Federation residences, and Interwar bungalow and apartment blocks. As addressed above, the precincts contrast however when their scale is compared. Both precincts are still comparable however as two precincts representing the historical subdivision of the Victorian estates.

Overall, the Elwood: Normanhurst Estate Precinct presents as a cohesive group of Federation and Interwar residences representing various and distinct styles of the period. As a physical expression of a single estate and subdivision, the streetscape character is largely coherent. The diverse Federation and Interwar residences collectively reflect the distinctive styles and tastes of the early twentieth century, with Broad Hinton representing the first wave of development prior to the Federation and Interwar development. The buildings within the Brighton Road Elwood Precinct are generally good condition and of high integrity.

4. Statement of Significance

What is significant?

The Brighton Road (Elwood) Precinct is a residential area that occupies the triangle defined by the Glen Huntly Road to the south, Brighton Roads to the east and Burns Street to the north. It remained sparsely settled during the nineteenth century, after which point it was subdivided and developed from 1917 onwards. It is comprised of houses and flats predominantly from the Federation and Interwar periods, as well as a remnant Victorian era mansion.

The Significant places are:

- 6 Burns Street, Elwood, otherwise known as Broad Hinton.

The Contributory places and features are:

- 2, 3, 5, 7, 9, 11, 13, 15, 20, 22, 24, 26, 28, 30, 32, and 34 Burns Street;
- 1A, 1, 2, 3, 4, 6, 7, 8, 9, 10, 11, 12, 14, 16, 18, and 20 Heaton Avenue;
- 231, 235, 237, 239, 241, 243, 247 and 249 Brighton Road; and
- 153, 155, 157, 159, 161, 163, 165, 167, 171 and 173 Glen Huntly Road.

Contributory features include all architectural elements associated with Federation and Interwar periods of design, including brick masonry construction, projecting half-timbered gables, recessed gabled porches supported on thick brick piers, original chimneys and associated detailing, Marseille terracotta roof tiles, decorative use of render, original timber window and door openings of either hinged or sash design with some use of leadlight, original fencing with retained original material, height and permeability, and original forms and scales with recessed additions if present.

The Non-contributory properties and features are:

- 4, 18 and 36 Burns Street;
- 233 and 251 Brighton Road;
- 5, and 22 Heaton Avenue; and
- 169 Glen Huntly Road.

How is it significant?

The Brighton Road, Elwood Precinct is aesthetically and historically significant to the City of Port Phillip.

Why is it significant?

The Brighton Road, Elwood Precinct is historically significant as a precinct established by the 1917 Normanhurst Estate subdivision. This subdivision marked the collation and subdivision of the substantial late Victorian Arranmore and Normanhurst estates, following the 1890s economic crash. The subdivision, and rapid residential development that followed, marks the historical rise of the upper-middle class in Elwood and the transition from large nineteenth century Victorian estates into a suburban ideal. The large Victorian mansion, Broad Hinton, is a tangible remnant representation of the historical nineteenth century occupation of the precinct, with the Federation and Interwar era structures forming a tangible link to a period of rapid development and change and the flats present

on Burns Street and Glen Huntly Road reflecting the growing popularity of higher density housing during the interwar and post-war periods. (Criterion A)

The Brighton Road, Elwood Precinct is of aesthetic significance as a highly intact collection of Federation and Interwar era residences and flats, largely characterised by Federation residences, Californian and Arts and Crafts Bungalows, and a discreet grouping of Interwar Moderne apartment blocks. Built features that contribute to this aesthetic significance include the traditional form and scale of the housing stock, brick masonry construction, chimney design, Marseille terracotta roof tiles, decorative uses of render, decorative gable ends with half timbering, original timber window and door openings with some use of leadlight, and the curved elements associated with the Moderne flats, most notably Greenmont at 171 Glen Huntly Road. Within the precinct, Broad Hinton at 6 Burns Street, is a significant building of individual aesthetic significance. Broad Hinton reflects the late Victorian development of the precinct, and is distinct in its aesthetic significance compared to the Federation and Interwar design trends common to the precinct. Broad Hinton displays a Victorian scale and form, projecting bay window, a rendered finish, highly ornate wrought iron lacework on the double storey verandah, leadlight windows, arched windows with rendered drip moulds, a hipped slate roof and Italianate profiled chimneys. (Criterion E)



Figure 27. Precinct grading plan. Source: Nearmap and Extent Heritage Pty Ltd, 2022.

5. Recommendations

2000: Recommended for inclusion in the Schedule to the Heritage Overlay Table in the Port Phillip Planning Scheme.

2022: Retain in HO 318 in the Schedule to the Heritage Overlay with paint and solar energy system controls with the following changes:

- Extract the Elsternwick Hotel at 259 Brighton Road, Elwood from HO318 and form a new separate HO.

- Extract the Taradale Flats at 229 Brighton Road, Elwood, from HO318 and form a new separate HO.
- Revise the gradings in accordance with Figure 27 above and in alignment with the new (2022) grading definitions as follows:
 - Significant - 'Significant heritage places' are of individual significance at the local or state level and may also contribute to the significance of a heritage precinct.
 - Contributory - 'Contributory heritage places' contribute to the significance of a heritage precinct but are not of individual significance.
 - Non-contributory – 'Non-contributory properties' do not contribute to the significance of a heritage precinct.
- The following places with PPHR citations become Contributory to the precinct:
 - Maytime, 161 Glen Huntly Road, Elwood.

6. Assessments

Primary Assessment

Extent Heritage Pty Ltd, *Elwood Heritage Review*, prepared for City of Port Phillip, 2023.

Other Assessments

Andrew Ward and Associates, *Port Phillip Heritage Review*, prepared for City of Port Phillip, 1998, 'HO318 Elwood: Brighton Road (Elwood): Heritage Citation



PART 1B

Elwood: Glen Huntly Road and Ormond Road Precinct – HO8

The Elwood: Glen Huntly Road and Ormond Road Precinct (hereafter referred to as ‘the precinct’) includes the properties at: 379-393 and 358-402 Barkly Street, 85A-117 and 80-112 Addison Street, 111 and 94-114 Ruskin Street, 37-41 and 80-82 Broadway, 57-61 Goldsmith Street, 31-67 and 12-48 Shelley Street, 82-87 Marine Parade, 1-75A and 2-16 and 28-44 Glen Huntly Road, 1-13 and 2-8 Bluff Avenue, 1-13 and 2F-14 Wilton Grove, 3-33 and 4-20 Normandy Road, 1A-17 and 4-38 Byrne Avenue, 3-7 and 15 and 4-18 Tiuna Grove, 1-21 and 2-32 Bendigo Avenue, 3-23 and 2-16 Selwyn Avenue, 1-5 and 9-37 and 2A-30 Beach Avenue, 31-41 and 24-34 Vautier Street, 53-57 and 69-77 and 34-58 Ormond Road, 93-73 Spray Street, and 1-43A and 57-75 Ormond Esplanade, as shown in Figure 1.



Figure 1 – Precinct curtilage plan. Source: Nearmap and Extent Heritage Pty Ltd, 2023.

1. Thematic Context

Victoria's framework of historical themes

2. Peopling Victoria's places and landscapes: 2.5 Migrating and making a home
6. Building towns, cities and the garden state: 6.3 Shaping the suburbs, 6.7 Making homes for Victorians
8. Building community life: 8.1 Maintaining spiritual life

Port Phillip thematic environmental history

2. Land transformation: 2.1 Using the land, waterway and resources, 2.2 Altering the land (2.2.1 Water, 2.2.2 Waste, 2.2.3 Land reclamation)

3. *People: 3.1 Nations and boundaries, 3.2 Displacement and conflict, 3.3 Arrival, 3.4 Making a home, 3.5 Expressing identity and culture (3.5.1 Social clubs and meeting points)*
4. *Transport: 4.2 Establishing pathways, 4.4 Railway and tramway links (4.4.2 Tramways)*
5. *Buildings and cultural landscapes: 5.2 Shaping the suburbs, 5.3 Diverse housing*
6. *Commerce, trade and work: 6.2 Markets, shops and retail*
8. *Community life: 8.1 Spiritual life, 8.4 Gathering places*
9. *Cultural life: 9.1 Sports and recreation, 9.2 Arts and culture (9.2.1 Cinemas, dance halls and amusements), 9.3 Tourism (9.3.1 Hotels, cafes and restaurants, 9.3.2 Open spaces, 9.3.3 Residential houses and guesthouses)*

2. History

The following history has been prepared utilising the history written by Andrew Ward & Associates in 1998 as part of the Port Phillip Heritage Review, and is augmented with additional research undertaken by Extent Heritage.

Pre-colonial history

The land and environmental surrounds of the precinct is home to the Yalukit Willam clan of the Bunurong language group, who occupied territory east of the Werribee River to St Kilda.. The area north of present day Glen Huntly Road comprised a seasonally variable wetland that drained into Port Phillip via Elster Creek. This wetland would have provided Traditional Owners with access to an abundance of resources. Meanwhile, the rocky headland of red, brown and yellow sandstone, now known as Point Ormond, that forms the western extent of the precinct was a prominent feature in the landscape that provided views across Port Phillip Bay (refer to Figure 2) .

Archaeological records indicate that the Point Ormond area was an active campsite, with stone axes and bowl awls recovered in the area in the 1970s (Eidelson 2006, 42). A shell midden was also uncovered near Point Ormond, suggesting that the Bunurong people in the area cooked shellfish gathered from the reef (Ellender and Weaver 1994). The land that would later become Elwood is shown in Figure 2 as being lightly wooded, and pre-colonial ecological vegetation classes indicate that the land comprised a mix of damp sands herb woodlands and grassy woodlands.

While the rich cultural heritage of Traditional Owners in Elwood continues to have a strong presence to this day, their lifestyle and lands were severely impacted following the onset of European colonisation, particularly after the arrival of the Glen Huntly emigrant ship in Port Phillip Bay in 1840 (Finn 1888, 596-597). The ship was carrying 157 Scottish passengers, with fifty suffering from Typhus fever. A makeshift quarantine settlement was immediately established adjacent to the shore on Point Ormond near to the precinct, then known as Little Red Bluff (Moore 1990). As shellfish harvests took place right alongside the station, superintendent Charles La Trobe ordered the expulsion of all Aboriginal camps from the area (Eidelson 2006, 42). La Trobe's actions formed merely one part of a wider colonial process of displacement and dispossession, which would have continued terrible ramifications for generations.



Figure 2. c.1864 illustration of Point Ormond and the coast looking south towards Mt Eliza, representing a pre-developed landscape. Source: Clark, T. c.1864. Red Bluff Brighton (Point Ormond). Watercolour painting, accession no: H299. State Library of Victoria.

Contextual history Nineteenth Century development

Following the arrival of the *Glen Huntly* at Little Red Bluff, the first land sales in Elwood of 1851 marked the subdivision of lands, then known as 'North Elwood' along the foreshore of Port Phillip Bay to the east and south of Point Ormond. These initial allotments comprising HO8 were purchased by early investors- Allotment 8, of 14 acres, was acquired by W B Wilmot, while the remaining five eight-acre lots were acquired by J Payne (Allotment 10), W W Blow (Allotment 11), J G Vautier (Allotment 12 and 13) and James Murphy (Allotment 14) (Heritage Alliance 2005, 11). A month later, three more eight-acre blocks were sold and purchased by Samuel Griffiths (Sections 15 and 16) and J Murphy (Section 17) (Surveyor-General's Department 1851; Heritage Alliance 2005, 11).

Early attempts to promote settlement within this area took place in 1853, when J. G. Vautier subdivided his land into sixty residential allotments with frontages to the newly created streets of Vautier Street (then known as North Elwood Street) and Docker Street (South Elwood Street). Despite the erection of a pair of semi-detached terrace houses known as Elwood House in 1854 on 30 & 30A Vautier Street, Elwood, the area largely remained undeveloped. While Elwood House represented an attempt to introduce denser terrace housing into the area that would become ubiquitous in St Kilda, it was ultimately an anomaly, and the building would later be converted into a single house in the 1870's, into flats in 1917/18, and back to two terrace houses in 1978 (Heritage Alliance 2005, 11). Early buildings on these allotments instead comprised a scattering of freestanding mansion estates, however these are primarily situated outside of the study area. Development within the study area was thus primarily protracted, and the initial lots that would later form Vautier Street, Broadbent Lane, Beach Avenue, Selwyn Avenue, Bendigo Avenue, Tiuna Grove, Byrne Avenue, Normandy Road, Wilton Grove, and Bluff Avenue largely remained as vacant land.

Meanwhile, land within the Glen Huntly and Ormond Road Precinct situated north of Glen Huntly Road consisted of a seasonably variable wetland known as the Elwood Swamp (Public Record Office of Victoria 1851). Deemed unsuitable for residential development, the wetland was consequently transformed into a site for noxious trades required by European settlement, with a night soil depot established at the present-day intersection of Barkly Street and Shelley Street in 1857, an open slaughter yard established in 1858 and an abattoir building erected in 1861 (see Figure 3) (Way Back When Consulting Historians 2021, 29-30).



Figure 3. 1851 map showing 'North Elwood' allotments south of the wetland and Glen Huntly Road and a slaughtering yard outlined in red. Source: Surveyor General's Department, Port Phillip Branch. 1851. 'Village of Elsternwick.' Map. Citation no. VPRS 8168/P0002. Public Record Office Victoria.

Land Boom

The precinct underwent a period of change during the 1880s land boom, which not only saw further subdivision and development in 'North Elwood', but also the closure of noxious trade facilities and subsequent swamp reclamation works to the north via the development of Elwood Canal from 1889 to 1905 (The Caulfield and Elsternwick Leader 1889, 4).

In 'North Elwood' a small number of mansions and villas were built, including some on allotments facing towards the Esplanade and foreshore, such as Tiuna at no. 8 Tiuna Grove (built in 1884 for barrister Henry V. Duigan) and Thalassa at no. 17 Byrne Avenue (1889) (see Figure 4). Other houses built in the 1880s include no. 25 Beach Avenue and no. 31 Vautier Street.

These mansions and villas demonstrate the growing popularity of the area as a fashionable address for 'marine villas' during the nineteenth century. These mansions predominantly comprised generously sized residences set on large grounds and oriented towards the sea, typically built in the popular Italianate styles of the 1880s (see Figure 4). However, due to the remoteness of the area from transport and services, and the on-set of the economic depression of the 1890s, the nineteenth century subdivisions within the study area did not develop to the extent that had been envisaged. By 1897, the study area south of Glen Huntly Road was still relatively sparsely developed (Heritage Alliance 2005, 16).



Figure 4. c.2000 photograph of Thalassa at 17 Byrne Avenue, Elwood, prior to renovations.
Source: Unknown. c.2000. *Thalassa Mansion exterior*. Photograph. In collection: St Kilda Historical Society. Identifier 00865. Victorian Collections.

Meanwhile, the wetland situated north of Glen Huntly Road was systematically drained and reclaimed by 1905 following growing health concerns spurred by increased suburban development in the neighbouring suburbs (see Figure 5). A newspaper article from 1884 reports that Dr Beckett, health officer, had inspected the area and ‘felt convinced that there existed an urgent need for its reclamation as soon as possible’ (The Telegraph, St Kilda, Prahran and South Yarra Guardian 1884, 6). In his view, the land on either side of the road leading from St Kilda to Elwood was ‘in many places covered with water, in other collections of offensive smelling mud and... decomposing vegetable matter, which gave off a faint sickly smell.’ He consequently proposed that the level of the swamp be raised by filling it with silt (The Telegraph, St Kilda, Prahran and South Yarra Guardian 1884, 6).



Figure 5. Extract from 1898 Melbourne and Metropolitan Board of Works Plan showing the reclaimed wetlands and newly erected Elwood Canal. Source: Metropolitan and Melbourne Board of Works. 1898. Melbourne and Metropolitan Board of Works plan, scale 400 feet to 1 inch. No. 27, Portion of St. Kilda & Caulfield. Map. MMBW map series ID 1605782. State Library of Victoria.

Twentieth century development

The completion of the first stage of the Elwood Canal by 1897 and extensions and improvements carried out from 1905 to 1907 spearheaded an intense residential boom in the study area during the first two decades of the twentieth century, resulting in development on the reclaimed wetland north of Glen Huntly Road, as well as the subdivision of the remaining sparse mansion estates south of Glen Huntly Road (Heritage Alliance 2004, 21-23). Development was also further stimulated by the opening of the Victorian Railways' electric St Kilda to Brighton tramway down the newly formed Broadway in 1906, as well as the opening of the tramway from Elsternwick to Point Ormond in 1914 which dually paved the way for commercial development within the study area.

Residential boom

Major land sales along the newly formed streets of Addison Street, Ruskin Street, Meredith Street and Broadway subsequently took place in 1908 and 1913 (Eidelson 2006, 23). Residential development on the reclaimed wetland was initially concentrated on Ruskin Street, which first appears in directories in 1913 (Heritage Alliance 2004, 33). Newly erected twentieth century housing stock on reclaimed land typically comprised freestanding middle-class suburban bungalows. Reflecting the decline in terrace housing following the 1890s depression and the subsequent emergence of the 'garden suburb' concept, these new developments, consisting of a spacious single-family dwelling unit in a secluded garden setting, embodied the ideal expression of urban living in the early twentieth century (Way Back When Consulting Historians 2021, 90).

Despite the stylistic primacy of the detached bungalow, the area also saw the development of more modest semi-detached Federation duplexes that hark back to the Victorian era in their form and detailing.

While the early buildings of Elwood were houses, intense growth during the 1920s and 1930s saw a dramatic increase in the number of blocks of flats being built. While this trend towards higher density living initially began in St Kilda via the conversion of mansions and terrace houses into boarding houses in the early 1900s, its success would pave the way for flat development in Elwood in the period following World War I. In the immediate years following the end of World War I, between 1918 and 1920, flat development close to, or directly on the new tram routes boomed. This is reflected in the built landscape, with Ormond Mansions at 42 Glen Huntly Road, The Wandsworth at 13 Glen Huntly Road, Desboro at 61 Shelley Street, Corunna at 70 Glen Huntly Road, Bluff Mansions at 394 Barkly Street.

The study area's proximity to the beach, parklands, good public transport networks and overall seaside character rendered it a popular destination for flats by the interwar period. This intense period of interwar development is reflected in the 1925 aerial photograph shown in Figure 6 shows the northern portion of HO8, north of Glen Huntly Road. It similarly reflects the large-scale development of bungalows in the northern portion of HO8, and the beginning of interwar flat development within the suburb. The aerial photo also shows that Shelley Street only ran from Barkly Road to Broadway in the mid-1920s. By 1935, despite a slowing of development due to the Great Depression, the St Kilda municipality more broadly contained over 2,800 flats in over 500 blocks by 1935 (Way Back When Consulting Historians 2021, 96). A further 2,000 flats were added by 1940; however, the onset of World War II slowed development. Nonetheless, by 1947 St Kilda contained 5,500 purpose-built flats, a quarter of all flats in Melbourne (Way Back When Consulting Historians 2021, 96).



Figure 6. 1925 aerial photograph of the northern portion of HO8, showing Glen Huntly Road, Ormond Road, Shelley Street, Broadway, Addison Street, Ruskin Street, and the central portion of Barkly Road. Note the level of bungalow development in the northern portion of the HO, and the large vacant properties which would later be occupied by flat blocks. Source: Pratt, C. D., & Airspy. (1925). [Elwood area on Port Phillip Bay] [picture]. State Library of Victoria



Figure 7. c.1931 sketch of Shelley Court at 59 Shelley Street, Elwood. Source: Jennings, E. c.1931. *Proposed Brick Flats Addison Street and Shelley Street Elwood for F. Watson Esq.* Graphic materials. City of Port Phillip.

Concurrently, twentieth century development in the study area south of Glen Huntly Road not only saw the construction of residences on previously vacant land, but also the subdivision of boom era mansion estates. Tiuna (8 Tiuna Grove) and Thalassa (17 Byrne Avenue) were subdivided in 1924 and 1922 (*The Argus* 1924, 3; *The Herald* 1922, 13) (see Figure 7). In these two cases, the mansions themselves were retained on smaller blocks within the new estates, but paved way for the further development of the detached suburban homes towards the seafront.



Figure 8. c.1920s photograph of Tiuna Estate subdivision plan. Source: Unknown. c.1920s. *Tiuna Estate, St Kilda*. Photograph. In collection: Vale collection. ID no. 1978837. State Library of Victoria.

With its seafront views and access to the 'Electric Tram Route', detached suburban homes erected in this portion of the study area were typically more imposing than those north of Glen Huntly Road. One striking example of this includes Darlington (Citation 802) at 16 Selwyn Avenue, Elwood (1914). Designed by W G Pollard, the residence comprises an English Revival style attic villa defined by its bold composition, steeply pitched roofs and jerkinhead gable set on landscaped grounds (Swan Pty Ltd 1945).

Commercial shops

Commercial development in the area was closely tied to the opening of the Victorian Railways' electric St Kilda to Brighton tramway down the newly formed Broadway in 1906 and subsequently, the development of the Melbourne and Metropolitan Tramways Board's Point Ormond tramway service along Glenhuntly Road in 1915.

In the early twentieth century, to service the growing population, two retail centres developed, both at the intersection of Broadway, Glen Huntly and Ormond Roads, and further east on Ormond Road. The intersection of Broadway with Glen Huntly and Ormond Roads became known as Elwood Junction from the time of the opening of the Point Ormond tramway. It remains at the heart of Elwood and provided the shopping and community facilities for the recently subdivided lands. The Alderley (Citation 2082), located at present day 34-40 Glen Huntly Road and 5-13 Ormond Road

was constructed in 1920-1921 for Mr Bailey to designs prepared by prominent architect Nahum Barnet, and has been a local landmark and meeting place since that time.

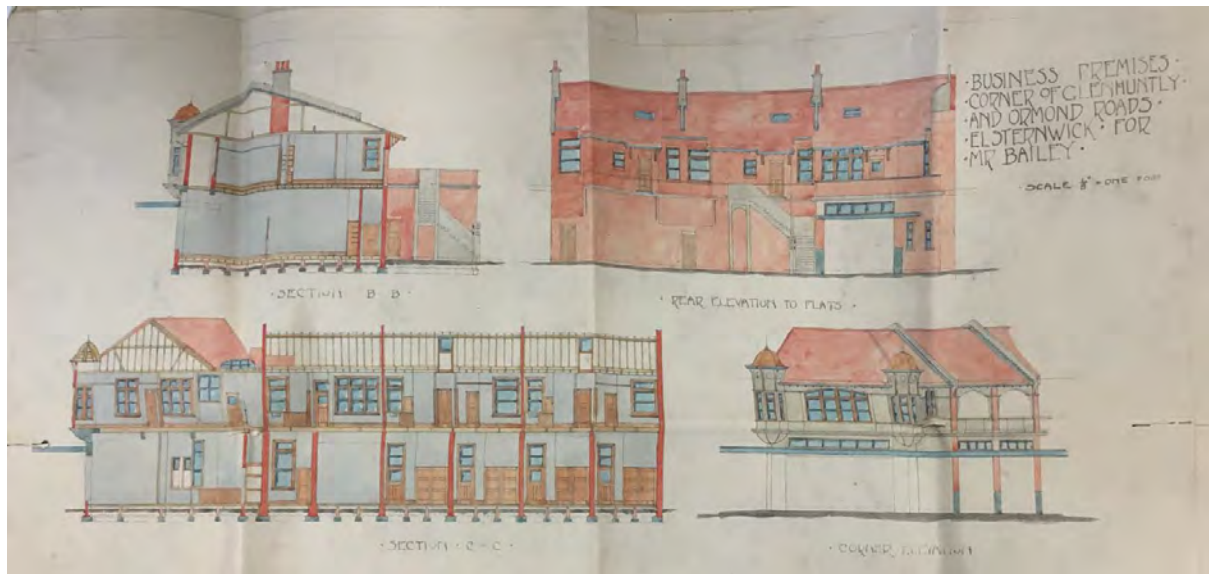


Figure 9. c.1920-21 plan of the Alderley. Source: Barnet, N. c. 1920-21 Architectural plan of the Alderley. Graphic materials. City of Port Phillip.



Figure 10. 1960 view of The Alderley and Point Ormond tramway along Glen Huntly Road. Source: Unknown. 1960. Elwood Junction. In Andrew Ward & Associates, City of Port Phillip Heritage Review, prepared for City of Port Phillip, 1998.

Other noted extant commercial buildings within this section of the study area include The State Savings Bank (Citation 360) at 6 Ormond Road (1922) and the Elwood Post Office (1925) at 75 Glen Huntly Road, which form key civic buildings in the Elwood Junction area. By the mid-1920s, as shown in Figure 6, the Elwood Junction was bounded by double-storey commercial properties fronting the intersection. Many of these commercial properties are still extant, from 49-63 Glen Huntly Road and 14-28 Ormond Road.

By 1930, the number of businesses in the vicinity of Elwood Junction had grown to nineteen and included a dentist, cigarette manufacturer, and the Maison de Luxe Danse Palais dance hall (1919) (now demolished) (see Figure 10). St. Bede's Church of England (Citation 361), situated on the corner of Ormond Road and Byrne Avenue, is the oldest church in Elwood, built in 1916. It was intended to serve as the church hall for a larger church at the Tiuna Grove corner. The architects were North and Williams, and the builder was James Brown. Another landmark at the Elwood Junction centre, and indeed of Elwood in general, is St. Columba's Catholic Church (Citation 1988), built in 1929. A number of Roman Catholic churches of similar scale and varied detailing were erected around this time, however this building is one of the finest examples. While not a commercial component of Elwood Junction, the construction of the church in 1929 is reflective of the intense interwar development occurring at the time. What is more, whilst it is not included within the heritage curtilage of the Glen Huntly and Ormond Roads Precinct, its tower can be seen from many parts of the suburb making it a major landmark of the broader suburb including the precinct.



Figure 11. 1960 view of now demolished Maison Deluxe and the now removed St Kilda to Brighton Beach tramway along Glen Huntly Road. Source: Unknown. 1960. Elwood Junction. In Andrew Ward & Associates, *City of Port Phillip Heritage Review*, prepared for City of Port Phillip, 1998.

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3. Description

The Elwood: Glen Huntly and Ormond Roads Precinct occupies an extensive area over the southern extent of Elwood. It is generally defined by Shelley Street to the north, Broadway and Ormond Road to the east, and Marine Parade and Ormond Esplanade to its west, parallel to the shoreline. Streets within the precinct include Addison Street, Barkly Street, Beach Avenue, Bendigo Avenue, Byrne Avenue, Bluff Avenue, Broadway, Goldsmith Street, Lytton Street, Normandy Road, Ruskin Street, Selwyn Street, Shelley Street, Tiuna Grove, Vautier Street and Wilton Grove.

The precinct includes the foreshore reserve at Point Ormond and the adjacent Robinson Reserve. The reserve and gardens are the site of Victoria's first quarantine station and the former Point Ormond tram terminus, and features mature Norfolk Island Pine (*Araucaria heterophylla*), Canary Island Date Palm (*Phoenix canariensis*) and Tamarisk (*tamaricaceae*) trees. The open grassed reserves are intersected by a series of shared pathways and cycleways with community amenities and seating. The raised and open position of the Point Ormond lookout provides extensive, unobstructed views of Port Philip and the Melbourne Central Business District beyond.

The precinct includes a small commercial area, centred around and extending from the roundabout junction of Glen Huntly Road with Ormond Road and Broadway, known as Elwood Junction. It consists mainly of Interwar era commercial buildings characterised by groups of symmetrical one or two-storey shops with a restrained, flush façade and a flat or arched parapet. The two storey shops typically feature a centralised upper-level casement window bank. This is represented in the group of shops at nos. 47-55 and 57-60 Glen Huntly Road, and nos. 14, 16 and 18-28 Ormond Road. Other notable commercial and civic buildings, and features within the area include: The Alderly at 13 Ormond (Citation 2082) with its distinctive twin oriel turrets and intact shopfronts; the Classically influenced State Savings Bank of Victoria (Citation 360); the similarly Classically inspired but smaller Former Post Office (Citation 1992); the substantial Church and school with its distinctive landmark tower St Columba's Church School, Parish Hall, presbytery and Roman Catholic Church at 2 Normandy Road (Citation 334). Other features that inform the landscape and setting of the Glen Huntly Road and Ormond Road junction is the remnant Melbourne and Metropolitan Tramways Board (M&MTB) tramway pole opposite the Former Post Office, representing the historical Point Ormond and Brighton Beach tramway line that crossed the main intersection, until its closure in 1959; and the main roundabout featuring bluestone guttering with a raised stone-edged garden bed planted with a substantial and mature eucalyptus planting.



Figure 12. No. 13 Ormond Road, 'The Alderly'. Source: Extent Heritage Pty Ltd, 2022.



Figure 13. No. 6 Ormond Road. Source: Extent Heritage Pty Ltd, 2022.



Figure 14. No. 75-75A Glen Huntly Road.
Source: Extent Heritage Pty Ltd, 2022.



Figure 15. No. 2A Tiuna Avenue, 'St Bedes Hall'. Source: Extent Heritage Pty Ltd, 2022.



Figure 16. No. 2 Normandy Road, 'St Columba's'. Source: Extent Heritage Pty Ltd, 2022.



Figure 17. No. 2 Normandy Road, 'St Columba's School'. Extent Heritage Pty Ltd, 2022.

The precinct is largely residential, consisting of a mix of freestanding residences and two to three storey apartments. Elwood is representative, like St Kilda, of the broader residential development of Melbourne, with examples of a wide range of domestic design styles ranging from the Late Victorian period through to Federation and Interwar development but specifically a high proportion of flats which historically popularised this mode of living in the twentieth century. In addition, the precinct also includes a number of interspersed Postwar and contemporary developments. These buildings encapsulate the narrative of domestic architectural styles, trends and development from the mid-nineteenth century to the present day. This was historically influenced by the early optimistic

development expectation of the area, bolstered by its seaside location and connection with the tramway.

The earliest houses within the precinct are located in the southern extent of the precinct along Tiuna Grove, Beach Avenue, Byrne Avenue and Vautier Street. Representing the first phase of residential development in the area, only six examples remain extant today. The oldest houses at 30 and 30A Vautier Street (Citation 374), originally known as 'Elwood House', are in a double storey terrace house form with decorative lacework and double storey construction, using a verandah on the façade and a roof concealed by a simple parapet. The other nineteenth century houses are the four rendered brick masonry Italianate style villas at 17 Byrne Avenue, 8 Tiuna Grove, 25 Beach Avenue, and 31 Vautier Street. These have an emphasis on symmetry, scale, rectilinear form, decorative wrought iron lacework and stucco render, sash windows and in some cases bay windows, slate roofing with hipped roof forms and decorative verandahs. The Federation era residences typically present transitional Edwardian and Arts & Crafts influences seen in the stylistic trends popular in the years leading up to, and during, the Interwar era. This includes a built form dominated by projecting gables with half-timbered detailing, bay windows, and the decorative application of stucco rendering. The bungalow form began to emerge during this transitional period. More traditional Federation era features are visible in the use of red brick contrasted by painted timber and trim elements. Examples of these more traditional Federation-era dwellings, which still retain nineteenth century design themes, can be seen at 130-132 Ruskin Street (c.1910s).

The bungalow form became popular into the Interwar period. The California Bungalow residences present characteristics quintessential to the bungalow form, including double fronted facades, projecting half-timbered gables, and gabled porches supported on thick brick piers. The face clinker bricks and roughcast facades, brick piers, timber brackets and shingles present a materiality palette and design typical of the style. Several residences within the precinct also present Arts & Crafts influences seen in the expressive and elaborate roof form and façade treatment, through the use of timber bracketing under the exposed eaves, shingle details, some use of roughcast render, leadlight windows and half-timbering. The Arts & Crafts residences typically present a consistent open gable form with a projecting, centred gable awning and main entrance. While initial bungalows were designed in the Queen Anne Revival style, they eventually evolved into the Arts & Crafts and California style bungalows by the early 1920s. The latter can readily be seen at Sur La Mer at 382 Barkly Street, Elwood (1921). Constructed in 1921 for Mrs Sarah Carte to designs by the architect William Lawrence Coltman, this bungalow is defined by its clear Arts and Crafts influences. Key features include its prominent gable end with a dominant shingled oriel window bay, terracotta tiled roof, red brick and prominent brick chimneys.

Other styles also became popular during the Interwar period including the Art Deco, Old English and Moderne influences. This is particularly well represented by a wide variety of two to three-storey apartment buildings throughout the precinct and suburb. Key characteristics include symmetrical front façades and fenestration, streamlined projecting main entrances and stairwells, and decorative horizontal and vertical detailing achieved through the use of contrasting renders and brick.

Of great importance, contributing to the character of the precinct and representing the residential development of the early twentieth century, interwar and post-war years, are the substantial number of high-density flats within the precinct. Examples include The Desboro (1921) and Shelley Court (1930-1931) at 61 Shelley Street and 59 Shelley Street (Citation 805) respectively, as well as Bluff Mansions (1919) at 394 Barkly Street. As demonstrated in these examples, these interwar flats were often designed in the fashionable Arts and Crafts and revival styles of the interwar period. For instance, Shelley Court was designed by E Jennings in an interwar Georgian Revival style, and is notable for its formal symmetry, quoining, deep, inset porch and first floor verandah (see Figure 6), while the H E Cobb designed The Desboro (Citation 917) features Arts and Crafts derived features

including decorative shingles, overhanging eaves with exposed rafter tails and broad hipped roof form.

The northern extent of the precinct includes residences fronting and extending north from Shelley Street. The area is generally characterised by freestanding Federation and Interwar style residences, and two to three-storey interwar era apartments representing the intense growth and residential development of the 1920s and 1930s. Places that reflect this period of development include:

- Valona, 14 Shelley Street, Elwood (Citation 804), consisting of a two-storey apartment at the junction with Goldsmith Street. The facade is defined by projecting porte cocheres detailed with arched openings supported on rounded columns, quoining and external bifurcated stairs leading to the upper-level entrances. It is set back from the street and demarcated with a low rendered post and wrought iron fence.
- Sherbourne, 22 Shelley Street, Elwood, consisting of a two-storey apartment building presenting the Interwar Moderne style. It presents a stepped form defined by streamlined corners and balconies detailed with porthole windows, expressed chimneys, and face brown brickwork contrasting the cream-coloured stucco render. The apartment is complemented by the face brick front wall with an alternating header and rowlock laid coping.
- St. Catien, 28 Shelley Street, Elwood, which is a two-storey interwar era apartment with a symmetrical façade flanked by projecting bays, detailed with paired arched casement windows and expressed timber studwork. The low-pitched hipped roof is clad with terracotta Marseilles tiles with exposed rafter tails. A centred gable dormer clad with timber shingles, flanked by two roughcast chimneys extends from the roof. The centre bay includes the main entrance and porte cochere with an arched form and rounded columns defined with clinker bricks. The upper-level features projecting bay sash windows with diamond patterned leadlight panes supported on a timber bracket, protected under a cantilevered octagonal awning.
- Shelley Court, 59 Shelley Street, Elwood (Citation 805), consists of a two-storey interwar era flats with a symmetrical façade. The centralised main entrance is recessed under a porte cochere defined by a three arched opening, supported on paired columns. A moulded sill course and pediment features a pre-cast clamshell moulding and expressed lettering reading 'Shelley Court'. The upper level of the centre bank includes a deep verandah with two centred columns. The centre bank is flanked by projecting bays featuring imitation quoining, and three casement windows on the ground and upper level. The ground level windows are detailed with repeated elements seen in the centre bank while the upper-level windows sit above a bracketed balconette. The cream-coloured stuccoed structure is contrasted by the low-pitched hipped terracotta tiled roof. A low post and curved masonry wall complement the expressive residence.
- The Desboro, 61 Shelley Street, Elwood (Citation 917), is a two-storey interwar era apartment with Arts and Crafts influences. This is seen in the expressed windows and fenestration detailed with shingle skirts.
- Rochelle, 67 Shelley Street, Elwood (Citation 918), is a large, two-storey interwar era apartment with Spanish Mission influences which is mainly observed in its distinctly shaped gable, decorative window sills and architraves, and repetitive arched fenestration resembling a loggia form on its façade, fronting Shelley Street. The western elevation, fronting Barkley Street, presents Arts and Crafts influences including bay windows with shingled skirting and cantilever awnings, not typically associated with the Spanish Mission style.
- L'avenir, 84 Marine Parade, Elwood, presents a Georgian Revival built form seen in its symmetrical layout with a projecting, centred porte cochere. However, Arts and Crafts influences can be observed in its detailing including window banks with diamond shaped glazing bars and shingled skirts. The apartment building has a deep setback allowing for a generous front garden enhanced by the original front masonry wall featuring a curved form and thick set posts capped with a pre-cast domed moulding.

- Ruskin Court, 111 Ruskin Street, Elwood, is a two-storey interwar era apartment with a strong symmetrical façade presenting Georgian Revival influences. It consists of a wide central bank housing the main entrances under a vaulted loggia with a deep setback which is continued on the upper floor level with aligned fenestration. The building is finished with a concrete coloured roughcast render, contrasted by the use of face red and clinker brick banding and windowsills. It also has shaped motifs which is atypical of the Georgian Revival style, conveying that it is representative of individual tastes applied to stylistic trends of the time. The original front wall presents a cohesive materiality and similar detailing as the main structure.

Notable freestanding residences in the northern extent of the precinct include:

- 46 Shelley Street, Elwood, a two storey Federation residence with Arts and Crafts influences located on a prominent corner allotment fronting Robinsons Garden. The structure presents a form defined by projecting open gables. The ground level features face red brick with contrasting clinker brick courses, recessed corner entrance portico with arched openings and bay sash windows with diamond leadlight glass. The upper level is finished with a roughcast render and fenestration detailed with rounded columns and timber shingles.
- A distinct group of single-storey interwar era semi-detached residences at nos. 32-34, 36-38, 47-49, 51-53, and 57-55 Shelley Street, Elwood. They generally present symmetrical front facades with mirror layouts and a distinctive low-profiled roof clad with terracotta Marseilles tiles. Differences within the semi-detached houses can be seen in the position of the main entrance location, front verandah, fenestration, chimneys and projecting front gables.
- A pair of interwar era single-storey, semi-detached residences with Old English influences at nos. 31-33 and 35-37 Shelley Street. This is seen in the distinct projecting front gable with corbelled brickwork with flush gable ends exposing the edge of the tile capping. The style is more evolved at nos. 31-33 with features including an expressed prominent chimney, exposed brick base and corbelled gable and roughcast rendered façade.



Figure 18 – No. 59 Shelley Street, 'Shelley Court'. Source: Extent Heritage Pty Ltd, 2022.



Figure 19 – No. 111 Ruskin Street, 'Ruskin Court'. Source: Extent Heritage Pty Ltd, 2022.



Figure 20 – No. 48 Shelley Street. Source: Extent Heritage Pty Ltd, 2022.



Figure 21 – No. 61 Shelley Street, 'The Desboro'. Source: Extent Heritage Pty Ltd, 2022.

South of Shelley Street, the precinct includes four approximately equal sized blocks bounded by Glen Huntly Road to the south, Shelley Street to the north, Robinson Gardens and Barkly Street to the west and Goldsmith Street to the east. The area is crossed by Addison Street, Ruskin Street, Broadway, and a series of bluestone cobbled laneways including Dante Lane and Rosetti Lane. The streets are planted with mature London Plane trees (*Platanus x acerifolia*) forming a dense, deciduous canopy defining the streetscapes. California Bungalow residences are similarly well represented in the northern portion of the precinct, defined by the quintessential double or triple front open half-timbered gable form supported on squat columns which can be observed at a number of residences along Ruskin Street and Addison Street. Other flats and semi-detached residences in the area that reflect this period of development include:

- Padua, 45 Broadway, Elwood presents Old English influences seen in its detailing, including face clinker brick, revealed patterning contrasting against the cream-coloured roughcast render, an expressed chimney, and brick-on-edge windowsills. It is complemented by an original front wall presenting a cohesive materiality. The Old English influenced detailing has been applied to a simple, rectilinear structure with a hipped roof that is not characteristic of the style's form. The apartment was constructed in 1934.
- 47 Broadway, Elwood, comprising a flats building with Spanish Mission influences, as seen in the arched fenestration of the porches, verandah, main entrance, and Cordova roof tiling. The detailing is considerably restrained, limited to a simple shaped gable with precast patera and shield mouldings and a finished texture to the white roughcast render. The apartment was constructed in 1933.
- Flats at nos. 238 Barkly Street and 1 Glen Huntly Road consisting of two and three storey apartments with a restrained Spanish Mission style. This can be observed in the liberal use of multipaned windows with semi-circular heads, arched fenestration creating a loggia form, and decorative rendered sills. Finishes that further reinforce the style include the cream-coloured roughcast render, precast patera moulding and tall chimneys with a gabled chimney stack.

- Bluff Mansions, 394 Barkly Street, Elwood (Citation 410), is a two-storey apartment with Arts & Crafts influences seen in its unusual larger scale, defined by wide open gables. The facade is highly detailed with elements such as banks of triple sash windows with shingled skirts and contrasting face brick and rendered surfaces.
- Ormond Court, 398 Barkly Street, Elwood (Citation 411), is a two-storey flats building with Mediterranean style influences featuring a wide form with a broad, low-pitched terracotta clad roof with exposed timber eaves. The front façade is defined by wide fenestration with a vaulted loggia form. The roughcast rendered building is constructed using stuccoed fenestration architraves and pateras. The apartment was constructed in c.1920 by architect, B.S.W. Gilbertson.
- A group of modest single-storey Edwardian residences, including a freestanding residence at no. 134 and a semi-detached pair at 130-132 presenting similar form, layout and detailing. The face red brick double-fronted residences are simply detailed, with a bay window and a roughcast half-timbered gable.
- A group of Federation era semi-detached residences at nos. 23-25, 27-29 and 31-33 Glen Huntly Road, which present a symmetrical and mirrored façade. Each facade presents a centred recessed main entrance and porch, flanked by a projecting half-timbered open gable supported with decorative latticed timber brackets. The gables include a bay window with stained leadlight top lights. Other distinct features of the Federation semi-detached residences include the terracotta roof tiling with crested ridge tiles and distinctly shaped chimney stack. Nos. 23-25 are considered the most intact of the three groupings, retaining the heavy timber front verandah arched valences with shaped fretwork.



Figure 22 – No. 47 Broadway. Source: Extent Heritage Pty Ltd, 2022.



Figure 23 – No. 394 Barkly Street, 'Bluff Mansions'. Source: Extent Heritage Pty Ltd, 2022.

South of Glen Huntly Road and the commercial area at Elwood Junction, the precinct occupies an almost triangular extent, bounded by Ormond Esplanade to the southwest and tapering off at the eastern extent of Tiuna Grove. The area includes residences fronting Bluff Avenue, Wilton Grove, Taggart Lane, Normandy Road, Byrne Street and Tiuna Grove. The area comprises some of the

earliest subdivision and development within the precinct. Narrower streets including Tiuna Grove, Wilton Grove and Taggart Lane generally consist of freestanding Victorian and Federation style residences while interwar era apartment development is present on along the wider cross streets. Other representative residences or housing groups in the area include:

- Seacroft, Bluff Avenue, Elwood, is a two storey interwar era apartment designed utilising Old English influences. This is recognised in the façade punctuated with a projecting open gable and upper-level gable windows with expressed timber battens. The cream-coloured rendered building is contrasted through the use of face red and clinker brick, terracotta roof tiling and a red finish on the timber batten and window architraves.
- A pair of Federation bungalows with Arts and Crafts influences at nos. 4 and 6 Bluff Avenue which are defined by the dominant front arched fenestration on both triple fronted façades. Additional elements include a timber shingled and dentilled gable, chimney with a tall terracotta pot, and windows with an expressed architrave and awning. The residence at no. 4 is considerably more intact, retaining its face brick materiality revealing the subtle use of red face and clinker brick, and a front wall with a cohesive materiality and colour scheme.
- No. 9 Bluff Avenue, Elwood, is a three storey Interwar Moderne style apartment. The structure presents a form characteristic of the style with a centred projecting white stuccoed streamlined main entrance and stairwell and curved balconies. The verticality of the centre stairwell is further emphasised by vertical glazing and chevron window glazing painted light blue.
- A group of Federation era residences at nos. 1-3, 5 and 7 Wilton Grove, Elwood. The group presents characteristics common to the era, including projecting open gable form with front verandahs and terracotta clad roofing. The use of face red brick contrasted with white roughcast render and vermiculated courses, banks of sash windows, and shaped timber verandah detailing also complement the residences.
- A pair of two-storey residences with Old English style influences located on opposite sides of the road at nos. 15 and 18 Normandy Road, Elwood. The residences present a distinct jerkinhead profiled gable, finished with timber shingling and a high-pitched roof profile. No. 15 was constructed in 1927.
- Newhaven, 3 Byrne Avenue, Elwood (Citation 447), constructed in c.1925, consisting of a distinctly detailed two-storey Arts & Crafts apartment. The centre bay presents a raised vaulted loggia entrance and an asymmetrically positioned stair to the upper level. The entrance is flanked by projecting open gables with banks of triple sash windows detailed with copper sheet clad skirting. The white roughcast structure is contrasted by the copper materiality and use of face clinker bricks at the foundation, arched openings and original low front wall.
- Nos. 7-9 Byrne Avenue, Elwood, constructed between 1926 and 1927 by W.J. Brooke, consisting of two-storey flats with Old English influences. This style is seen with the use of projecting enclosed window bays on the upper level supported on timber brackets with expressed battening. The windows consist of banks of white casement window with a distinct cross shaped glazing. The white roughcast front façade is contrasted by the face red brick of the side elevations and use at the windowsills and revealed brick motifs. The original shaped front boundary wall presents a cohesive materiality and form to the pair of apartments. Apartments with similar detailing and stylistic influence can be seen at 16 Tiuna Grove.
- Thalassa, 17 Byrne Avenue, Elwood, consisting of a two-storey Victorian Italianate villa. It presents a double fronted façade with a deep return front patio and verandah. It presents detailing common to the style including expressed imitation quoining, ornately detailed window architraves and a projecting bay window, bracketed eaves, a slate hipped roof and a dentilled, shaped chimney. It is set back from the street, demarcated by a low bluestone wall with cast iron posts and palisade fence. The front wall was constructed in 1959. Finished with a concrete-coloured render, the form, ornate cast iron verandah detailing, and projecting bay window contribute towards the site as a visually distinct Victorian era

residence within the precinct. The rear of the property, visible from Tiuna Grove and Byrne Avenue, comprises of insensitive extensions constructed of rendered brick.

- Georgavin, 4 Tiuna Grove, Elwood, constructed in 1928, is a two-storey interwar era apartment with a distinct façade defined by a wide central bay housing a deep patio and verandah with a vaulted loggia form.
- Tiuna, 8 Tiuna Grove, Elwood (Citation 372), constructed in 1884, is a two-storey Victorian villa. The façade presents a symmetrical face. The ground level features a verandah with a convex roof supported on paired, thin cast iron posts with an ornate cast iron valance and trim. The upper-level features interspaced single timber sash windows with an expressed sill. The double hipped roof overhangs the residence with paired brackets and includes two projecting chimneys. The residence is set back from the street within a private landscaped garden setting.



Figure 18 – No. 2 Bluff Avenue, 'Seacroft'.
Source: Extent Heritage Pty Ltd, 2022.



Figure 19 – No. 4 Bluff Avenue. Source:
Extent Heritage Pty Ltd, 2022.



Figure 20 – 15 Normandy Road. Source: Extent Heritage Pty Ltd, 2022.



Figure 21 – 18 Normandy Road. Source: Extent Heritage Pty Ltd, 2022.



Figure 22 – 3 Byrne Avenue. Source: Extent Heritage Pty Ltd, 2022.



Figure 23 – 7 Byrne Avenue. Source: Extent Heritage Pty Ltd, 2022.

The southern extent of the precinct occupies groups of residences fronting sections of Bendigo Avenue, Selwyn Avenue, Beach Avenue and Vautier Street. Representative examples include:

- Federation era residences fronting Bendigo Avenue, some with Arts and Crafts influences seen in the expressive use of timber shingles and shaped timber elements. A unique example can be found at no. 13 Bendigo Avenue (Citation 424) constructed in c.1910 with a turret style front entrance porch with timber posts, fretwork, shingling and arched fenestration capped with a terracotta hipped roof and finial. An impressive Edwardian style residence can also be observed at no. 9 Beach Avenue, exhibiting nineteenth century sensibilities of symmetry. However, it also demonstrates Edwardian and Federation era design trends through the use of terracotta tiling on a large gabled roof form, paired with projecting gable ends and timber fretwork on the porch..
- Large Federation villas with a Queen Anne style influence seen in the distinct form of projecting open gables and bay windows flanking a corner entrance and porch can be found at nos. 19 Beach Avenue and 53 Ormond Road.
- No. 17 Selwyn Avenue, Elwood, presents a distinct Art Nouveau influence seen in its use of porthole windows with a moulded architrave, flanking half-timbered open gables with bay windows, timber shingling and decorative curved timberwork embellishing the recessed entrance.
- No. 25 Beach Avenue, Elwood, consists of a single-storey Victorian Italianate villa defined by the deep front verandah with projecting bay windows, detailed with ornate cast-iron posts, valences, and trim, paired bracketed eaves and a slate tile hipped roof. The residence is set back from the street allowing for a landscaped front yard, complemented by an original low front wall with tall posts and a palisade fence.



Figure 24 – 13 Bendigo Avenue. Source: Extent Heritage Pty Ltd, 2022.



Figure 25 – 25 Beach Avenue. Source: Extent Heritage Pty Ltd, 2022.



Figure 26 – 16 Selwyn Avenue. Source: Extent Heritage Pty Ltd, 2022.



Figure 27 – 17 Selwyn Avenue. Source: Extent Heritage Pty Ltd, 2022.

Ormond Esplanade runs parallel to the foreshore and was traditionally occupied by prominent residences known as ‘marine villas’. Marine villas were oriented towards the sea and set back from the street on large allotments, allowing for a generous front yard as a projection of wealth and prominence. Ormond Esplanade also includes apartments representative of the interwar apartment development phase. The highly valued location has resulted in a number of large contemporary apartments and residences capitalising on the extensive views and foreshore frontage, as did previous phases of development. Examples of marine villas include:

- No. 17 Ormond Esplanade, Elwood, which is a large Federation era villa with a symmetrical front façade characterised by a deep, slate clad hipped roof with dormer gables. The front façade includes the centred main entrance flanked by projecting bay windows. The front verandah is detailed with turned timber posts, shaped valences, and fretwork. The residence is set back with a return driveway and garden planted with palm trees. The residence has been altered with a verandah opening cut into the original roof pitch.
- Yarramundi, 27 Ormond Esplanade, Elwood (Citation 751), constructed in 1921 by M. Sherlock for J.M. Davie, is a large interwar era marine villa with Arts & Crafts influences seen in its complex form of open gables, layered front façade featuring a centred deep porch and upper-level verandah detailed with a wide, arched opening, curved balustrade and paired columns. Bay windows are employed with timber shingles. The complex gable and pitched roof are clad with terracotta Marseilles tiles with exposed rafter tails and tall chimneys featuring a unique octagonal form. The front boundary is demarcated by an original masonry wall with inset breezeblocks and piers with a corresponding octagonal form to the chimneys.
- Fontainebleau Reception Rooms, 31 Ormond Esplanade, Elwood (Citation 752), constructed in 1928 by G. Seddon for J. Lang, is a marine villa with Arts & Crafts influences seen in its layered open gable form roof clad with terracotta Cordova tiles. It features intricate timber detailing on the half-timbered gables, columns, shingled skirts and expressed on the window frames. The timber detailing is continued on the facade with the pergola form at the chamfered corner edge.

- Ballater, 39 Ormond Esplanade, Elwood (Citation 753), constructed in 1926 by architects Blackett and Forster, featuring Interwar Georgian Revival influences characterised by its symmetrical façade with simplified classical details finished in white stucco. The façade is defined by an arched portico detailed with balusters. The windows consist of Palladian style sash windows. The structure is capped with a low-pitched terracotta roof with broad, simple chimneys.
- Mabrouka, 67 Ormond Esplanade, Elwood (Citation 757), constructed in 1924 by builder S. Collins, featuring Arts & Crafts influences. It presents an unusual façade alignment consisting of a corner main entrance on a deep, curved porch and upper level with an enclosed balcony supported on Doric columns. The entrance is flanked by a wide-open gable detailed with timber shingles. The residence is complemented by an original front rendered masonry wall featuring squat piers with curved coping.

The interwar era apartments represent the next main phase of development along the shoreline. A notable example includes:

- Beaufort, 17 Ormond Esplanade, Elwood (PPHR 719), which is a two-storey apartment with Mediterranean influences. The façade windows consist of banks of bay casement windows, window banks with chamfered edges, and windows with arched fanlights finished in a light blue timber. The bay windows are embellished with a shingled skirt with a precast stylised sun motif. The residence includes a centred driveway under a bridged section of the apartment and is finished with a pink and yellow stucco.

The Elwood: Glen Huntly and Ormond Roads Precinct is set out on a neat arrangement with consistently spaced cross streets reflecting an alignment parallel to the foreshore with a consistent allotment size. The larger allotments allowed the development of apartment complexes during the interwar period. Development adapted to the narrower lots with the construction of semi-detached residences, as seen along Byrne Avenue, Tiuna Grove, Wilton Grove and Shelley Street. Due to the wide representation of developmental phases and styles, the residences within the precinct have varied setbacks.

A number of residences within the precinct include alterations and additions visible from the public domain. These changes include upper floor levels, dormer windows, garages and underground parking additions. Examples can be observed at nos. 32, 36, 49 Shelley Street, no. 114 Ruskin Street, no. 6-6A Glen Huntly Road, 1 Bluff Avenue, nos. 9, 16 and 35 Normandy Road, nos. 1A, 2, 10 and 17 Byrne Avenue, no. 9 Bendigo Avenue, no. 10 Selwyn and no. 8 Tiuna Grove.

Unsympathetic front walls or fencing can be observed at nos. 35, 49, 55-57 Shelley Street, nos. 93, 100, 102, 104 Addison Road, no. 3, 6 Bluff Avenue, nos. 121, 124 Ruskin Avenue, nos. 12, 14 Glen Huntly Road, nos. 5 and 7 Wilton Grove, nos. 16, 23 Normandy Road, no. 2 Byrne Avenue, no. 3, 17, 18 Bendigo Avenue, nos. 3, 10, 19, and 23 Beach Avenue, no. 31, 35 and 37 Vautier Street, and no. 65 Ormond Esplanade.

Introduction of a contemporary colour scheme or rendering of face brickwork can be observed at no. 26, 57 Shelley Street, no. 3 Bluff Avenue, no. 130 and 131 Ruskin Avenue, nos. 2 Byrne Avenue, nos. 16, 17 18 Bendigo Avenue, No. 17 Ormond Esplanade, and nos. 35 and 37 Vautier Street.

5. Comparative Analysis

The Elwood: Glen Huntly and Ormond Roads Precinct is a large cohesive collection of Victorian, Federation and Interwar era residences constructed following the subdivision of the Victorian allotments off Ormond Road, Esplanade and Glen Huntly Road. With this, though significantly larger than most precincts in Elwood and the City of Port Phillip, it is directly comparable to two other precincts included on the Heritage Overlay for the City of Port Phillip. Comparable examples include:

- **Elwood: Addison Street-Milton Street Precinct, City of Port Phillip (HO403).** The Elwood: Addison Street-Milton Street Precinct is historically and aesthetically significant to the City of Port Phillip as a cohesive collection of Federation and Queen Anne Revival residences with a variety of Edwardian residences and commercial structures. This precinct is comparable to the Elwood: Glen Huntly and Ormond Roads Precinct as two cohesive examples of early twentieth century precincts representing the large-scale subdivision and development of Port Phillip's suburbs. Both precincts are also aesthetically comparable, sharing similar built features with the use of gabled roof forms, Marseille terracotta tiling, brick masonry construction with natural masonry finish, some use of decorative harling render and projecting gable ends. Contrasting elements between both precincts include the scale, with HO403 being a smaller precinct than HO8, and HO8 having a far larger variety of built forms over HO403 representing Victorian, Federation, and Interwar bungalow and flat development than the mono-form of HO403. However, both precincts are still comparable as early, large-scale developments within Elwood with similar built features.
- **Elwood: Normanhurst Estate precinct, City of Port Phillip (HO318).** The Elwood: Brighton Road (Elwood) Precinct is historically and aesthetically significant to the City of Port Phillip. Though far smaller than HO8 and less diversity in architectural elements than HO8, both HO318 and HO8 are historically comparable as representing the subdivision of the former Victorian estates for the development of Federation and Interwar development, both private residential, flat development and commercial. Both precincts represent the historical subdivision of the Victorian estates and the rise of the upper-middle class in the suburb of Elwood.

Overall, the Elwood: Glen Huntly and Ormond Roads Precinct presents as a large and varied group of remnant Victorian structures, with Federation and Interwar style residences and flats representing various and distinct waves of development within the suburb. As a physical expression of a single estate and subdivision, the streetscape character is greatly varied, with some streets representing earlier Federation development and others reflecting later Interwar development interspersed with remnant Victorian elements. The diversity of the built form, in both style as well as scale, collectively reflects the distinctive development tastes of the early twentieth century. With this, though varied, the Elwood: Glen Huntly and Ormond Roads Precinct is considered to be in good condition and of high integrity.

4. Statement of Significance

What is significant?

The Elwood Glen Huntly and Ormond Roads Precinct is a residential and commercial Precinct that occupies a large portion of the original subdivision of Elwood as well as the northern interwar extensions, defined by both Shelley Street and Glen Huntly Road through the centre of the Precinct, Ormond Road to the southeast, Ormond Esplanade to the southwest and Barkly Street to the west. It remained sparsely developed during the nineteenth century, after which point the construction of the Elster Canal, drainage of the Elwood wetlands and removal of the Elwood abattoirs in the late nineteenth to early twentieth century encouraged further subdivision and development from 1897 onwards. This wave of development largely comprised of houses, followed by flats predominantly from the Federation and Interwar periods. Today, the Elwood Glen Huntly and Ormond Roads Precinct is largely comprised of Federation and Interwar private residences, flats and commercial areas with some remnant late Victorian examples representing the initial development of the area.

The Significant places are:

- 13 Bendigo Avenue;
- 15, 19, 27, 31, 39, 46 and 57 Ormond Esplanade;
- 35 and 18 Normandy Road;

- 3 Byrne Avenue;
- 14, 8 and Tiuna Grove;
- St Bede's Church of England (former), 30A Ormond Road, 2 and 2A Tiuna Grove;
- 16 Selwyn Avenue;
- 25 Beach Avenue;
- 31 Vautier Street;
- Elwood House, 30 and 30A Vautier Street,
- 6, 9-15, 30A, 38, 46 and 71 Ormond Road;
- 13, 21, 34-40, 40-42 and 75A Glen Huntly Road;
- 394 Barkly Street;
- 22, 43, 59, 61 and 67 Shelley Street.

The Contributory places and features are:

- 84, 85, and 86 Marine Parade;
- 358, 364-366, 368, 372, 376, 378, 379, 381, 382, 383, 385, 387, 389, 390, 391, 393, and 396 Barkly Street;
- 84, 85A, 86, 87, 89, 90, 92, 94, 97, 98, 99, 100, 101, 102, 104, 106, 108, 110, 112, 117, 119 and 121 Addison Street;
- 94, 96, 98, 102, 104, 106, 108, 110, 111, 116, 117, 118, 119, 120, 121, 122, 123-125, 124, 126, 127, 128, 129, 130, 131, 132 and 135 Ruskin Street;
- 37, 39, 41, 43, 45, 51, 53, 80, 82, 84, 90, 92, 94, 96 and 98 Broadway;
- 12, 14, 18, 20, 24, 26, 28, 32, 34, 35, 36, 38, 39, 40, 41, 42, 44, 46, 47A, 48, 51, 53, 55, 57, 63 and 65 Shelley Street;
- 1, 7, 8, 9, 10, 11, 12, 14, 17, 19, 21, 23, 25, 27, 29, 31, 33, 42, 52, 53, 54, 57, 59, 61, and 63 Glen Huntly Road;
- 12-14, 18, 20A, 22, 23, 24, 25, 26, 34, 36, 42, 44, 52, 54, 55, 56, 57, 58, 69, 73, 75, and 77 Ormond Road;
- 5, 9, 11A, 13-15, 17, 67, 69, 73, 75, and 77 Ormond Esplanade;
- 2, 4, 6, 7, 8, 9, and 13 Bluff Avenue;
- 1, 3, 5, 6, 7, 8, and 13 Wilton Grove;
- 3, 4, 6, 8, 10, 11, 12, 13, 14, 15, 17, 19, 20, 21, 23, 27, 29, 31, and 33 Normandy Road;
- 1A, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 20, 22, 26, 28, 30, 32, and 34 Byrne Avenue;
- 2A, 3, 4, 5, 6A, 6, 7, 10, 12, 14, 15, 16, and 18 Tiuna Grove;
- 1, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 15, 16, 17, 18, 19, 20, 21, 26, 27, and 32 Bendigo Avenue;
- 4, 6, 8, 9, 10, 14, 17, 19, 21 and 23 Selwyn Avenue;
- 1, 4, 5, 8, 9, 12, 13, 14, 16, 18, 19, 20, 22, 23, 24A, 27, 29, 30, 33, 37, and 58 Beach Avenue;
- 24, 26, 32, 33, 34, 35, 37, 41, and 45 Vautier Street;
- 73, 75, 77, 83, 85, 87, 91, 93, 111, 113, and 115 Spray Street.

Contributory features include all architectural elements associated with Federation and Interwar periods of design, including brick masonry construction, typical rectilinear or streamlined forms, projecting half-timbered gables, recessed gabled porches supported on thick brick piers, original chimneys and associated detailing, Marseille terracotta roof tiles, slate roofing shingles, corrugated galvanised metal roof sheeting, decorative use of render, original timber window and door openings of either hinged or sash design with some use of leadlight, original fencing with retained original material, height and permeability, and original forms and scales with recessed additions if present.

The Non-contributory properties are:

- 83, 86A and 87 Marine Parade;
- 370, 384, 388, 400, and 402 Barkly Street;
- 80, 82, 88, 91, 93, 95, 96, 107, 109, and 113 Addison Street;
- 95, 97, 99, 100, 103, 105, 107, 109, 112, 114 Ruskin Street;

- 55-63, 66, 68, 88, and 100 Broadway;
- 30, 31, 33, 37, 44A, 45, 47, 49, and 53A Shelley Street;
- 3, 6, 15, 16, 35, 44, and 45 Glen Huntly Road;
- 4, 6, 40, 48, 50, and 53 Ormond Road;
- 1, 3, 23, 25, 33, 37, 41, 43A, 43, 59, 63, and 65 Ormond Esplanade;
- 1, 3, 5, and 11 Bluff Avenue;
- 2, 2A, 2B, 2C, 2D, 2E, 2F, 4, 4A, 9, 10, 14, Wilton Grove;
- 5, 7, 9 and 16 Normandy Road;
- 8, 26, 26A, 36, and 38 Byrne Avenue;
- 2, 30, 14, 22, 23, 24, and 25 Bendigo Avenue;
- 2, 5A, 7, 11, 12, 13, and 15 Selwyn Avenue;
- 2, 2A, 6, 11, 15, 17, 21, 21A, 26, 31, and 35 Beach Avenue;
- 28 and 39 Vautier Street;
- 78, 79, 81, 89, and 117 Spray Street.

How is it significant?

The Elwood Glen Huntly and Ormond Roads Precinct is aesthetically and historically significant to the City of Port Phillip.

Why is it significant?

The Elwood Glen Huntly and Ormond Roads Precinct is historically significant as a precinct established following the gradual subdivision of the late Victorian estates and the completion of the Elwood Canal in 1897. The completion of the canal assisted with the drainage of the Elwood wetland, leading to greater land reclamation of the area. This, alongside the closure of the Elwood abattoir, led to greater interest in the bayside suburb. Following the 1890s economic crash and the subdivision of the few substantial Victorian estates in the area, development surged. The subdivision, and rapid residential development that followed, represented by private single residences, duplexes and flats, marked the historical rise of the upper-middle class in Elwood and the altering of a pre-colonial wetland and natural landscape into an upper-middle class suburb. The large Victorian mansions, terraces and single storey Italianate villas including Tiuna, Elwood House and Thalassa, are tangible remnant representations of the initial wave of development of the Elwood waterfront, with the Federation and Interwar era structures forming a tangible link to a period of rapid development and change. The substantial and elaborate flats largely present on Shelley Street, Byrne Avenue, Glen Huntly Road, and Barkly Street reflect the growing popularity of higher density housing during the interwar and post-war periods. (Criterion A)

The Elwood Glen Huntly and Ormond Road Precinct is of aesthetic significance as a large and diverse collection of properties, largely characterised by Federation residences, Californian and Arts and Crafts Bungalows, some transitional Interwar Moderne apartment blocks marking the early emergent Functionalist flat block development, and highly intact remnant Victorian residences reflecting the nineteenth century development of Elwood. The built features that contribute to their overarching aesthetic significance include the highly ornamented use of lacework verandah detailing, rectilinear form, stucco render, sash windows, ornamented chimneys and some use of polygonal bays. The precinct is also of aesthetic significance for its highly intact and elaborate Bungalow designs, best represented on Normandy Street. 18 Normandy Street is a highly intact and elaborate attic-bungalow, with transverse gable roof form, large arched verandah, timber shingling on bays, exposed roof trusses, intact chimney, buttresses and Marseille terracotta roof tiles, decorative uses of render, and some use of leadlight. The precinct is also of aesthetic significance for its early twentieth century and interwar flats development. The Desboro flats at 61 Shelley Street represent this period of interwar flat development. Features at the Desboro that contribute to aesthetic significance include the large rectilinear form, double storey construction, façade divided into quadrants signifying separate residences, a shallow hipped roof form with a projecting gable end, timber shingling, an emphasis on balconies and the raised render lettering of the flats. Many of these

features represent the aesthetic elements of the other flats within the precinct, with some omissions and additions. (Criterion E)



Figure 28 – Precinct grading plan. Source: Nearmap and Extent Heritage Pty Ltd, 2022

5. Recommendations

2000: Recommended for inclusion in the Schedule to the Heritage Overlay Table in the Port Phillip Planning Scheme.

2023: Retain in HO8 with paint controls and solar energy system controls with the following changes:

- Designate original outbuildings and fences as not exempt under Clause 43.01-4
- Revise the gradings in accordance with Figure 28 above and in alignment with the new (2023) grading definitions as follows:
 - Significant - 'Significant heritage places' are of individual significance at the local or state level and may also contribute to the significance of a heritage precinct.
 - Contributory - 'Contributory heritage places' contribute to the significance of a heritage precinct but are not of individual significance.
 - Non-contributory – 'Non-contributory properties' do not contribute to the significance of a heritage precinct.
- Add new properties to the precinct and include within HO8 with the following gradings:
 - 358, 364-366, 368, 379, 381, 383, 385 and 387 Barkly Street are included as Contributory places, with No. 370 included as a Non-contributory place;
 - 80, 82, 84, 85A, 86, 87, 88, 91, 93, and 95 Addison Street are included in the extension, with Nos. 84, 86, 85A, 87, and 89 included as Contributory places, and Nos. 80, 82, 88, 91, 93 and 95 included as Non-contributory places;

- 94, 96, 98, 100, 102, 104, 106, 108, 110, 112 and 114 Ruskin Street, with Nos. 94, 96, 98, 102, 104, 106, 108, and 110 as Contributory places and Nos. 100, 112 and 114 included as Non-contributory places;
- No. 57 Ormond Esplanade included within HO8 as a Significant heritage place;
- Nos. 73, 75, 77, 79, 81, 83, 85, 87, 89, 91 and 93 Spray Street, with Nos. 73, 75, 77, 83, 85, 87, 91 and 93 included as Contributory places and Nos. 79, 81, and 89 included as Non-contributory places;
- 46, 48, 50, 52, 54, 56, 58, 69, 71, 73, 75, and 77 Ormond Road, with Nos. 52, 54, 56, 58, 69, 73, 75, 77 included as Contributory places, Nos. 48 and 50 as Non-contributory places, No. 46 and No. 71 as two Individually significant places;
- 3 Selwyn Avenue as a Non-contributory place;
- 1, 2, 2A and 5 Beach Avenue, with Nos. 1 and 5 included as Contributory places, and 2 and 2A included as Non-contributory places.
- Extract Nos. 113-167 Ormond Road, removing it from HO8 to form a new separate Ormond Road commercial precinct.

6. Assessment

Primary Assessment

Extent Heritage Pty Ltd, *Elwood Heritage Review*, prepared for City of Port Phillip, 2023.

Other assessments

Andrew Ward and Associates, *Port Phillip Heritage Review*, prepared for City of Port Phillip, 1998.



PART 2

City of Port Phillip Heritage Review

Place name: House
Other names: -

Citation No: 922



Address: 37 Southey Street, Elwood

Heritage Precinct: St Kilda Botanical Gardens & Environs

Category: Residential: House

Heritage Overlay: HO537

Style: Federation/Edwardian: Queen Anne and Arts and Crafts

Graded as: Significant

Constructed: 1916

Victorian Heritage Register: No

Designer: W. H. Smith

Amendment: TBA

Comment: Revised citation

Significance

What is significant?

The house designed by W. H. Smith at 37 Southey Street, Elwood and constructed in 1916 is significant. Alterations and additions are not significant.

How is it significant?

37 Southey Street, Elwood is of local aesthetic significance to the City of Port Phillip.

Why is it significant?

37 Southey Street, Elwood is of aesthetic significance as a highly intact and visually striking late Federation era attic villa that exemplifies the transition between the Queen Anne and Arts and Crafts styles. Visually imposing in scale, siting and form, the house is distinguished by its asymmetrical composition of gable, pitched and corner snuffer roofs, Marseilles tiling, timber joinery, leadlight glass windows and red face brick derived from Queen Anne motifs, as well as its Arts and Crafts style gable treatment with shingles and half-timbering. These elements are cohesively fused together under a strong cross ridged roof form to form a picturesque yet bold freestanding villa along the streetscape. (Criterion E)

Thematic context

Victoria's framework of historical themes

6. Building towns, cities and the garden state: 6.3 Shaping the suburbs, 6.7 Making homes for Victorians

Port Phillip thematic environmental history

5. Buildings and cultural landscapes: 5.2 Shaping the suburbs (5.2.2 Private development), 5.3 Diverse Housing (5.3.3 Suburban bungalows)

History

Pre-colonial history

For thousands of years preceding European colonialism, the land and environmental surrounds of Elwood was home to the Yalukit Willam clan of the Boonwurrung language group, who occupied territory east of the Werribee River to St Kilda. With lands adjacent to the sea and in proximity to the neighbouring Elwood wetlands, this environment provided Traditional Owners with access to an abundance of resources, including freshwater vegetables, wildfowl and eels from the Elwood wetlands, as well as saltwater shellfish, fish and crustaceans from the reef. Meanwhile, the rocky headland of red, brown and yellow sandstone, now known as Point Ormond, was a prominent feature in the landscape that provided views across Port Phillip Bay (refer to Figure 1). Archaeological records indicate that the area of Point Ormond was an active campsite, with stone axes and bowl awls recovered in the area in the 1970s (Eidelson 2006, 42). A shell midden was also uncovered in close proximity to Point Ormond, suggesting that the Boon Wurrung people in the area cooked shellfish gathered from the reef (Ellender and Weaver 1994). The land on which the precinct would come to be located on is shown in Figure 1 as being lightly wooded, and pre-colonial ecological vegetation classes show the land being a mix of damp sands herb woodlands and grassy woodlands.

While the rich cultural heritage of Traditional Owners in Elwood continues to have a strong presence to this day, their lifestyle and lands were severely impacted following the onset of European colonisation, particularly after the arrival of the Glen Huntly emigrant ship in Port Phillip Bay in 1840 (Finn 1888, 596-597). The ship was carrying 157 Scottish passengers, with fifty suffering from Typhus fever. A makeshift quarantine settlement was immediately established adjacent to the shore on Point Ormond near to the precinct, then known as Little Red Bluff (Moore 1990). As shellfish harvests took place right alongside the station, superintendent Charles La Trobe ordered the expulsion of all Aboriginal camps from the area (Eidelson 2006, 42). La Trobe's actions formed merely one part of a wider colonial process of displacement and dispossession, which would have continued terrible ramifications for generations.



Figure 1. c.1864 illustration of Point Ormond and the coast looking towards St Kilda, representing a pre-developed landscape. Source: Clark, T. c.1864. Red Bluff Brighton (Point Ormond). Watercolour painting, accession no: H299. State Library of Victoria.

Contextual history

Elwood's first land sales took place until 1851, which saw the subdivision of land in both St Kilda and what was then known as 'North Elwood' into generous allotments (Surveyor General's Department 1851). Early developments on these allotments comprised a scattering of freestanding mansion estates, including the extant Elwood House at 30 & 30A Vautier Street, Elwood (c.1850s) (Heritage Alliance 2005, 12; Eidelson 2006). Erected on higher ground towards the Esplanade, these mansions solidified Elwood's southern fringe as a prestigious seaside location. Meanwhile, most of the present day suburb to the north of Glen Huntly Road comprised a wetland known as the Elwood Swamp (Public Record Office of Victoria 1851). Deemed unsuitable for residential development, the wetland was soon transformed into a site for noxious trades required by European settlement, with a night soil depot established at Barkly Street in 1857, an open slaughter yard established in 1858 and an abattoir building erected in 1861 (see Figure 2) (Way Back When Consulting Historians 2021, 29-30).



Figure 2. 1851 map showing 'North Elwood' allotments south of the wetland, and Glen Huntly and Ormond Roads marked in red. Source: Surveyor General's Department, Port Phillip Branch. 1851. 'Village of Elsternwick.' Map. Citation no. VPRS 8168/P0002. Public Record Office Victoria.

The suburb underwent a period of change during the 1880s land boom, which not only spurred the subdivision of mansion estates and vacant land into suburban housing estates, but also encouraged the closure of noxious trade facilities and subsequent swamp reclamation works via the development of the Elwood Canal by 1897 (The Caulfield and Elsternwick Leader 1889, 4). By 1908, the first land sales on what once comprised the wetlands had taken place, paving way for further urban growth. Notably, the construction of Elwood Canal, along with the opening of the Victorian Railways St Kilda to Brighton electric tramway line in 1906 (and the Glen Huntly tramway in 1915), spearheaded another development boom in Elwood during the first two decades of the twentieth century. More intense than its 1880s predecessor, this period saw the subdivision of remaining sparse mansion estates on what was then known as 'North Elwood' (see Figure 2), as well as rapid residential development on the reclaimed wetland and in the area south of Ormond Road (Heritage Alliance 2005, 21-23).

37 Southey Street, Elwood

37 Southey Street, Elwood was constructed in 1916 as part of Elwood's early twentieth century residential boom that took place following swamp reclamation works. While the subject site formerly comprised a vacant paddock belonging to a dwelling on the corner of Southey Street and Milton Street (MMBW 1905), estate subdivisions in the early twentieth century paved way for the erection of 37 Southey Street, Elwood by 1916. Designed by architect W. H. Smith, the dwelling comprised a freestanding two-storey attic villa occupying the corner of Southey Street and Gordon Avenue.

Known occupants include the Felts family, who resided in the dwelling from the early 1940s until at least 1962, marking an impressive decades long occupancy (The Australian Jewish News 1943, 1; The Australian Jewish News 1962, 21). The residence was put on auction in 1975, and described as:

An outstanding Solid Brick Edwardian HOME of approx. 34 squares, Incl. WW Carpets, Venetian Blinds and Light Fittings, Sprinkler System and Burglar Alarm, Compr. Downstairs: Imposing Ent. Hall, lounge room, Beaut. Paneled Diningroom, 2 Bedrooms, Den, Large Kitchen, 2 Bathrooms, 2 Toilets, Brick Garage and Double Carport. Upstairs: 2 Bedrooms, Small Utility Room and Billard Room 25 x 16 Approx (The Australian Jewish News 1975, 33).

It is not known who resided at this property from this period, however records indicate that ownership of the residence changed four more times between 1977 and 2001. Today, the property continues to be used as a private residential property.

References

- Clark, T. c.1864. Red Bluff Brighton (Point Ormond). Watercolour painting, accession no: H299. State Library of Victoria.
- Eidelson, M. 2006. *Flood, Fire and Fever. A History of Elwood*. St Kilda: St Kilda Historical Society. <http://skhs.org.au/~SKHSflood/>.
- Ellender, I, and F Weaver. 1994. *An Archaeological Survey of Port Philip Bay*. Melbourne: Victorian Archaeological Survey.
- Finn, Edmund. 1888. *The chronicles of early Melbourne, 1835 to 1852: historical, anecdotal and personal*. Melbourne: Fergusson and Mitchell.
- Heritage Alliance. 2005. 'Elwood Heritage Review: Volume I: Thematic History – Citations for heritage Precincts.' Unpublished report prepared for the City of Port Phillip. PDF file.
- Mitchell, J and L Hardiman. 2017. 'Proposed Alterations and Additions at 77 Marine Parade, Elwood'. Unpublished report prepared for Vincent Zimbardi and Donna Zimbardi. PDF file.
- Moore, O. 1990. *Flying the Yellow Flag: The First Voyage of the 'Glen Huntley', 1839-40*. O Moore: Ringwood East.



State Library of Victoria, Melbourne & Metropolitan Board of Works, detail plan no. 1394, 1905.

State Library of Victoria, Sands & McDougall Street Directories of Victoria, 1935-1950 ed.

Surveyor General's Department, Port Phillip Branch. 1851. 'Village of Elsternwick.' Map. Citation no. VPRS 8168/P0002. Public Record Office Victoria.

The Australian Jewish Herald. 1943. 'Family Notices.' 29 September 1943.

The Australian Jewish News. 1962. 'Family Notices.' 14 December 1962.

The Australian Jewish News. 1975. 'Advertising.' 29 August 1975.

The Caulfield and Elsternwick Leader. 1889. 'Elsternwick Improvement Committee.' 11 May 1889.

Way Back When Consulting Historians. 2021. 'Thematic Environmental History.' Unpublished report prepared for the City of Port Phillip. PDF file.

Description

37 Southey Street is a two-storey Federation era attic villa that incorporates both Queen Anne and Arts and Crafts style influences. It is situated on a prominent corner allotment fronting Gordon Avenue to the south and Southey Street to the east. The lower section of the facade presents face red brick laid with a stretcher bond while the upper sections are finished with a roughcast render with half-timber detailing along the open gables and corner bay. The open gable cross ridged roof is laid with terracotta Marseilles roof and ridge capping. Four tall chimneys with a tapered form and single terracotta chimney cap extend from the roof. The roof extends over the residence with exposed timber rafter tails.

The eastern elevation presents an asymmetrical layout of intersecting hipped and gabled roof forms. Its corner bay is distinguished by a steep candle snuffer roof topped with a terracotta finial. The corner bay features arched windows and fanlights with stained leadlight glass, and half-timbered roughcast panels under the roof eaves. A projecting open gable and bay window with similar detailing extends to the right of the corner bay. A single window with a hood awning is situated beside the corner bay and open gable bay. An open gable dormer window finished with half-timbered roughcast cladding and nine-pane casement windows is located along the eastern elevation.

The southern elevation comprises a prominent open cross ridge gable. The ground level includes the main entrance, set within a partially enclosed sheltered porch. The porch is laid with geometric tiling and supported with grouped timber posts and shaped brackets. A bay window is located beside the corner porch and is sheltered under a hood awning. A smaller casement window with hood awning is located to the left of the main bay window. The upper level is finished with a half-timbered roughcast and timber shingle clad sections. A centred bank of three casement windows with a hood awning is located on the upper level with a timber louvred vent above. The hood awnings are clad with timber shingles with exposed rafter tails and shaped brackets on the ground level. The southern elevation includes a sheltered parking bay with a trimdek profile roof supported with brick posts and shaped timber rafters.

The residence is set back from Southey Street allowing for a wide front yard. The street front boundary is demarcated by a low face brick wall with tall, interspaced piers supporting timber picket fence panels. The wall addresses the corner allotment with a chamfered edge and a raised garden bed. The wall is recessed along Southey Street where the timber gate entrance is set. A red brick laid pathway leads to the front porch and entrance. The boundary fence along Gordon Avenue is partially demarcated with a timber panel fence and sliding car gate. The eastern elevation opens to a backyard which includes a timber pergola, swimming pool and freestanding shed. The shed structure materiality and detailing appear consistent with

the main residence and consists of face red brick construction with a hipped terracotta Marseilles tiled roof with exposed rafter tails.

Known alterations to the property include:

- Demolition of original boundary fence and construction of brick boundary wall (after 1975).
- Relandscaping of the backyard including timber pergola, swimming pool and floor paving.
- Alterations to the boundary wall along Gordon Avenue consisting of a timber panel fence and gate.
- Addition of a timber picket fence to the brick boundary wall.
- Repainting of timber features, including the timber shingles on the window hoods and fascia.
- Addition of the sheltered parking bay to the eastern elevation.
- Addition of four skylights to the roof.

37 Southey Street is in good condition and of high integrity overall.

Comparative analysis

Following the economic depression of the 1890s, there was concern that inner Melbourne was becoming overcrowded. Terrace houses fell out of favour, as they were perceived as being cold and dark with limited garden space. Instead, detached bungalows and villas became the most popular form of housing from the Federation/Edwardian period onward. Influenced by the Garden Suburb movements from overseas, these freestanding suburban homes reflected the concept of a single family dwelling in a garden setting and became the ideal expression of urban living in the early twentieth century (Davison 2004, 171).

Although most Federation era bungalows and villas were initially designed in the Federation or Queen Anne style and characterised by picturesque asymmetrical forms, terracotta tiled roofs and embellishments including terracotta ridge capping, finials and fretted frieze panels, leadlight windows and red brickwork with flush joints, the freestanding residence eventually evolved into the Arts & Crafts and California bungalows of the early 1920s, which were primarily distinguished by their gabled roofs, verandah piers and balustrades, timber joinery, and double hung or casement stained glass windows.

37 Southey Street comprises a picturesque and visually discernible attic villa derived from both Queen Anne and Arts and Crafts style influences. Constructed in 1914 by C.H. Pittard to designs by architect W.H. Smith, the residence maintains a dominant presence within the streetscape and is primarily distinguished by its prominent corner siting, gable roof forms and projecting bay window with a steep Queen Anne style candle snuffer roof. While its picturesque asymmetry, combination of complex roof forms clad with terracotta Marseille tiling, tall chimneys with terracotta pots, timber shaped valances and use of face red brick are typical Queen Anne motifs, its overhanging eaves with exposed rafter tails and bold gable treatment along the south elevation are more reminiscent of the simpler Arts and Crafts style that emerged towards the end of the Federation period.

While there are comparable dwellings within the City of Port Phillip, the majority of them are either aligned in the Queen Anne style or in the latter Arts and Crafts style as opposed to embodying a combination of the two. These include:

- **57 Blessington Street, St Kilda (Citation 428).** Constructed in 1910, 57 Blessington Street, St Kilda comprises a two-storey residence designed in the Federation Queen Anne style. It presents a similar materiality to 37 Southey Street through the use of terracotta Marseilles roof tiles, face red brick, roughcast rendered sections, and half-timbered open gables. Key analogous features include its projecting open gables, bay windows, leadlight casement windows and exposed rafter tails. Its defining feature, like 37 Southey Street, is its corner bay window projection with a steep candle snuffer roof. It

lacks the Arts and Crafts style influences exhibited at 37 Southey Street, Elwood, and is consequently of a more grandiose character due to its deliberately complex roof forms and heavy use of embellishment.

- **6 Heaton Avenue, Elwood (Citation 2011).** Designed and built by W. A. J. Townsend in 1921, 6 Heaton Avenue, Elwood comprises an Arts and Crafts attic villa distinguished by its steeply pitched intersecting roof forms. Although its overall composition is less complex than 37 Southey Street, Elwood, it nevertheless shares similarities to its southern elevation in terms of its prominent gable roof form clad in Marseille tiles with a central sunshade supported by timber brackets. Other common features include its materiality, hooded window form, exposed rafter tails and use of timber shingling. It is less embellished and more restrained in appearance compared to 37 Southey Street as a later and more fully realised example of the Arts and Crafts style.
- **11 Hennessy Avenue, Elwood (Citation 2014).** 11 Hennessy Avenue was constructed in 1919 to designs by Carleton & Carleton. It draws similarities to the southern elevation of 37 Southey Street, Elwood in terms of its prominent cross ridged open gable clad with Marseille tile. The use of face red brick is consistent, although in this example, the open gables are clad with timber shingles as opposed to half-timbered roughcast. As with 6 Heaton Avenue, Elwood, it is simpler in form and ornamentation and lacks the discernible Queen Anne antecedents demonstrated at 37 Southey Street, Elwood.

With this, 37 Southey Street, Elwood is unique as a Federation era attic villa that clearly demonstrates the transition between the Queen Anne and Arts and Crafts styles in the mid-1910s period.

Assessment

This place has been assessed in accordance with the processes and guidelines outlined in the Australia ICOMOS *Charter for Places of Cultural Heritage Significance* (The Burra Charter) 2013, using the HERCON criteria.

Recommendations

Retain in the Heritage Overlay as a Significant place within the St Kilda Botanical Gardens and Environs Precinct.

Primary source

Extent Heritage Pty Ltd, *Elwood Heritage Review*, prepared for City of Port Phillip, 2023.

Other studies

Andrew Ward & Associates, *City of Port Phillip Heritage Review*, prepared for City of Port Phillip, 1998.

Other images





Figure 3. Overview of the façade fronting Southey Street.



Figure 4. View of the south elevation fronting Gordon Avenue.



Figure 5. Detailed view of the front porch and main entrance along the south elevation.



Figure 6. Detailed view of the corner bay, candle snuffer roof and chimney.

City of Port Phillip Heritage Review

Place name: Arosa
Other names: House

Citation No: 747



Address: 18 Normandy Road, Elwood

Category: Residential: House

Style: Interwar: Arts and Crafts

Constructed: 1920-1921

Designer: Matthew Sherlock

Amendment: TBA

Comment: Revised citation

Heritage Precinct: Elwood: Glen
Huntly Road & Ormond Road

Heritage Overlay: HO8

Graded as: Significant

Victorian Heritage Register: No

Significance

What is significant?

Arosa, designed and constructed by Matthew Sherlock in 1920-21 at 18 Normandy Road, Elwood is significant. The front brick fence also contributes to the significance of the place.

Alterations and additions are not significant.

How is it significant?

Arosa is of local aesthetic significance to the City of Port Phillip.

Why is it significant?

Arosa is of aesthetic significance as an intact and visually striking Arts and Crafts attic villa. Imposing, eclectic and complex in form, composition and detailing, the substantial residence not only encompasses the key elements associated with the Arts and Crafts style, including gabled projections, overhanging eaves with exposed rafter tails, roughcast walls, tapered verandah pylons, shingling, but is also distinguished by its incorporation of Californian Bungalow elements, including a bold dormer window, a horizontal emphasis stemming from the sweeping arch of the porch, and bold roof panes. The outcome is an exuberantly stylised house, which, in combination with its deep setback, forms a spectacular and audacious villa along the streetscape.

Thematic context

Victoria's framework of historical themes

6. Building towns, cities and the garden state: 6.3 Shaping the suburbs, 6.7 Making homes for Victorians

Port Phillip thematic environmental history

5. Buildings and cultural landscapes: 5.2 Shaping the suburbs (5.2.2 Private development), 5.3 Diverse Housing (5.3.3 Suburban bungalows)

History

Pre-colonial history

For thousands of years preceding European colonialism, the land and environmental surrounds of Elwood was home to the Yalukit Willam clan of the Boonwurrung language group, who occupied territory east of the Werribee River to St Kilda. With lands adjacent to the sea and in proximity to the neighbouring Elwood wetlands, this environment provided Traditional Owners with access to an abundance of resources, including freshwater vegetables, wildfowl and eels from the Elwood wetlands, as well as saltwater shellfish, fish and crustaceans from the reef. Meanwhile, the rocky headland of red, brown and yellow sandstone, now known as Point Ormond, was a prominent feature in the landscape that provided views across Port Phillip Bay (refer to Figure 1). Archaeological records indicate that the area of Point Ormond was an active campsite, with stone axes and bowl awls recovered in the area in the 1970s (Eidelson 2006, 42). A shell midden was also uncovered in close proximity to Point Ormond, suggesting that the Boon Wurrung people in the area cooked shellfish gathered from the reef (Ellender and Weaver 1994). The land on which the precinct would come to be located on is shown in Figure 1 as being lightly wooded, and pre-colonial ecological vegetation classes show the land being a mix of damp sands herb woodlands and grassy woodlands.

While the rich cultural heritage of Traditional Owners in Elwood continues to have a strong presence to this day, their lifestyle and lands were severely impacted following the onset of European colonisation, particularly after the arrival of the Glen Huntly emigrant ship in Port Phillip Bay in 1840 (Finn 1888, 596-597). The ship was carrying 157 Scottish passengers, with fifty suffering from Typhus fever. A makeshift quarantine settlement was immediately established adjacent to the shore on Point Ormond near to the precinct, then known as Little Red Bluff (Moore 1990). As shellfish harvests took place right alongside the station, superintendent Charles La Trobe ordered the expulsion of all Aboriginal camps from the area (Eidelson 2006, 42). La Trobe's actions formed merely one part of a wider colonial process of displacement and dispossession, which would have continued terrible ramifications for generations.



Figure 1. c.1864 illustration of Point Ormond and the coast looking towards St Kilda, representing a pre-developed landscape. Source: Clark, T. c.1864. Red Bluff Brighton (Point Ormond). Watercolour painting, accession no: H299. State Library of Victoria.

Contextual history

Elwood's first land sales took place until 1851, which saw the subdivision of land in both St Kilda and what was then known as 'North Elwood' into generous allotments (Surveyor General's Department 1851). Early developments on these allotments comprised a scattering of freestanding mansion estates, including the extant Elwood House at 30 & 30A Vautier Street, Elwood (c.1850s) (Heritage Alliance 2005, 12; Eidelson 2006). Erected on higher ground towards the Esplanade, these mansions solidified Elwood's southern fringe as a prestigious seaside location. Meanwhile, most of the present-day suburb to the north of Glen Huntly Road comprised a wetland known as the Elwood Swamp (Public Record Office of Victoria 1851). Deemed unsuitable for residential development, the wetland was soon transformed into a site for noxious trades required by European settlement, with a night soil depot established at Barkly Street in 1857, an open slaughter yard established in 1858 and an abattoir building erected in 1861 (see Figure 2) (Way Back When Consulting Historians 2021, 29-30).



Figure 2. 1851 map showing 'North Elwood' allotments south of the wetland, and Glen Huntly and Ormond Roads marked in red. Source: Surveyor General's Department, Port Phillip Branch. 1851. 'Village of Elsternwick.' Map. Citation no. VPRS 8168/P0002. Public Record Office Victoria.

The suburb underwent a period of change during the 1880s land boom, which not only spurred the subdivision of mansion estates and vacant land into suburban housing estates, but also encouraged the closure of noxious trade facilities and subsequent swamp reclamation works via the development of Elwood Canal by 1897 (The Caulfield and Elsternwick Leader 1889, 4). By 1908, the first land sales on what once comprised the wetlands had taken place, paving way for further urban growth. Notably, the construction of Elwood Canal, along with the opening of the Victorian Railways St Kilda to Brighton electric tramway line in 1906 (and the Glen Huntly tramway in 1915), spearheaded another development boom in Elwood during the first two decades of the twentieth century. More intense than its 1880s predecessor, this period saw the subdivision of remaining sparse mansion estates on what was then known as 'North Elwood' (see Figure 2), as well as rapid residential development on the reclaimed wetland and in the area south of Ormond Road (Heritage Alliance 2005, 21-23).

. Following the 1905 completion of reclaiming the wetlands, and the expansion of the tramway networks soon after, land became more available and accessible. By the mid-1920s, the suburb had been transformed into a comfortable middle-class residential estate predominantly characterised by freestanding bungalows and villas. An established tramline on Glen Huntly Road and a fully developed landscape south of this arterial route can be seen in a c.1925 aerial photograph (refer Figure 3).



Figure 3. c.1925 photograph of Elwood looking southeast. Source: Charles Daniel Pratt. c.1925. *Elwood area on Port Phillip Bay*. Photograph. State Library of Victoria.

18 Normandy Road, Elwood

18 Normandy Road, Elwood was constructed in 1920 to designs by architect Matthew Sherlock for E. Shephard, Esquire during a period of rapid development along the streetscape (refer Figure 4, Figure 5 & Figure 6). Ernest Shepard had moved into his new house from his residence in Selwyn Avenue, Elsternwick by 1922 (Sands & McDougall 1922). Shepard lived with his family at the 18 Normandy Road until his death in 1939 (The Age 1939, 1).

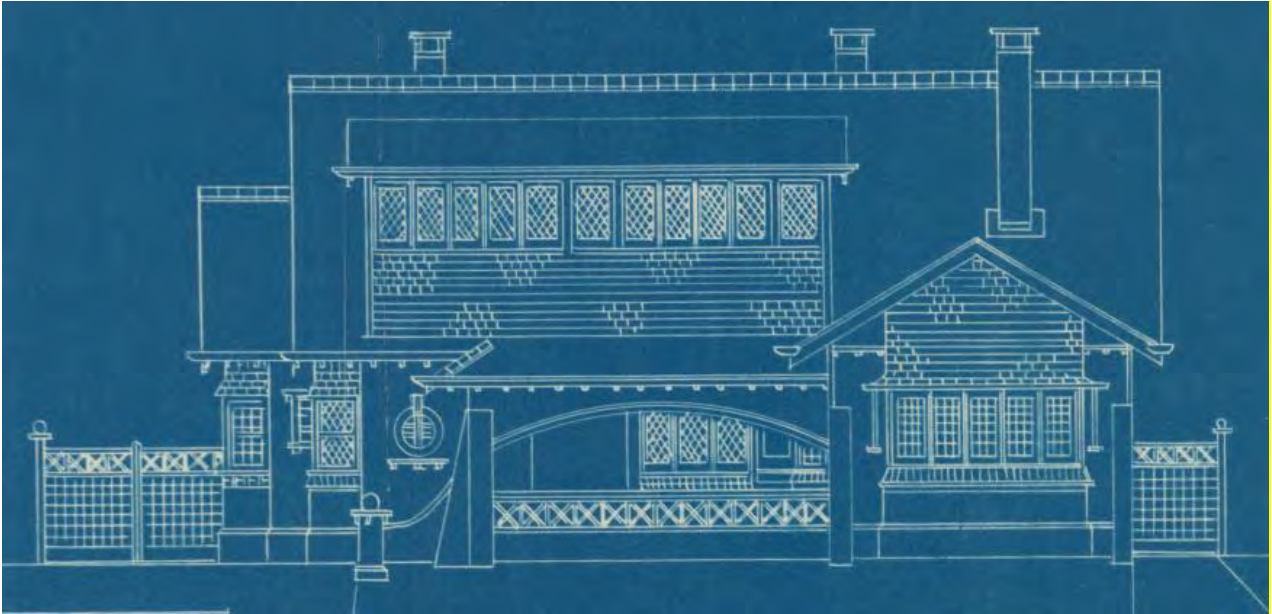


Figure 4. Plan of villa residence for E. Shephard Esq, Normandy Road, St. Kilda (east elevation).
Source: Matthew Sherlock. n.d. Drawings of 18 Normandy Road, Elwood. Council Records. City of Port Phillip.

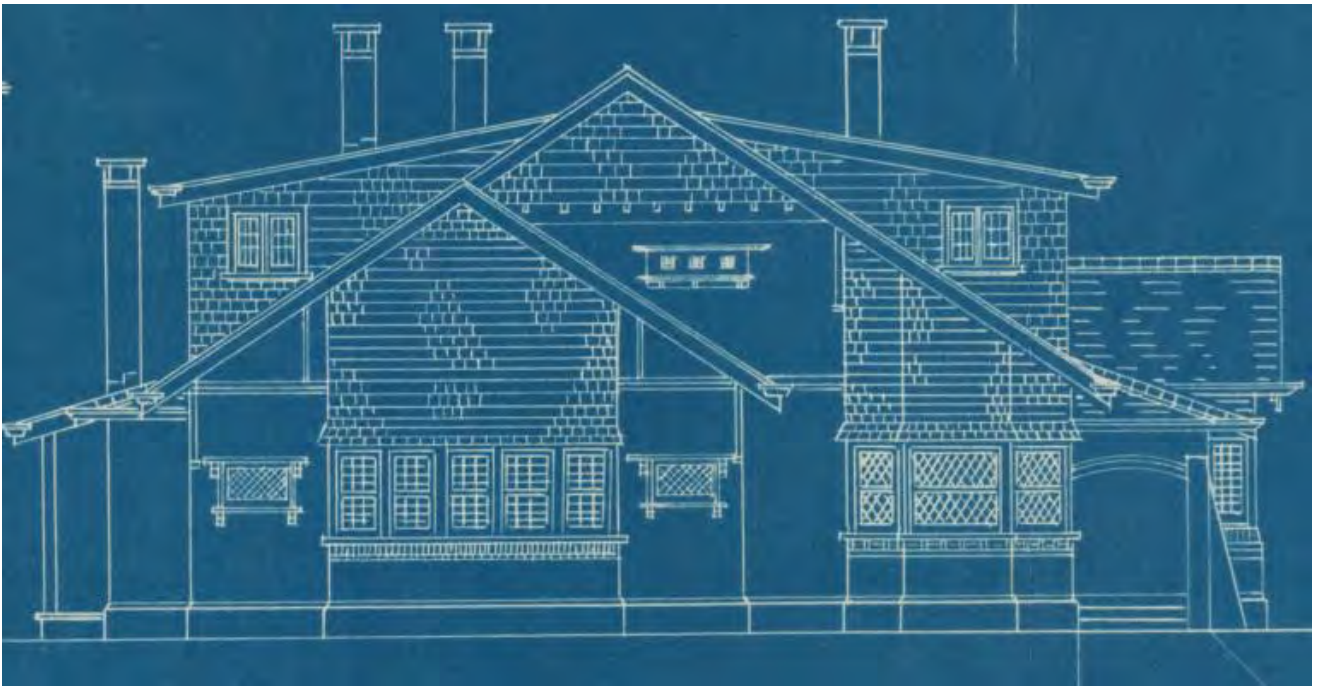


Figure 5. Plan of villa residence for E. Shephard Esq, Normandy Road, St. Kilda (south elevation).
Source: Matthew Sherlock. n.d. Drawings of 18 Normandy Road, Elwood. Council Records. City of Port Phillip.

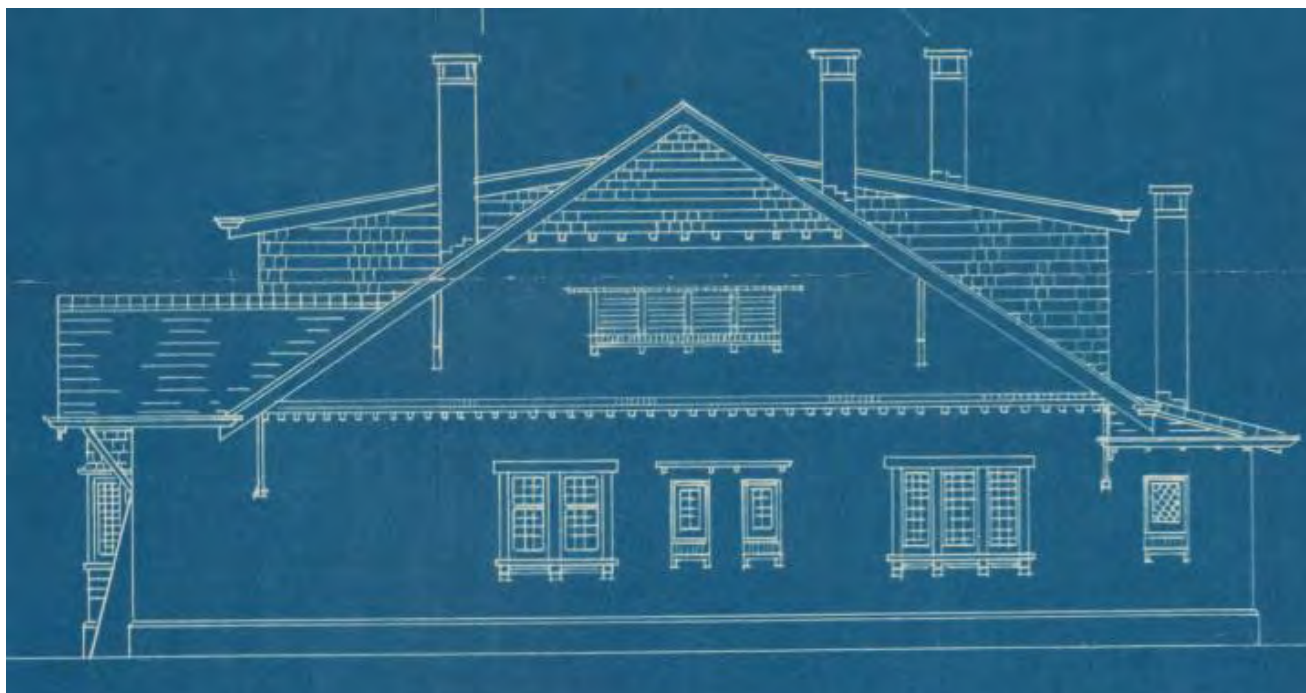


Figure 6. Plan of villa residence for E. Shephard Esq, Normandy Road, St. Kilda (north elevation).
Source: Matthew Sherlock. n.d. Drawings of 18 Normandy Road, Elwood. Council Records. City of Port Phillip.

Following E. Shephard's ownership, 18 Normandy Road, Elwood was occupied by J. Alderley, who commissioned the erection of a sympathetic front fence in 1946 (City of St Kilda Building Register). Ownership of the residence changed hands again several years later, and in 1950, the residence, known as 'Arosa' by this period was put up for auction. It was described in a newspaper advertisement as:

'A most attractive two-storey brick residence... In perfect decorative condition, complete with finest quality fittings and modern amenities throughout... Entrance Hall, spacious lounge with alcove, fireplace, dining room... 2 sunrooms, 6 delightful bedrooms, 2 excellent bathrooms with internal toilet... Wrought Iron gates... concrete paths and drive... Outbuildings comprise 4 garages, laundry, ext. toilet, tool shed, electric-heated hothouse, bush house. Land laid out in lawns and garden, edged with concrete and Lilydale Stone' [limestone]. (The Age 1950, 9)

Arosa was subsequently purchased by L. J. Gough (City of St Kilda Building register no. BO972, 30 October 1950). In 1975, Frank and Maree Shine acquired the property and commissioned the addition of a new double garage three years later (City of St Kilda Building Register). The most recent sale of the property occurred in 2011, after which several additions and alterations were made to the property (see Description). The house remains in use as a residence today.

References

City of St Kilda Building Register nos.: B4205, 25 November 1919; B0141, 14 May 1946; B6934, 23 May 1978.

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The Caulfield and Elsternwick Leader. 1889. 'Elsternwick Improvement Committee.' *The Caulfield and Elsternwick Leader*. 11 May 1889, 4.

The Age. 1939. 'Advertising.' 20 June 1950.

Way Back When Consulting Historians. 2021. 'Thematic Environmental History.' Unpublished report prepared for the City of Port Phillip. PDF file.

Description

18 Normandy Road, Elwood comprises a two-storey Interwar Arts and Crafts bungalow designed by Matthew Sherlock. The masonry residence is finished with an off-white roughcast render, contrasted by face red brick detailing along the fenestrations and glazed terracotta Marseilles roof tiles. The complex gable roof includes projecting open gables and hipped dormer roofs. Two rendered, tapered chimneys with a flat cap extend from the roof. The roof overhangs the residence with exposed rafter tails.

The asymmetrical front façade is visually dominated by several overscaled elements, including an open gable projection, recessed front porch, and hipped dormer window. The open gable projection is located to the east of the front porch and features a projecting rounded bay window with fine leadlight detailing. The casement bay window includes a bullnosed face brick sill and a timber shingle clad hood reflecting the rounded form of the bay. The window is framed between leaning buttresses and timber brackets supporting the overhanging eaves.

The deep front porch is defined by an arched opening with a face brick voussoir and breezeblock balustrade. The main entrance is recessed and located beside a second, sheltered bay window. A circular window edged with face brick is located beside the entrance to the porch.

The gable window presents an unconventional width, running across the length of the front porch. It features a full run bank of casement windows with diagonal leadlight glass. The window bank is detailed with a timber sill with dentils and corresponding square patterning recessed into the brickwork. Projecting timber dentils above the lintel correspond with the repeated placement of the exposed timber rafter tails above.

The south elevation includes a hooded window bays and a bay window set under the interleaved gable roof. The windows include face brick sill detailing. The east elevation consists of the main open gable face finished with timber shingles. Meanwhile, the western elevation presents a mostly symmetrical form consisting of two centred hipped roof projections housing a dormer window. The western elevation opens onto the backyard space which has been relandscaped to include new paved areas, a timber pergola, and swimming pool. A contemporary single storey garage and workshop is located at the rear of the property. It is accessed via the pebblecrete laid driveway extending along the southern boundary.

The residence is set back from the street allowing for a wide front yard. The front yard has been relandscaped but includes a mature tree beside the front fence. The front fence consists of a low brick wall with interspaced piers finished with roughcast render. The wall features a smooth rendered flat cap and repeated moulded square outline pattern. The fence includes a car entrance gate and a main entrance gate.

Known alterations to the property include:

- Front fence added (1946).
- Residence historically presented several colour schemes including off white (late 1990s), dark yellow with dark blue timber elements (until c.2015). Residence was repainted existing off-white colour scheme by 2018.
- Two skylights added to the roof (pre-2009), and four additional skylights subsequently added by 2014.
- Demolition of the earlier shed and garage structure (1978) and construction of a contemporary hipped roof garage (2015).
- Major relandscaping of the front and backyard including new pebblecrete driveway and pathways, paved areas, timber pergola and swimming pool (between 2014 and 2016).
- Front fence altered to widen car entrance gate and to include a new gate opening next to it. The original gate opening at the northern extent of the wall was infilled. The altered sections of the walls and piers are finished in a sympathetic fashion (2015).
- Two sections of the rear west facing roof reclad with a dark, contrasting cladding (2016).
- Minor accretions include new rainwater goods and roof mounted aerals.

While Arosa is not without alterations, including overpainting and relandscaping, the residence is largely intact in terms of form, detailing and materiality. The front brick fence includes majority original fabric with alterations retaining the form and detailing sympathetic to the original design and thereby maintaining the relationship of the fence with the property. 18 Normandy Road is in good condition and of high integrity overall.

Comparative analysis

Following the economic depression of the 1890s, there was concern that inner Melbourne was becoming overcrowded. Terrace houses fell out of favour, as they were perceived as being cold and dark with limited garden space. Instead, detached bungalows and villas became the most popular form of housing from the Federation/Edwardian period onward. Influenced by the Garden Suburb movements from overseas, these freestanding suburban homes reflected the concept of a single family dwelling in a garden setting and became the ideal expression of urban living in the early twentieth century (Davison 2004, 171).

Although most Federation era bungalows were initially designed in the Federation or Queen Anne style and characterised by picturesque asymmetrical forms, terracotta tiled roofs and embellishments including terracotta ridge capping, finials and fretted frieze panels, leadlight windows and red brickwork with flush joints, the freestanding bungalow eventually evolved into the Arts & Crafts and California bungalows of the early 1920s, which were primarily distinguished by their gabled roofs, verandah piers and balustrades, timber joinery and double hung or casement stained glass windows.

Arosa is an eclectic Arts and Crafts attic villa infused with Californian Bungalow influences. Idiosyncratic and complex in its composition and detailing, it not only encompasses the key elements associated with the Arts and Crafts style, including picturesque gabled roof forms, prominent eaves with exposed rafter tails, roughcast walls, tapered verandah pylons and shingled bulkheads, but is also distinguished by its incorporation of the latter Californian Bungalow style, including a horizontal emphasis stemming from the sweeping arch of the porch and its wide stretch of dormer windows on the upper level. While not unlike Sherlock's other interwar designs in the area, which are typically characterised by a profusion of bay windows, porches, balconies and attic dormers, executed in an exuberant eclecticism combining Arts and Crafts, Classical, and Californian Bungalow influences, Yarramundi is set apart by its impressive scale and dramatic, overscaled elements, including the bulky attic storey dormer, enlarged gable struts, and the exaggerated length of the flat arch of the front porch. Comparable works by Sherlock within the municipality include:

- **Yarramundi, 27 Ormond Esplanade, Elwood (Citation 751).** Constructed in 1921, Yarramundi compares well to 18 Normandy Road, Elwood as a substantial Arts and Crafts attic villa characterised by an eclectic composition, exaggerated forms and bold detailing. As with 18 Normandy Road, Elwood, it features a prominent porch defined by a sweeping arch, profusion of exposed rafter tails, shingling, dramatic gabled roof forms and a deep front setback. Unlike the attic storey window and incorporation of California Bungalow style influences at 18 Normandy Road, Elwood however, Yarramundi is instead distinguished by a buttressed porch and Classical derived Doric columned balcony.
- **12 Normandy Road, Elwood (Contributory).** Erected in 1917, 12 Normandy Road, Elwood comprises a freestanding attic bungalow defined by intersecting gabled roof forms. While it is substantially smaller in scale than 18 Normandy Road, Elwood and exhibits a greater deal of Federation style elements such as face red brick, it nevertheless shares with 18 Normandy Road, Elwood similarities in terms of its interleaved, gabled roof panes incorporation of roughcast, dominant central buttressed porch, shingling and bay windows. Of particular note is its analogous California Bungalow derived horizontal emphasis stemming from its composition and sloping roof. It is evidently less distinguished than Yarramundi and pales in comparison to its prominent scale, bold composition and eclectic detailing.
- **13 Normandy Road, Elwood (Contributory).** Constructed in 1918, 13 Normandy Road, Elwood compares as a visually prominent Arts and Crafts style attic villa similarly composed of intersecting gable roof lines. Although it shares with 18 Normandy Road, Elwood a dormer window, deep setback, combination of shingling and roughcast, and bay windows, it is less intact and substantially more restrained than 18 Normandy Road, Elwood in terms of its rather simple composition and absence of bold, exaggerated detailing and elements.

Assessment

This place has been assessed in accordance with the processes and guidelines outlined in the Australia ICOMOS *Charter for Places of Cultural Heritage Significance* (The Burra Charter) 2013, using the HERCON criteria.

Recommendations

Retain in the Heritage Overlay as a Significant place within the Glen Huntly and Ormond Road Precinct. Designate front fence as not exempt under Clause 43.01-4.

Primary source

Extent Heritage Pty Ltd, *Elwood Heritage Review*, prepared for City of Port Phillip, 2023.

Other studies

Andrew Ward & Associates, *City of Port Phillip Heritage Review*, prepared for City of Port Phillip, 1998.

Other images



Figure 7. Overview of façade and front boundary wall.



Figure 8. Oblique view of façade and northern elevation.



Figure 9. Detail view of over scaled front porch and dormer window.



Figure 10. Detail view of projecting open gable, bay window, and chimney east of front porch.

City of Port Phillip Heritage Review

Place name: Former St Bede's Church of England and Vicarage
Other names: St Bede's Anglican Church

Citation No: 361



Address: 30A Ormond Road and 2 and 2A Tiuna Grove, Elwood

Heritage Precinct: Elwood: Glen Huntly & Ormond Road

Category: Religion: Church and School

Heritage Overlay: HO8

Style: Federation/Edwardian: Arts and Crafts

Graded as: Significant

Constructed: 1916 (church)
1917-18 (vicarage)
1918 (schoolroom)
1921 (vestries and guild room)
1929 (organ recess)

Victorian Heritage Register: No

Designer: North and Williams (church)
E. M. Bell (schoolroom)
R. M. King (vicarage)
E. M. Cooper (vestries and guild room)
H.V. Frew (organ recess)

Amendment: TBA

Comment: Revised citation

Significance

What is significant?

The former St Bede's Church of England at 30A Ormond Road, Elwood is significant. The 1916 church building designed by North and Williams is significant. The early additions including the 1918 schoolroom, 1921 vestries and guild room and the 1929 organ recess contribute towards the significance of the place. The former vicarage at 2 Tiuna Grove designed in 1917 by R. M. King also contributes towards the significance of the place.

Except for these contributory early additions, later alterations and additions and the modern apartment building are not significant.

How is it significant?

The former St Bede's Church of England is of local historical and aesthetic significance to the City of Port Phillip.

Why is it significant?

The former St Bede's Church of England is historically significant as the second oldest church building in Elwood. It is associated with a period of residential growth in the suburb, which saw the need for a local church to serve the growing congregation of the Church of England, which until then had worshipped at St Kilda or Elsternwick. The vicarage demonstrates the role of St Bede's as the parish centre for Elwood and the additions to the church illustrate the rapid pace in which the suburb and the congregation were expanding, as well as the close relationship between religion and education during this period. (Criterion A)

The Former St Bede's Church of England is aesthetically significant as an example of a modest Federation Arts and Crafts style church building characterised by its clear expression of structure, function and materials. Although not without alterations, it retains key elements associated with the style including a simple gabled roof form with overhanging eaves and exposed rafter tails, face red brick, ornamental restraint and engaged piers flanking the central entrance. These original Arts and Crafts style features not only combine to form a quaint church building, but also demonstrate the interwar rejection of the Gothic revival that had previously dominated ecclesiastical architecture. (Criterion E)

Thematic context

Victoria's framework of historical themes

8. Building community life: 8.1 Maintaining spiritual life, 8.2 Educating people

Port Phillip thematic environmental history

8.1 Spiritual life, 8.2 Educating (8.2.1 Schools)

History

Pre-colonial history

For thousands of years preceding European colonialism, the land and environmental surrounds of Elwood was home to the Yalukit Willam clan of the Boonwurrung language group, who occupied territory east of the Werribee River to St Kilda. With lands adjacent to the sea and in proximity to the neighbouring Elwood wetlands, this environment provided Traditional Owners with access to an abundance of resources, including freshwater vegetables, wildfowl and eels from the Elwood wetlands, as well as saltwater shellfish, fish and crustaceans from the reef. Meanwhile, the rocky headland of red, brown and yellow sandstone, now known as Point Ormond, was a prominent feature in the landscape that provided views across Port Phillip Bay (refer to Figure 1). Archaeological records indicate that the area of Point Ormond was an active campsite, with stone axes and bowl awls recovered in the area in the 1970s (Eidelson 2006, 42). A shell midden was also uncovered in close proximity to Point Ormond, suggesting that the Boon Wurrung people in the area cooked shellfish gathered from the reef (Ellender and Weaver 1994). The land on which the precinct would come to be located on is shown in Figure 1 as being lightly wooded, and pre-colonial ecological vegetation classes show the land being a mix of damp sands herb woodlands and grassy woodlands.

While the rich cultural heritage of Traditional Owners in Elwood continues to have a strong presence to this day, their lifestyle and lands were severely impacted following the onset of European colonisation, particularly after the arrival of the Glen Huntly emigrant ship in Port Phillip Bay in 1840 (Finn 1888, 596-



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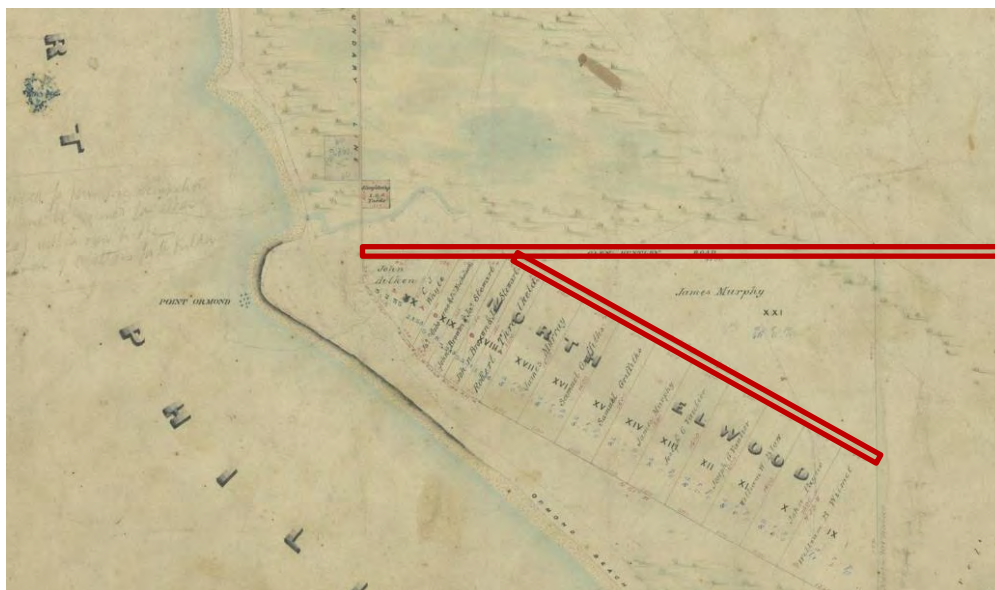


Figure 2. 1851 map showing 'North Elwood' allotments south of the wetland, and Glen Huntly and Ormond Roads marked in red. Source: Surveyor General's Department, Port Phillip Branch. 1851. 'Village of Elsternwick.' Map. Citation no. VPRS 8168/P0002. Public Record Office Victoria.

The suburb underwent a period of change during the 1880s land boom, which not only spurred the subdivision of mansion estates and vacant land into suburban housing estates, but also encouraged the closure of noxious trade facilities and subsequent swamp reclamation works via the development of the Elwood Canal by 1897 (The Caulfield and Elsternwick Leader 1889, 4). By 1908, the first land sales on what once comprised the wetlands had taken place, paving way for further urban growth. Notably, the construction of Elwood Canal, along with the opening of the Victorian Railways St Kilda to Brighton electric tramway line in 1906 (and the Glen Huntly tramway in 1915), spearheaded another development boom in Elwood during the first two decades of the twentieth century. More intense than its 1880s predecessor, this period saw the subdivision of remaining sparse mansion estates in Elwood, as well as rapid residential development on the reclaimed wetland bounded by present day Marine Parade, Dickens Street, Mitford Street and Shelley Street (Heritage Alliance 2005, 21-23). Notably, increased residential settlement across the wider suburb during this period prompted the expansion of associated infrastructure, including civic, religious and educational buildings.

During the nineteenth and early twentieth centuries, the Church of England (now known as the Anglican Church) was the largest denomination in Victoria, and many important figures, including politicians and government officials, were adherents (Way Back When Consulting Historians 2021, 158). In the City of Port Phillip, the foundation Church of England churches included Christ Church in St Kilda, St Luke's in South Melbourne and Holy Trinity in Port Melbourne (Way Back When Consulting Historians 2021, 158). Continued growth throughout the early twentieth century ultimately saw the creation of the parish of St Bede's in 1916 to serve the rapidly growing suburb of Elwood (Way Back When Consulting Historians 2021, 159). Formed from the existing aforementioned parishes of St Clements and Holy Trinity, the first services were held on 16 July 1916 at a parishioner's residence at 30 Vautier Street, Elwood (St Kilda Historical Society 2003; The Argus 1916, 8).

St Bede's Church of England

The first Anglican church service in St Kilda was conducted on Sunday 23 December 1849 by Henry Jennings at his home in Fitzroy Street. A Sunday School class was held on the same day. A land grant of just over one acre on Acland Street was approved in April 1850, and it was here, on a site known as Church Square, that the first stage of Christ Church was erected between 1853 and 1857. Christ Church was the centre of a parish covering most of St Kilda, Balaclava, Ripponlea and Elwood. As the area grew, the parish

was soon subdivided with the establishment of All Saints in Chapel Street (1861), and Holy Trinity in Brighton Road (1870-1871). In 1916, the parish of St Bede's was created from the parishes of Holy Trinity, St Kilda and St Clements, Elsternwick, to serve the growing suburb of Elwood (Way Back When Consulting Historians 2021, 159).

Constructed in 1916 by James Brown to designs by architects North and Williams, the St Bede's Church of England was built to serve the newly created Parish encompassing the rapidly growing suburb of Elwood (The Argus 1916, 8). The foundation stone was laid on 16 July 1916 by Archbishop Clarke, and construction subsequently took place in the second half of 1916 (Cooper 1931, 342-3; The Argus 1916, 20). It was completed on 3 October 1916 at a cost of £925 and comprised a modest red brick gabled building (refer Figure 3). It was the second church established in the suburb, following the opening of the Presbyterian Church in Scott Street, in 1912. Modest in scale, the building was initially planned to be the Parish hall with the intention of building a larger church on adjoining land at the corner of Tiuna Grove – however, this never eventuated (St Kilda Historical Society 2003). Instead, a series of additions were made to the building in the decade after it opened to cater for the growing congregation.



Figure 3. c.1918 overview of St Bede's Church of England shortly after construction. Source: Unknown. c. 1918. Photograph, St Bede's Church, Elwood, c. 1918. Digitised photograph. Victorian Collections. <https://victoriancollections.net.au/items/603efb1a092fbb37f3e9702>.

The vicarage, a single storey bungalow at number 2 Tiuna Grove was built by builder A. J. Bell at the end of 1917 into early 1918 to designs by R. M. King. Bell also built the schoolroom addition at the rear of the church early in 1918 at an estimated cost of £370, including lavatories along Byrne Avenue (refer Figure 4).

In 1921, Reverend J. J. McCall became the minister and several additions to the building took place under his guidance, including the addition of vestries and a guild room to the western elevation of the schoolroom in the latter half of that year. E. M. Cooper was the contractor for these alterations (City of St Kilda Building Register). By that time, the front porch had been added to the church. A pedal organ was also donated to the church in 1923 from J. W. T. Beveridge, and further renovations to the vicarage took place in 1927 (The Argus 1923, 12; The Argus 1927, 24).

The last major change to take place during the interwar period occurred in 1929 under architect H. V. Frew. These works included the removal of original vestries within the main body of the church, and the addition of an organ recess along with a new front to the building on Byrne Avenue, matching the detailing of the main porch (City of Port Phillip 2021).

As is the case with other church buildings, the church/school and the vicarage were used for fundraising and local community events throughout the twentieth century (The Argus 1923, 33; The Age 1929, 7; Table Talk 1934, 42).

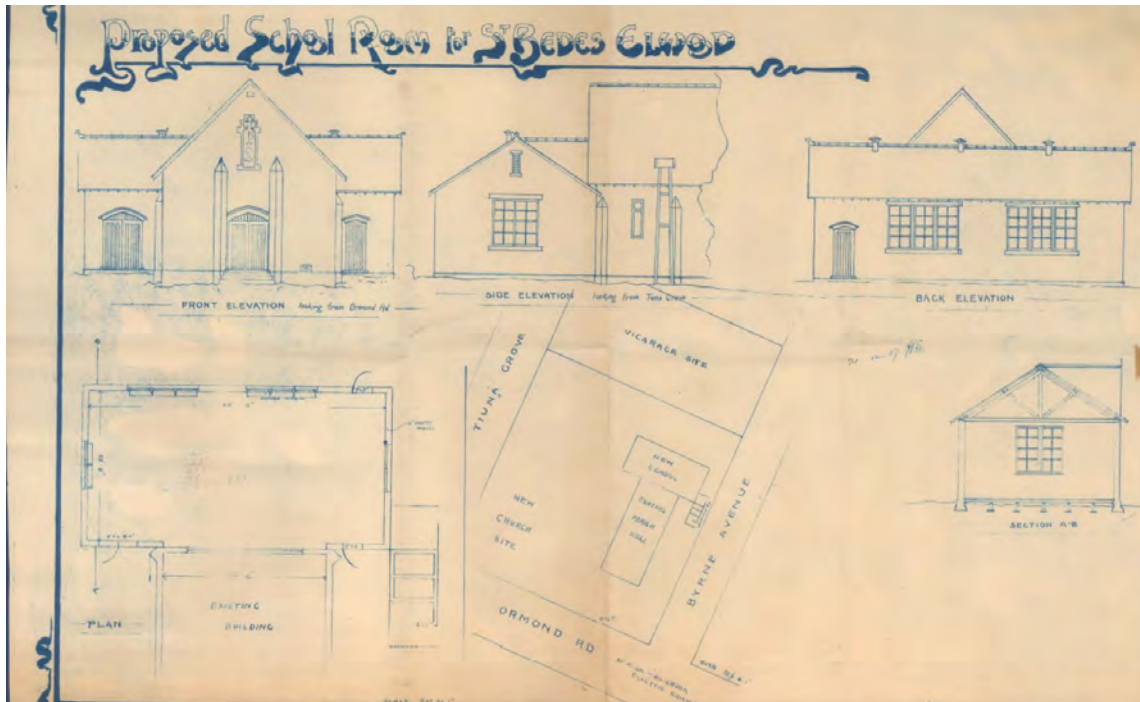


Figure 4. Proposed school room for St Bede's, Elwood. Source: A. J. Bell. n.d. Drawings of 30A Ormond Road, Elwood. Council Records. City of Port Phillip.

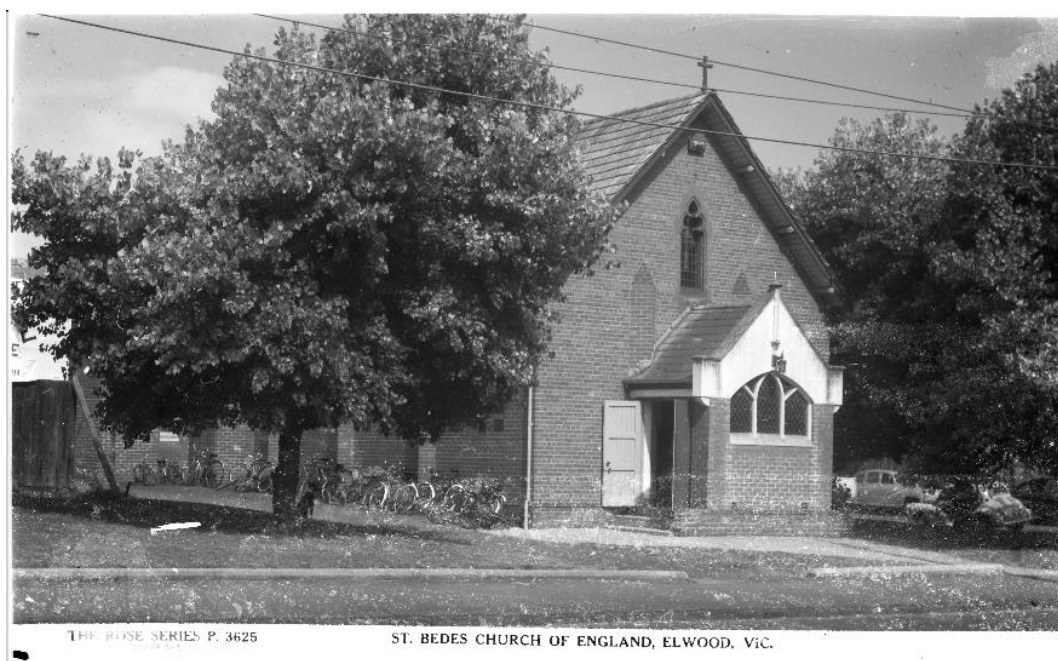


Figure 5. c.1920-1954 overview of St Bede's Church of England showing front porch addition. Source: Rose Stereograph Co. c.1920-1954. ST. BEDES CHURCH OF ENGLAND, ELWOOD, VIC. Digitised negative. State Library of Victoria. <http://handle.slv.vic.gov.au/10381/59809>.

St Bede's Church of England continued to be used as a place of worship into the late twentieth century and reunified with the Holy Trinity in 1995 as the parish of Balaclava and Elwood (St Kilda Historical Society 2003). Both the church building and vicarage were sold in the early twenty-first century, and the church and rooms have since been converted into residences.

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Description

The former St Bede's Anglican Church is a Federation Arts and Crafts style church on a corner allotment fronting Ormond Road to the north and Byrne Avenue to the west. The building presents a modest massing with an open gable form. The structure consists of a face red brick construction laid with a stretcher bond, contrasted with non-original gable sections and fenestration elements finished with a smooth off-white render. The gable roof is clad with grey concrete roof tiles with a Cordova profile. Three equally spaced squat vents with an extruded cap extend along the pitch of the west roof face. The roof extends over the main structure with exposed timber rafter tails.

The façade addresses Ormond Road and is defined by its open gable form and a projecting front porch containing the narthex. The narthex comprises an open gable front with a render finish, square roof tiles and a central round headed window with simple tracery and leadlight glass in a diagonal pattern. The main front gable above the porch contains a centred stained-glass lancet window with a cusped arch, flanked with engaged angled piers.

The western elevation of the main church features timber leadlight windows with a fixed fanlight and moulded terracotta window heads set between engaged piers. The western elevation also contains a projecting gable extension (formerly an organ recess). This extension has a gable roof with the same fenestration façade detailing as the main front porch.

The former schoolroom at the rear of the church has a gable roof and windows with a pointed head and emphasised flush brick window heads mirroring its form. Wide buttresses finished with a roughcast render

extend along the southern elevation. More recent extensions with corrugated sheet metal clad skillion roofs are located to the eastern and western elevations of the church and connect to the rear of the church with the gable extension along the western elevation.

The church is set back from the street allowing for an open yard mainly fronting Ormond Road. The main street front boundary along Ormond Road and Bryne Avenue is demarcated with a varnished timber paling fence and tall hedge. The church landscape includes two mature deciduous trees. The church building has been converted for residential use with four apartments which involved major alterations to the internal spaces. However, key features consisting of the exposed timber ceilings and timber trusses remain in-situ.

At the rear of the church facing Tiuna Grove is the former vicarage, which is a single-storey Federation Arts and Crafts style bungalow. It has a double fronted façade and is distinguished by its prominent gable and hipped roof forms, broad, overhanging eaves with projecting rafter tails, projecting open gable with bay window, and front porch consisting of paired timber posts on masonry plinths. The roof is clad with terracotta Marseilles tiles and ridge capping and features two tall, face brick chimneys.

Known alterations to the former church and vicarage include:

- Internal alterations to the church, adjoining school room, guild room and ante room to accommodate four new residences.
- Single storey skillion roof extensions added to the eastern and western elevation.
- Ten skylights added to the church roof (six along the main church roof and four on the rear extension roof).
- Wide roughcast render buttresses added to southern elevation of the schoolroom extension.
- Windows along the southern elevation of schoolroom extension replaced.
- Minor accretions include new roof flashing and new rainwater goods.
- Removal of original crimped wire boundary fence and wrought iron gates.
- Relandscaping of the church grounds including addition of timber decking, new garden beds, timber paling fence and rear brick boundary wall.
- Relandscaping of the vicarage to include a rear parking area.
- Contemporary apartment block developed on the site to the east of the church building (c.2007).
- Original brick front fence to the vicarage removed and replaced with a timber panel fence (after 2009).

St Bede's Church is in good condition. Although it has undergone a series of alterations and additions, they largely respect the overall form, materials and scale of the original church building. It is of moderate integrity overall.

Comparative analysis

The Federation Arts and Crafts style in Australia drew on precedents established by nineteenth century Arts and Crafts movement in England (and in the United States) as demonstrated through the work of important architects such as C.F.A. Voysey (City of Port Phillip 2022). Distinguished by an emphasis on craftsmanship, utility, structural 'authenticity' and a truth to materials, this architectural style typically made use of traditional (usually English) vernacular motifs to achieve an 'unassuming, homely, well-established character' (Apperly et al, 1989, 140). In Australia, Arts and Crafts style buildings are typically characterised by 'earthy' natural colours, textures and materials such as face brick, roughcast render, timber shingles and stonework. The roof is a dominant element, usually steeply pitched with prominent and often bracketed eaves. Tall tapering chimneys battered wall buttresses and bay windows are also characteristic elements of the style (City of Port Phillip 2022).

The St Bede's Church of England comprises a modest example of a restrained Arts and Crafts style church hall constructed towards the end of the Federation period. Although later alterations have somewhat obscured its Arts & Crafts style, it retains several key elements characteristic of the style, including a bold pitched roof form with overhanging eaves and exposed rafter tails, face red brickwork and ornamental restraint. Architects North & Williams, who designed St Bede's, also designed several other Victorian churches and chapels. Louis Williams of the partnership of North & Williams has been credited with designing over one hundred churches during his career (Arnold 2018, 31). By the late nineteenth century, due to English influence, the Arts & Crafts style began to impact ecclesiastical building design and allowed a new freedom of expression and inventiveness to occur, which Williams was a leading proponent of (Goad & Willis 2012, 143). Comparable Arts & Crafts style church buildings by North & Williams include:

- **St George's Anglican Church, 270 Rossiter Road, Koo Wee Rup (Cardinia Shire HO200).** The modest Arts & Crafts style church, at 270 Rossiter Road, was constructed in 1917 and is incredibly similar in design to St Bede's. Notable similarities include an open gable form, bold pitched roof with overhanging eaves and exposed rafter tails, face red brick, a centered lancet window flanked by angled piers, restrained use of ornamentation and a prominent corner siting. St George's includes a front entrance which in the case of St Bede's has been lost due to the addition of a front porch. Although St George's does have an adjoining building to its rear, it is not a school building and appears to be a contemporary addition.

As a more modest church building originally intended for use as a hall, the St Bede's Church of England is distinct from most ecclesiastical buildings within the municipality. Within the City of Port Phillip, the building draws most similarities to:

- **Church Christ Parish Hall, 14 Acland Street, St Kilda (Significant).** Constructed in 1914 to designs by Richardson & Hall, the Church Christ Parish Hall is a fine Arts and Crafts style hall occupying a corner allotment. Although slightly larger in scale than the St Bede's Church of England building, it shares several distinguishing features including a simple gable form, bold pitched roof with overhanging eaves and exposed rafter tails, face red brick, engaged piers and restrained use of ornamentation. Compared to St Bede's Church of England, the Church Christ Parish Hall is a more intact and discernible example of the Arts and Crafts idiom due to its roughcast gable end with half-timbering.
- **St Columba's Catholic Church Complex, 22-26 Glen Huntly Road, Elwood (Citation 1988 & 334).** The neighbouring St Columba's Church Complex compares as a religious complex developed to meet the needs of a growing congregation. The complex comprises school and church buildings developed in close relation to one another. Although constructed in the Romanesque style and much larger in scale than St Bede's, it is still representative of the importance placed in education by religious groups at the time.
- **Albert Park Baptist Church, 115 Kerferd Road, Albert Park (Contributory).** The Baptist church, designed in the Tudor Revival style, is another example of a modest church and school complex. Key comparable architectural features include a gable form, bold pitched roof, face red brick, narrow windows and restrained use of ornamentation. The development of the Baptist church is similar to that of St Bede's with the construction of the church being closely followed by the construction of a school to its rear.

As with the above examples, the St Bede's Church of England building demonstrates an adherence to Arts and Crafts influences in terms of its clear expression of structure, function and materials. Although not the most architecturally distinguished example, it nevertheless exemplifies the interwar turn away from the neo-Gothic that had formerly dominated ecclesiastical architecture.

Assessment

This place has been assessed in accordance with the processes and guidelines outlined in the Australia ICOMOS *Charter for Places of Cultural Heritage Significance* (The Burra Charter) 2013, using the HERCON criteria.

Recommendations

Retain in the Heritage Overlay as a Significant place within the Glen Huntly and Ormond Road Precinct.

Primary source

Extent Heritage Pty Ltd, *Elwood Heritage Review*, prepared for City of Port Phillip, 2023.

Other studies

Andrew Ward & Associates, *City of Port Phillip Heritage Review*, prepared for City of Port Phillip, 1998.

Other images



Figure 6. South-east facing overview of site from Ormond Road.



Figure 7. South-east facing detail view of main church building and 1929 organ recess extension.



Figure 8. Detail view of 1929 organ recess extension.



Figure 9. Rear view of 1916 schoolroom extension.



Figure 10. Rear view of 1916 schoolroom extension.

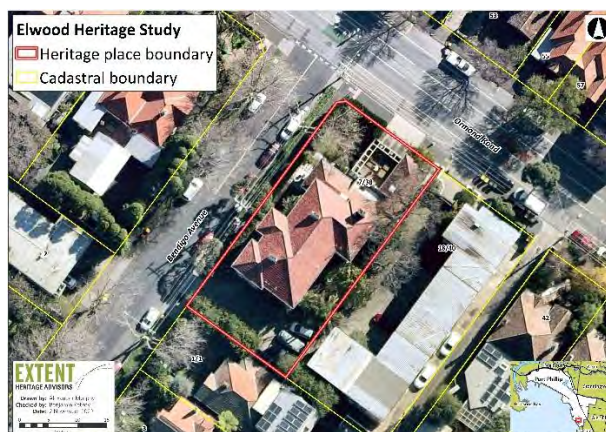


Figure 11. The 1917-18 vicarage at 2 Tiuna Grove, Elwood.

City of Port Phillip Heritage Review

Place name: Flats
Other names: -

Citation No: 2076



Address: 38 Ormond Road, Elwood

Heritage Precinct: Glen Huntly Road
& Ormond Road

Category: Residential: Flats

Heritage Overlay: HO8

Style: Interwar: International Style

Graded as: Significant

Constructed: 1938-39

Victorian Heritage Register: No

Designer: R. M. & M. H. King

Amendment: TBA

Comment: Revised citation

Significance

What is significant?

The flat building designed by R. M. and M. H. King at 38 Ormond Road, Elwood and constructed in 1938-39 is significant. The original brick front and side boundary fence also contributes to the significance of the place.

Alterations and additions are not significant.

How is it significant?

38 Ormond Road, Elwood is of local historical and aesthetic significance to the City of Port Phillip.

Why is it significant?

38 Ormond Road is of historical significance as an early twentieth century single residence that is also associated with a key phase of apartment development in the interwar period within the municipality. The conversion of the single-storey house into a three-storey flat structure demonstrates the growing popularity of flat development during the interwar period. (Criterion A)

38 Ormond Road, Elwood is of aesthetic significance as a highly intact and well-resolved example of a transitional International Style flat building with Moderne features. Visually imposing in scale, the three-storey flat building is distinguished by the stepped cubic forms, central vertical stairwell, ornamental restraint, metal-framed corner windows, clinker brickwork detailing and low-pitched hipped roofs with wide, overhanging eaves. Combined, these features not only evoke the starkness of the late 1930s

International Style, but also recalls the sleek character of its Moderne predecessor of the early 1930s. (Criterion E)

Thematic context

Victoria's framework of historical themes

6. Building towns, cities and the garden state: 6.3 Shaping the suburbs, 6.7 Making homes for Victorians

Port Phillip thematic environmental history

5. Buildings and cultural landscapes: 5.2 Shaping the suburbs (5.2.2 Private development), 5.3 Diverse Housing (5.3.5 Higher-density housing – Flats and high-rises)

History

Pre-colonial history

For thousands of years preceding European colonialism, the land and environmental surrounds of Elwood was home to the Yalukit Willam clan of the Boonwurrung language group, who occupied territory east of the Werribee River to St Kilda. With lands adjacent to the sea and in proximity to the neighbouring Elwood wetlands, this environment provided Traditional Owners with access to an abundance of resources, including freshwater vegetables, wildfowl and eels from the Elwood wetlands, as well as saltwater shellfish, fish and crustaceans from the reef. Meanwhile, the rocky headland of red, brown and yellow sandstone, now known as Point Ormond, was a prominent feature in the landscape that provided views across Port Phillip Bay (refer to Figure 1). Archaeological records indicate that the area of Point Ormond was an active campsite, with stone axes and bowl awls recovered in the area in the 1970s (Eidelson 2006, 42). A shell midden was also uncovered in close proximity to Point Ormond, suggesting that the Boon Wurrung people in the area cooked shellfish gathered from the reef (Ellender and Weaver 1994). The land on which the precinct would come to be located on is shown in Figure 1 as being lightly wooded, and pre-colonial ecological vegetation classes show the land being a mix of damp sands herb woodlands and grassy woodlands.

While the rich cultural heritage of Traditional Owners in Elwood continues to have a strong presence to this day, their lifestyle and lands were severely impacted following the onset of European colonisation, particularly after the arrival of the Glen Huntly emigrant ship in Port Phillip Bay in 1840 (Finn 1888, 596-597). The ship was carrying 157 Scottish passengers, with fifty suffering from Typhus fever. A makeshift quarantine settlement was immediately established adjacent to the shore on Point Ormond near to the precinct, then known as Little Red Bluff (Moore 1990). As shellfish harvests took place right alongside the station, superintendent Charles La Trobe ordered the expulsion of all Aboriginal camps from the area (Eidelson 2006, 42). La Trobe's actions formed merely one part of a wider colonial process of displacement and dispossession, which would have continued terrible ramifications for generations.



Figure 1. c.1864 illustration of Point Ormond and the coast looking towards St Kilda, representing a pre-developed landscape. Source: Clark, T. c.1864. Red Bluff Brighton (Point Ormond). Watercolour painting, accession no: H299. State Library of Victoria.

Contextual history

Elwood's first land sales took place until 1851, which saw the subdivision of land in both St Kilda and what was then known as 'North Elwood' into generous allotments (Surveyor General's Department 1851). Early developments on these allotments comprised a scattering of freestanding mansion estates, including the extant Elwood House at 30 & 30A Vautier Street, Elwood (c.1850s) (Heritage Alliance 2005, 12; Eidelson 2006). Erected on higher ground towards the Esplanade, these mansions solidified Elwood's southern fringe as a prestigious seaside location. Meanwhile, most of the present day suburb to the north of Glen Huntly Road comprised a wetland known as the Elwood Swamp (Public Record Office of Victoria 1851). Deemed unsuitable for residential development, the wetland was soon transformed into a site for noxious trades required by European settlement, with a night soil depot established at Barkly Street in 1857, an open slaughter yard established in 1858 and an abattoir building erected in 1861 (see Figure 2) (Way Back When Consulting Historians 2021, 29-30).

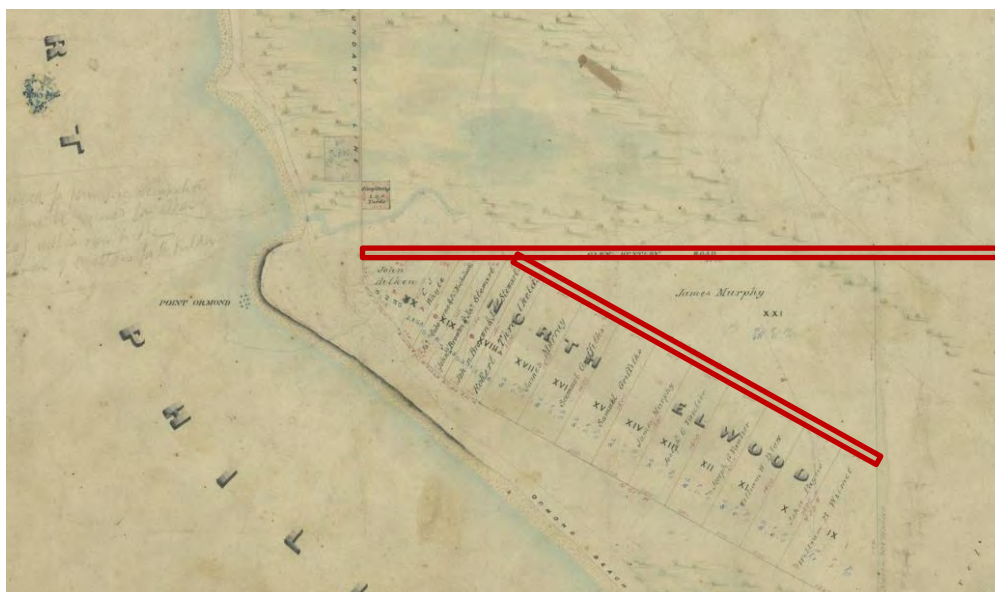


Figure 2. 1851 map showing 'North Elwood' allotments south of the wetland, and Glen Huntly and Ormond Roads marked in red. Source: Surveyor General's Department, Port Phillip Branch. 1851. 'Village of Elsterwick.' Map. Citation no. VPRS 8168/P0002. Public Record Office Victoria.

The suburb underwent a period of change during the 1880s land boom, which not only spurred the subdivision of mansion estates and vacant land into suburban housing estates, but also encouraged the closure of noxious trade facilities and subsequent swamp reclamation works via the development of Elwood Canal by 1897 (The Caulfield and Elsternwick Leader 1889, 4). By 1908, the first land sales on what once comprised the wetlands had taken place, paving way for further urban growth. Notably, the construction of Elwood Canal, along with the opening of the Victorian Railways St Kilda to Brighton electric tramway line in 1906 (and the Glen Huntly tramway in 1915), spearheaded another development boom in Elwood during the first two decades of the twentieth century. More intense than its 1880s predecessor, this period saw the subdivision of remaining sparse mansion estates on what was then known as 'North Elwood' (see Figure 2), as well as rapid residential development on the reclaimed wetland and in the area south of Ormond Road (Heritage Alliance 2005, 21-23). Following the 1905 completion of reclaiming the wetlands, and the expansion of the tramway networks soon after, more land became available and accessible in Elwood. While newly erected building stock in the early twentieth century in Elwood predominantly comprised of freestanding middle-class bungalows, the area was also a popular location for residential flats. Initially appearing in Melbourne in 1906, flats slowly spread to the suburbs and appeared close to transport routes, particularly along or within walking distance of tram routes to facilitate easy travel to the city (Way Back When Consulting Historians 2021, 95). With its proximity to the beach and parklands, good public transport networks and seaside character, both the suburbs of Elwood and St Kilda became popular destinations for this type of housing stock. By the mid-1920s, Elwood had been transformed into a comfortable middle-class residential estate. An established tramline on Glen Huntly Road and a fully developed landscape south of this arterial route can be seen in a c.1925 aerial photograph (refer Figure 3). By 1935, despite a slowing of development due to the Great Depression, the St Kilda municipality contained over 2,800 flats in over 500 blocks by 1935 (Way Back When Consulting Historians 2021, 96). A further 2,000 flats were added by 1940; however, the onset of World War II slowed development. Nonetheless, by 1947 St Kilda contained 5,500 purpose-built flats, a quarter of all flats in Melbourne (Way Back When Consulting Historians 2021, 96).



Figure 3. c.1925 photograph of Elwood looking southeast. Source: Charles Daniel Pratt. c.1925. Elwood area on Port Phillip Bay. Photograph. State Library of Victoria.

38 Ormond Road, Elwood

The house at 38 Ormond Road, was constructed sometime between 1910-1915 (Sands & McDougall 1910-15). By 1923, physician Dr S. G. L. Catchlove, was the owner and oversaw brick additions to the property (City of St Kilda Building Register). Archival records do not disclose the exact nature of the brick additions, however this was potentially when the small waiting room with a separate entrance on the southeast side was added. In 1938, Dr Catchlove engaged R. M. & M. H. King architects to design major alteration and additions to the dwelling and these included (City of St Kilda Building Register) (refer Figure 4 & Figure 5):

- A projecting addition to the front of the house containing a surgery and nurse's office with a new garage with a terrace above.
- An additional bedroom to the northwest corner of the existing residence.
- Five, two-bedroom flats added across three levels, above and behind the residence, accessed from a new entrance and stairwell facing Bendigo Avenue.

In 1939, minor alterations were made to the rear flat on the top floor, also by the same architects (City of St Kilda Building Register Cards).

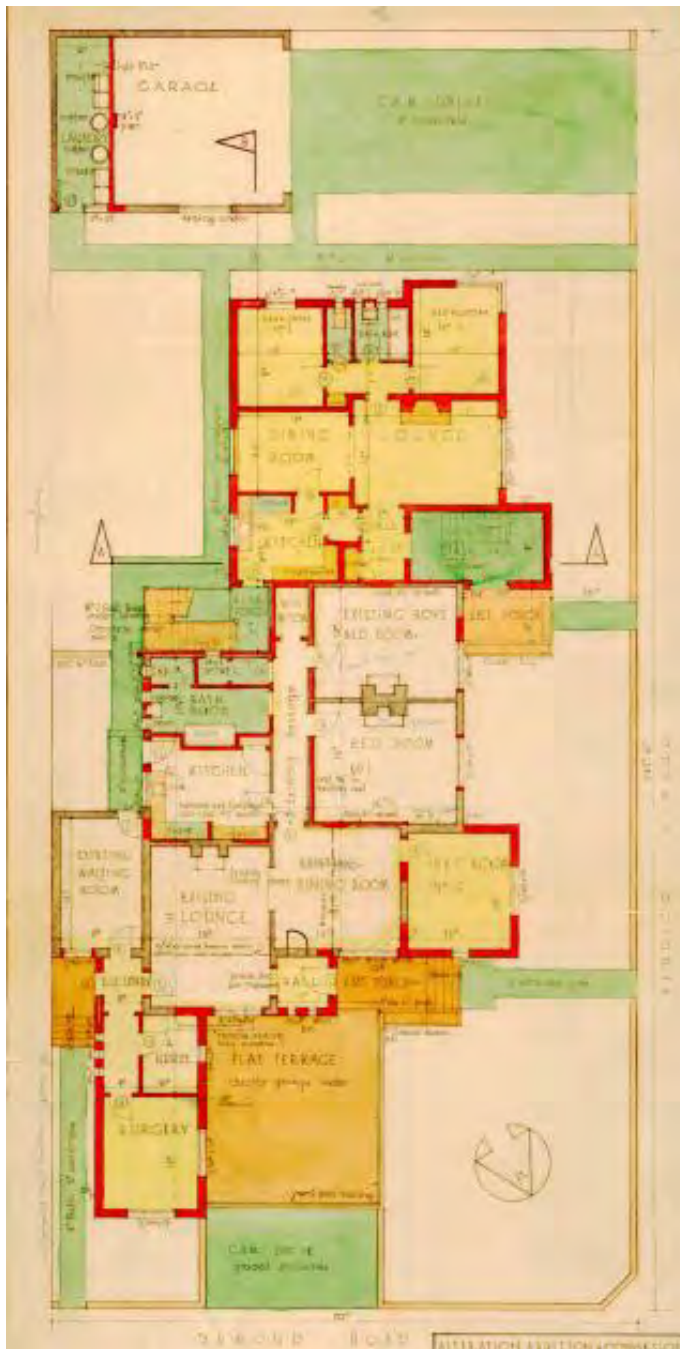


Figure 4. Alteration, addition & conversion to block of 3 storey flats, corner of Ormond Road & Bendigo Avenue, for Mr S. G. L. Catchlove (ground floor plan). Source: Architects R. M. & M. H. King. 1938. Drawings of 38 Ormond Road, Elwood. Council Records. City of Port Phillip.

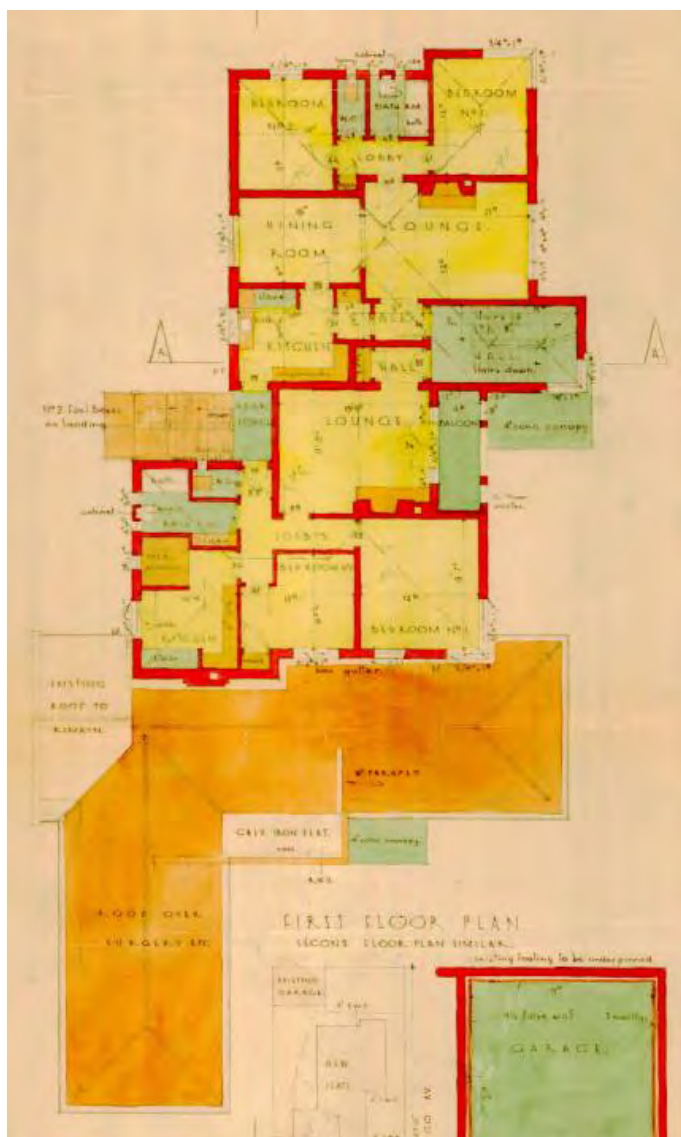


Figure 5. Alteration, addition & conversion to block of 3 storey flats, corner of Ormond Road & Bendigo Avenue, for Mr S. G. L. Catchlove (first & second floor plan). Source: Architects R. M. & M. H. King. 1938. Drawings of 38 Ormond Road, Elwood. Council Records. City of Port Phillip.

The flats reflected the Moderne and emerging International Style architectural trend of the late 1930s. Shortly after completion, it was described as follows:

'Although contemporary ideas in architectural design have been adopted, particularly in regard to the placing of windows upon the corners of the building – formerly considered a heinous crime in design and still frowned upon by purists – the other features generally conform to more universally accepted standards, that is to say, the flat roof idea which one would have expected to accompany the corner windows has been eschewed and the pitched tile roof which appears to have many advantages in our Australian climate, with large eaves to throw a cool shadow has been adopted. The general appearance, with its low fence and neat garden, is clean, cheerful and attractive.' (Building 1940, 44)

Following the completion of the flats, Dr Catchlove continued to use the attached one-storey building fronting Ormond Road as a clinic, while the flats were leased out to a variety of tenants (Sands and McDougall 1945). The clinic was in use until at least 1950, at which point it was under the operation of Dr. Cameron McDougall Forster (The Argus 1947, 15)(Sands & McDougall 1950). By 1953 however, it was in use as the local wine and spirit merchant (The Australian Jewish Herald 1953, 4).

Today, the larger two-storey flat building remains in use as private residential flats. Meanwhile, the attached one-storey building has not been retained for commercial purposes and appears to be in use as a private residential property.



Figure 6. View of western elevation shortly after completion in 1940. Source: *Building*. 1944. 'Melbourne Flats.' 24 April 1940.



Figure 7. Detail view of attached one-storey wing, formerly in use as a doctor's clinic, shortly after completion in 1940. Source: *Building*. 1944. 'Melbourne Flats.' 24 April 1940.

R.M. and M.H. King

The family business of R.M. and M.H. King (Ray and Maurice) were responsible for several key Moderne buildings across Melbourne. While they also practiced in a number of the prevailing interwar styles, including English Revival, Mediterranean and bungalows, they later fully embraced the Moderne style, with designs chiefly characterised by a horizontal emphasis, dominant central chimneys, streamlined forms, rounded corners, low hipped roofs and steel-framed windows (Grow 2004, 8-9). As demonstrated at 38 Ormond Road, Elwood, their later designs also incorporated features from the emerging International Style, such as corner windows, rectilinear forms and clean lines.

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Description

The flats at 38 Ormond Road comprise a three-storey interwar era apartment block designed in the International/Functionalist style. The apartment is located on a corner allotment fronting Ormond Road to the north and Bendigo Avenue to the west. The masonry structure is finished with a smooth off-white render, juxtaposed with face clinker brick reveals and window sills. The hipped roof is clad with terracotta Marseilles tiles and features hipped roof projections along its western and eastern elevations. The roof is characterised by a wide overhang over the main structure with timber lined eaves and a flush parapet concealing the gutters. Three simple, rendered chimneys with expressed banding extends from the roof.

The façade addresses Bendigo Avenue and comprises an asymmetrical layout visually demarcated into bays featuring hipped roof projections and corner windows. The main entrance along the front façade is centrally situated and leads to a projecting bay housing the stairwell. The stairwell bay includes a continuous corner window with a thin clinker brick reveal at the base. Enclosed balconies left of the stairwell bay feature metal balustrades and a pair of square posts with face thin brick cladding.

The casement windows, along both the stairwell and remainder of the structure, consist of steel framed multi-paned windows with a face clinker brick sill. The windows are of varying sizes, panes and frame forms and include narrow slit windows along the northern elevation, as well as a long corner bank with two windows separated by a thin brick reveal along the corner of the southern and western elevations.

The north elevation includes a projecting single-storey structure with a hipped roof and raised open courtyard and pergola situated above a lowered two-door garage. The garage is accessible via a short ramp extending from Ormond Road. The apartment has a number of secondary entrances accessible via a side laneway along the east elevation and a concrete paved rear parking area to its south.

The structure is set back from Bendigo Avenue allowing for a narrow garden along the west elevation and a generous garden along its northern side. Both gardens are slightly raised above the street level, with a low face red brick retaining wall also defining its street front boundary. The wall is laid with a stretcher bond with a header laid cap. Piers flanking two openings are located along the wall fronting Bendigo Avenue. The piers include inbuilt letter boxes. The retaining wall is further defined by a row of hedges at various stages of maturity.

Known alterations to the property include:

- Letter boxes added to the wall piers.
- Relandscaping of the front and side yard including the addition of the hedge wall.
- Addition of a timber paling bin enclosure along the western boundary wall.
- Addition of a concrete laid parking area to the rear and driveway ramp.
- Addition of flagstone paving and steel tube balustrades to the access stairs and pathways.
- Repainting of the window frames along the stairwell.
- Minor accretions including new rainwater goods, terracotta chimney pots, wall mounted electrical units and HVAC to the southern elevation, and two skylights added to the roof of the single storey wing.

Some localised weathering of painting and rendered surfaces is visible but the property is otherwise in good condition and of high integrity.

Comparative analysis

The trend toward higher density living in St Kilda began with the conversion of mansions and terrace houses into boarding houses in the early 1900s. Due to significant population growth and the demand for

affordable housing post World War I, flat development proliferated. While some flats were purpose-built, others converted existing buildings (Way Back When Consulting Historians 2021, 94). The conversion of 38 Ormond Road from a single dwelling to flats in the interwar period demonstrates the growing popularity of the housing type and the intent of homeowners to monetise upon it.

Both Modern idioms of the 1930s, the Moderne and International styles emerged in Victoria in the 1930s and quickly became known for their modern and progressive image. A local response to the influences of Modernism emanating from Europe and America, these closely connected styles were primarily driven by ornamental restraint, clean lines and smooth finishes. However, while the Moderne style of the early 1930s was typified by streamlined wall surfaces and horizontal emphasis, the ensuing International Style of the late 1930s differed in its cubic modernism, modularity and rejection of all ornament and colour (Raworth 1991, 21). Stark and revolutionary in terms of form and aesthetic, it was least popular than the preceding Moderne style and typically only used by architects or builders who had a specific modern minded client (Raworth 1991, 21).

Designed in c.1938-39, 38 Ormond Road, Elwood, comprises a transitional example of an International Style flat building that also incorporates several features of the more popular Moderne idiom. While its stepped cubic forms, low hipped roofs, white painted finish, steel framed corner windows and thin metal handrails are typical of the International Style, its central vertical stairwell and clinker brickwork detailing in the form of window sills and balcony pillars recall its Moderne predecessor in which R. M. and M. H. King primarily worked in. Its wide overhanging eaves are also of particular note and lend the building a subtle Prairie style appearance.

The only other comparable work by R. M. & M. H. King in the municipality comprises a Streamline Moderne style flat building at **Summerleigh, 13 Hughenden Road, St Kilda East (Citation 2022)**. Although designed in the Streamline Moderne style as opposed to the more experimental International Style, Summerleigh shares some comparative features with 38 Ormond Road, Elwood, including broad overhanging eaves derived from the Prairie style, pitched roofs and the use of stepped forms. Other comparable examples of flat buildings within the municipality that are closer to 38 Ormond Road, Elwood in terms of style include:

- **Bellaire, 3 Cowderoy Street, St Kilda (Citation 877)**. Designed by Geoffrey Mewton of Mewton and Grounds in 1936, Bellaire comprises a highly articulated International Style flat building that has been noted for its uncompromising expression, intactness, and starkness. Defined by its flat roof, face brickwork and banded casement windows, Bellaire is more resolved than 39 Ormond Road, Elwood in terms of its assured use of International Style features. It does share several features however, including stepped cubic forms, clean lines, steel framed corner windows and a central vertical stairwell.
- **Flats, 51 Ormond Esplanade, St Kilda (Citation 756)**. 51 Ormond Esplanade comprises a three-storey flat building constructed in 1939 to designs by J. H. Esmond Dorney. Although its original windows and detailing have been altered, it compares to 38 Ormond Road, Elwood in terms of its rejection of colour, stepped cubic forms, clean lines and corner windows. As with 39 Ormond Road, Elwood, its monotonous white painted finish is broken up with face brickwork along the central chimney and fin-like pier along the adjacent entry wing. Of the two, 38 Ormond Road, Elwood is more impressive in terms of its degree of intactness and prominent scale.

Assessment

This place has been assessed in accordance with the processes and guidelines outlined in the Australia ICOMOS *Charter for Places of Cultural Heritage Significance* (The Burra Charter) 2013, using the HERCON criteria.

Recommendations

Retain in the Heritage Overlay as a Significant place within the Glen Huntly and Ormond Road Precinct.
Designate front fence as not exempt under Clause 43.01-4.

Primary source

Extent Heritage Pty Ltd, *Elwood Heritage Review*, prepared for City of Port Phillip, 2023.

Other studies

Andrew Ward & Associates, *City of Port Phillip Heritage Review*, prepared for City of Port Phillip, 1998.

Other images



Figure 8. South-west facing view from Ormond Road.



Figure 9. South-east facing view from Bendigo Avenue.



Figure 10. East facing view of side elevation from Bendigo Avenue.



Figure 11. South facing view from Ormond Road.



Figure 12. Detail view of remnant section of original residence along with later extensions and additions.



Figure 13. Detail view of garage fronting Ormond Road.

City of Port Phillip Heritage Review

Place name: Ballater
Other names: House

Citation No: 753



Address: 39 Ormond Esplanade, Elwood
Category: Residential: House
Style: Mediterranean, Georgian Revival
Constructed: 1926
Designer: Blackett and Foster
Amendment: TBA
Comment: Revised citation

Heritage Precinct: Elwood: Glen Huntly Road & Ormond Road
Heritage Overlay: HO8
Graded as: Significant
Victorian Heritage Register: No

Significance

What is significant?

Ballater, the house designed by Blackett and Foster and constructed by W. M. Kelly Pty Ltd in 1926 at 39 Ormond Esplanade, Elwood is significant. The front brick fence and associated original terrazzo floor also contribute to the significance of the place.

Alterations and additions are not significant.

How is it significant?

Ballater is of local aesthetic significance to the City of Port Phillip.

Why is it significant?

Ballater is of aesthetic significance as a stately two-storey residence that skilfully combines both Georgian Revival and Mediterranean style features. Visually imposing in scale, the residence is distinguished by its formal symmetry demarcated by a central projecting bay, hipped roof clad with terracotta tiling and overhanging eaves and prominent ground floor loggia. Although not without alterations, it has maintained its striking form, composition and scale, which along with its corner siting on the Esplanade, combine to create an elegant seaside mansion that demonstrates experimentation with the popular revival styles of the interwar period. (Criterion E)

Thematic context

Victoria's framework of historical themes

6. Building towns, cities and the garden state: 6.3 Shaping the suburbs, 6.7 Making homes for Victorians

Port Phillip thematic environmental history

5. Buildings and cultural landscapes: 5.2 Shaping the suburbs (5.2.2 Private development), 5.3 Diverse Housing

History

Pre-colonial history

For thousands of years preceding European colonialism, the land and environmental surrounds of Elwood was home to the Yalukit Willam clan of the Boonwurrung language group, who occupied territory east of the Werribee River to St Kilda. With lands adjacent to the sea and in proximity to the neighbouring Elwood wetlands, this environment provided Traditional Owners with access to an abundance of resources, including freshwater vegetables, wildfowl and eels from the Elwood wetlands, as well as saltwater shellfish, fish and crustaceans from the reef. Meanwhile, the rocky headland of red, brown and yellow sandstone, now known as Point Ormond, was a prominent feature in the landscape that provided views across Port Phillip Bay (refer to Figure 1). Archaeological records indicate that the area of Point Ormond was an active campsite, with stone axes and bowl awls recovered in the area in the 1970s (Eidelson 2006, 42). A shell midden was also uncovered in close proximity to Point Ormond, suggesting that the Boon Wurrung people in the area cooked shellfish gathered from the reef (Ellender and Weaver 1994). The land on which the precinct would come to be located on is shown in Figure 1 as being lightly wooded, and pre-colonial ecological vegetation classes show the land being a mix of damp sands herb woodlands and grassy woodlands.

While the rich cultural heritage of Traditional Owners in Elwood continues to have a strong presence to this day, their lifestyle and lands were severely impacted following the onset of European colonisation, particularly after the arrival of the Glen Huntly emigrant ship in Port Phillip Bay in 1840 (Finn 1888, 596-597). The ship was carrying 157 Scottish passengers, with fifty suffering from Typhus fever. A makeshift quarantine settlement was immediately established adjacent to the shore on Point Ormond near to the precinct, then known as Little Red Bluff (Moore 1990). As shellfish harvests took place right alongside the station, superintendent Charles La Trobe ordered the expulsion of all Aboriginal camps from the area (Eidelson 2006, 42). La Trobe's actions formed merely one part of a wider colonial process of displacement and dispossession, which would have continued terrible ramifications for generations.



Figure 1. c.1864 illustration of Point Ormond and the coast looking towards St Kilda, representing a pre-developed landscape. Source: Clark, T. c.1864. Red Bluff Brighton (Point Ormond). Watercolour painting, accession no: H299. State Library of Victoria.

Contextual history

Elwood's first land sales took place until 1851, which saw the subdivision of land in both St Kilda and what was then known as 'North Elwood' into generous allotments (Surveyor General's Department 1851). Early developments on these allotments comprised a scattering of freestanding mansion estates, including the extant Elwood House at 30 & 30A Vautier Street, Elwood (c.1850s) (Heritage Alliance 2005, 12; Eidelson 2006). Erected on higher ground towards the Esplanade, these mansions solidified Elwood's southern fringe as a prestigious seaside location. Meanwhile, most of the present-day suburb to the north of Glen Huntly Road comprised a wetland known as the Elwood Swamp (Public Record Office of Victoria 1851). Deemed unsuitable for residential development, the wetland was soon transformed into a site for noxious trades required by European settlement, with a night soil depot established at Barkly Street in 1857, an open slaughter yard established in 1858 and an abattoir building erected in 1861 (see Figure 2) (Way Back When Consulting Historians 2021, 29-30).

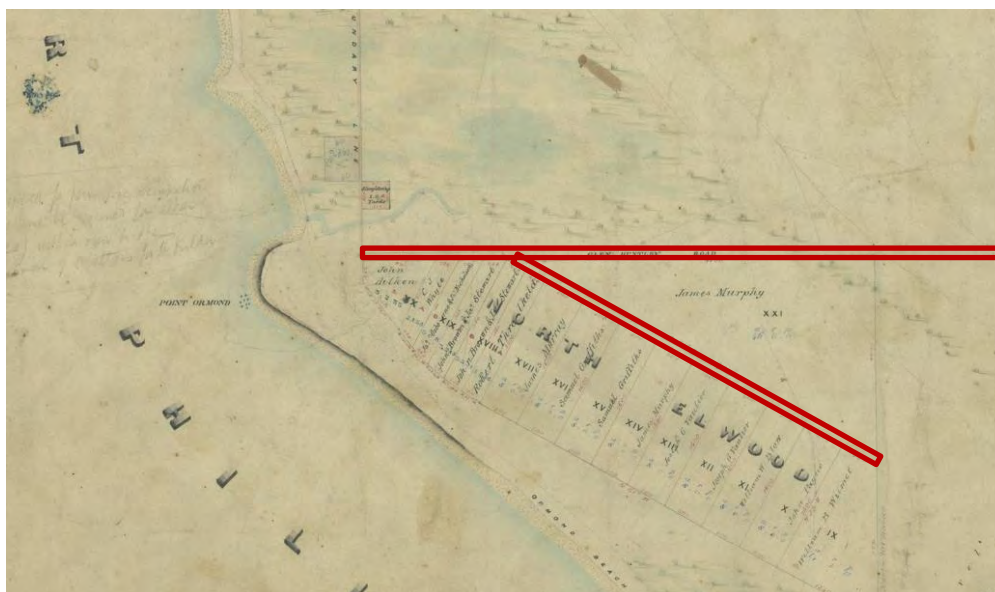


Figure 2. 1851 map showing 'North Elwood' allotments south of the wetland, and Glen Huntly and Ormond Roads marked in red. Source: Surveyor General's Department, Port Phillip Branch. 1851. 'Village of Elsternwick.' Map. Citation no. VPRS 8168/P0002. Public Record Office Victoria.

The suburb underwent a period of change during the 1880s land boom, which not only spurred the subdivision of mansion estates and vacant land into suburban housing estates, but also encouraged the closure of noxious trade facilities and subsequent swamp reclamation works via the development of Elwood Canal by 1897 (The Caulfield and Elsternwick Leader 1889, 4). By 1908, the first land sales on what once comprised the wetlands had taken place, paving way for further urban growth. Notably, the construction of Elwood Canal, along with the opening of the Victorian Railways St Kilda to Brighton electric tramway line in 1906 (and the Glen Huntly tramway in 1915), spearheaded another development boom in Elwood during the first two decades of the twentieth century. More intense than its 1880s predecessor, this period saw the subdivision of remaining sparse mansion estates on what was then known as 'North Elwood' (see Figure 2), as well as rapid residential development on the reclaimed wetland and in the area south of Ormond Road (Heritage Alliance 2005, 21-23).

Following the 1905 completion of reclaiming the wetlands, and the expansion of the tramway networks soon after, land became more available and accessible. Newly erected building stock along the Esplanade over the next few decades predominantly comprised of a mixture of generously sized freestanding villas and purpose-built residential flats built in fashionable interwar styles, such as the exuberant attic villa Yarramundi (1921) at 27 Ormond Esplanade, and the Mediterranean style block of flats Beaufort (1929-30) at 13-15 Ormond Esplanade. . Notably, interwar era freestanding villas along the Esplanade were typically grander in appearance than those built further inland and came to epitomise the essence of Melbourne's interwar bayside architecture. By the mid-1920s, the suburb had been transformed into a comfortable middle-class residential estate. An established tramline on Glen Huntly Road and a fully developed landscape south of this arterial route can be seen in a c.1925 aerial photograph (refer Figure 3).



Figure 3. c.1925 photograph of Elwood looking southeast. Source: Charles Daniel Pratt. c.1925. Elwood area on Port Phillip Bay. Photograph. State Library of Victoria.

Ballater, 39 Ormond Esplanade, Elwood

Ballater at 39 Ormond Esplanade, Elwood was constructed by builders W. M. Kelly Pty Ltd in 1926 to designs by Blackett and Foster. Built for Alfred E. Atherton following the intense subdivision of land between the Esplanade and Ormond Road in the interwar period, the dwelling comprised a stately interwar

mansion designed in the Georgian Revival style (City of St Kilda Building Register) (refer Figure 4 & Figure 5). Alfred E. Atherton appears to have been part of the plumbing and mechanical services firm A. E. Atherton & Sons Pty Ltd, although his role within the company is unknown.

Records indicate that the Atherton family resided at the property until at least 1965 (The Argus 1945, 10; City of St Kilda Building Register; Sands & McDougall 1965). The Atherton occupancy saw the addition of a new sunroom in 1955 along the east elevation to designs by architect Peter Spier (City of St Kilda Building Register).



Figure 4. Proposed residence for A. E. Atherton Esq, Cr Ormond Esplanade & Byrne Avenue (side and rear elevations). Source: Blackett & Forster Architects. n.d. Drawings of 39 Ormond Esplanade, Elwood. Council Records. City of Port Phillip.



Figure 5. Proposed residence for A. E. Atherton Esq, Cr Ormond Esplanade & Byrne Avenue (front elevation). Source: Blackett & Forster Architects. n.d. Drawings of 39 Ormond Esplanade, Elwood. Council Records. City of Port Phillip.

Blackett and Foster

Established in 1914, the firm Blackett and Foster, comprising a partnership between cousins William Arthur Mordey Blackett (1873-1962) and William Blackett Forster (1886-1947), was active throughout the interwar period and predominantly known for their residential work. While they were initially known for drawing upon aspects of the American Craftsman (a derivative of the Arts and Crafts movement) and Georgian Revival styles, they later adopted Mediterranean influences, particularly towards the late 1920s (Goad and Willis 2012, 90). Blackett in particular has been noted as an early advocate of the synthesis between the Georgian Revival and Mediterranean modes of design (Context Pty Ltd 2016). In his 1922 article in Harold Desbrowe Annear's publication 'For Every Man His Home', Blackett urged architects to look toward the Mediterranean and experiment with a combination of the locally approved Georgian with elements taken from Southern Europe (Raworth 1993, 78).

Although Blackett and Foster's commissions chiefly comprised residential housing in Melbourne's inner-eastern suburbs, including Kew, Toorak, Canterbury, Malvern and Brighton, they also occasionally worked on larger commissions, including several noted city buildings in the restrained Georgian Revival style, such as the Victor Horsley Chambers (1926) (VHR H0474 / HO563 City of Melbourne) at 12 Collins Street, Melbourne and Francis House (1929) (HO573 City of Melbourne) at 107 Collins Street, Melbourne (Goad and Willis 2012, 90).

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Description

Ballater is a two-storey interwar era residence that incorporates both Georgian Revival and Mediterranean style features. The residence is located on a corner allotment fronting Ormond Esplanade and Elwood Beach to the south and Byrne Avenue to the west. The residence is symmetrical in plan with a hipped roof form, a central projecting bay to the front façade, and two projecting bays flanking the façade to the rear. The roof is clad with terracotta Marseilles tiles and ridge capping. Three, tall and rendered chimneys with an unadorned form extend from the roof. The roof overhangs the main structure with enclosed eaves. The walls are finished with a smooth white stucco.

The façade presents a balanced symmetrical layout defined by the central projecting bay. The ground level of the bay is defined by an arched loggia characterised by tall, round headed openings with a low wall with baluster sections extending across the façade. The upper level of the projecting bay features a centred Juliet balcony with a recessed doorway opening, wrought iron balustrade and two moulded console brackets.

The flanking bays have multi paned Venetian sash windows on both levels. Other details include extruded level course and rectangular panel mouldings.

The west elevation fronting Byrne Avenue consists of several single timber sash windows of various sizes on both levels and a large bay window projection on the ground level. A balcony with balusters is located above the bay window on the upper level. The rear elevation similarly includes a large return balcony on the upper level and covered patio overlooking the backyard. The backyard area includes a freestanding garage structure with a double door fronting Byrne Avenue. The non-original garage presents a square footprint with a hipped roof. Although not original, the finish and roof cladding of the garage are cohesive with the main structure..

Ballater is set back from the street front allowing for a generous front, side and backyard. The Ormond Esplanade street front boundary is demarcated by a low rendered masonry fence with interspaced piers. The fence is chamfered at the junction between Ormond Esplanade and Byrne Avenue, addressing its corner position. The fence along Byrne Avenue is stepped and includes two gate entrances in addition to the garage entrance. The fence fronting Ormond Esplanade comprises a small, centred, recessed section which exhibits an original white terrazzo floor feature. The feature is located beside the footpath and on an axis with the centre of the projecting balcony of the front façade. The white terrazzo floor is detailed with a white and black chequered tile border, surrounding inset lettering in contrasting black terrazzo, reading 'Ballater'.

Known alterations and additions to the property include:

- Original freestanding garage demolished.
- Addition of the sunroom to the eastern elevation (1955).
- Freestanding garage addition.
- Removal of original louvre window shutters.
- Timber frames repainted.
- Wrought iron entrance gate at corner of Ormond Esplanade and Byrne Avenue removed and infilled with a wall section.
- Central wrought iron entrance gate fronting Ormond Esplanade removed and infilled with a wall section.
- Addition of two gates and garage entrance to the fence fronting Byrne Avenue. Additions also include tall piers flanking the new gates and a stepped wall portion near the garage entrance and adjacent gate.
- Balcony wrought iron detailing sympathetically replaced.
- Some rear facing roof sections re-clad with contrasting dark tiling (2022).
- Major relandscaping to the backyard including the removal of mature trees, new paved pathways, and new swimming pool.
- Minor accretions include new rainwater goods and a skylight to the roof.

While the property's overall form, composition and scale is intact, it has undergone several alterations and additions, the most noticeable being the removal of original louvre window shutters and modifications to its brick fence. Despite the modifications however, the front fence retains majority original fabric with alterations largely retaining the form and scale of the original design and thereby maintaining the relationship of the fence with the property. Overall, Ballater is in good condition and is considered to be of moderate integrity.

Comparative analysis

The Georgian Revival style emerged in the early twentieth century and quickly became a popular style for flats, small scale office buildings and private residences due to a revived interest in colonial architecture in the interwar years. This resurgence in Australia is credited to William Hardy Wilson who visited Britain and the United States in the first decade of the twentieth century, going on to publish in 1923, *Old Colonial Architecture in New South Wales and Tasmania*. This period of design is characterised broadly by simplicity of form, rectilinear lines, symmetry and simplified classicism.

In Elwood, the emergence of 'revivalist' style homes in the late 1920s encompassed Old English, Spanish Mission/Mediterranean and Georgian. A period of stylistic diversity, boundaries between styles were often crossed, creating unique fusions of features from different styles (Trethowan 1992, 61). As a Georgian Revival style residence that also incorporates some Mediterranean style features in terms of its prominent loggia, wrought iron detailing and terracotta roof tiling, Ballater thus also exemplifies the tendency towards stylistic synthesis during this period. While the noted architectural firm of Blackett and Foster were known for their Georgian Revival style buildings throughout the 1920s, several of their works by the late 1920s also skilfully incorporated Mediterranean antecedents (see 22 Hopetoun Road, Toorak – City of Stonnington HO497) (Goad and Willis 2012, 90). This treatment is not uncommon during this period and was also being explored by other renowned Melbourne architects like Marcus Martin, Harold Desbrowe-Annear, Rodney Aslop and Walter Butler, who viewed the Georgian and Mediterranean modes as particularly suitable to the Australian climate (Context Pty Ltd 2016).

While there are several known Georgian Revival buildings with Mediterranean influences within the City of Port Phillip, the majority of them comprise flat buildings as opposed to grand freestanding dwellings due to the ascendancy of the former in the municipality during the interwar period. They nevertheless compare in terms of form, scale and detailing:

- **Shelley Court, 59 Shelley Street, Elwood (Citation 805).** Constructed in 1930 to designs by E. Jennigs & Sons, Shelley Court comprises a two storey Georgian Revival flat building that incorporates some Mediterranean influences. Although a flat building as opposed to a freestanding dwelling, it shares discernible similarities in terms of its formal symmetry, projecting hipped roof bays clad with terracotta tiling, and Mediterranean derived central ground floor loggia and wrought iron detailing. It is substantially more intact and ornamented than Ballater, however its treatment of the Georgian-Mediterranean synthesis is less resolved in terms of form.
- **Alma Park Mansions, 91 Alma Road, St Kilda (Citation 339).** Designed by Frank G. Richardson and constructed in 1932, Alma Park Mansions comprises an interwar apartment block that similarly demonstrates the synthesis of the Georgian Revival and Mediterranean styles. As with Ballater, it adopts a restrained Georgian Revival aesthetic in terms of its lack of ornamentation, symmetrical façade and central ground floor porch, while also demonstrating Mediterranean antecedents in terms of its terracotta tiled pitched roof forms, roughcast rendered walls and wrought iron detailing. While more intact than Ballater, it is less impressive in terms of scale, and lacks the imposing character established by Ballater's prominent ground floor loggia, corner siting and formal composition.

Known Mediterranean style houses within the municipality that compare to Ballater include:

- **House, 11 Charnwood Road, St Kilda (Citation 872).** Constructed in 1926 to designs by Lewis Levy, 11 Charnwood Road, St Kilda compares to Ballater as a freestanding two-storey house that draws on both Mediterranean and Georgian Revival style elements. As with Ballater, it is primarily Mediterranean in character due to its prominent ground floor arcaded loggia and hipped roof with deep overhanging eaves. Although its Georgian Revival influences is less discernible due to its asymmetry, they can be seen via the double hung sash windows and restrained use of detailing. As with the above examples, it is substantially more intact than Ballater but evidently less stately in terms of scale and siting.

Assessment

This place has been assessed in accordance with the processes and guidelines outlined in the Australia ICOMOS *Charter for Places of Cultural Heritage Significance* (The Burra Charter) 2013, using the HERCON criteria.

Recommendations

Retain in the Heritage Overlay as a Significant place within the Glen Huntly and Ormond Road Precinct. Designate front fence as not exempt under Clause 43.01-4.

Primary source

Extent Heritage Pty Ltd, *Elwood Heritage Review*, prepared for City of Port Phillip, 2023.

Other studies

Andrew Ward & Associates, *City of Port Phillip Heritage Review*, prepared for City of Port Phillip, 1998.

Other images



Figure 6. North facing overview of façade from Ormond Esplanade. Source: Google Streetview, April 2022.

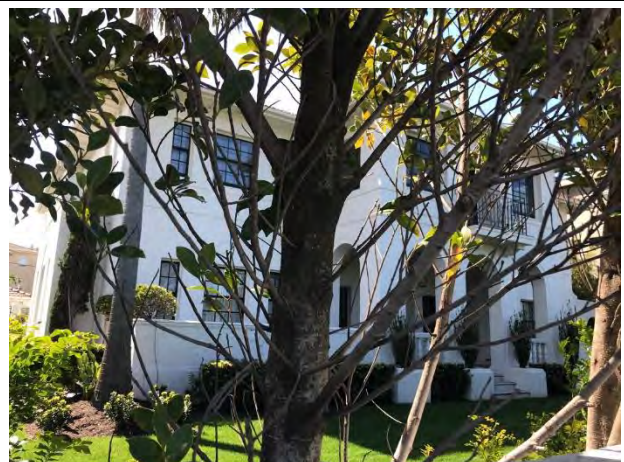


Figure 7. Detail north-east facing view of façade.



Figure 8. North-west facing view of façade.



Figure 9. South-east facing overview of main residence and freestanding rear garage from Byrne Avenue.



Figure 10. East facing overview of side elevation from Byrne Avenue.



Figure 11. Detail view of terrazzo tiling reading 'Ballater' at former central entrance gate.

City of Port Phillip Heritage Review

Place name: Bel Air
Other names: Flats

Citation No: 1987



Address: 21 Glen Huntly Road, Elwood

Category: Residential: Flats

Style: Interwar: Georgian Revival & Moderne

Constructed: 1941

Designer: Arthur Plaisted

Amendment: TBA

Comment: Revised citation

Heritage Precinct: Elwood: Glen Huntly Road & Ormond Road

Heritage Overlay: HO8

Graded as: Significant

Victorian Heritage Register: No

Significance

What is significant?

Bel Air, designed by Arthur Plaisted and constructed by E.G. Gallagher in 1941 at 21 Glen Huntly Road, Elwood is significant. The original front and side boundary fence also contribute to the significance of the place.

Alterations and additions are not significant.

How is it significant?

Bel Air of local aesthetic significance to the City of Port Phillip.

Why is it significant?

Bel Air has aesthetic significance as a highly intact and expressive example of an interwar style flat building with Georgian Revival and Moderne style elements. Visually imposing in scale, the three-storey flat building is distinguished by its stepped waterfall massing, symmetrical treatment of front bay, central vertical stairwell, cream brick construction, dentilled brickwork below eaves, corner mullion windows, and decorative wrought iron detailing. Further aesthetic interest is created by the breakthrough roof with arched pediment, central window with moulded architrave and the tension between horizontal and vertical elements. These features, along with its original low brick front boundary fence, combine to form a visually striking flat that integrates the dynamism of the Georgian Revival style and the starkness of the Moderne. (Criterion E)

Thematic context

Victoria's framework of historical themes

6. Building towns, cities and the garden state: 6.3 Shaping the suburbs, 6.7 Making homes for Victorians

Port Phillip thematic environmental history

5. Buildings and cultural landscapes: 5.2 Shaping the suburbs (5.2.2 Private development), 5.3 Diverse Housing (5.3.5 Higher-density housing – Flats and high-rises)

History

Pre-colonial history

For thousands of years preceding European colonialism, the land and environmental surrounds of Elwood was home to the Yalukit Willam clan of the Boonwurrung language group, who occupied territory east of the Werribee River to St Kilda. With lands adjacent to the sea and in proximity to the neighbouring Elwood wetlands, this environment provided Traditional Owners with access to an abundance of resources, including freshwater vegetables, wildfowl and eels from the Elwood wetlands, as well as saltwater shellfish, fish and crustaceans from the reef. Meanwhile, the rocky headland of red, brown and yellow sandstone, now known as Point Ormond, was a prominent feature in the landscape that provided views across Port Phillip Bay (refer to Figure 1). Archaeological records indicate that the area of Point Ormond was an active campsite, with stone axes and bowl awls recovered in the area in the 1970s (Eidelson 2006, 42). A shell midden was also uncovered in close proximity to Point Ormond, suggesting that the Boon Wurrung people in the area cooked shellfish gathered from the reef (Ellender and Weaver 1994). The land on which the precinct would come to be located on is shown in Figure 1 as being lightly wooded, and pre-colonial ecological vegetation classes show the land being a mix of damp sands herb woodlands and grassy woodlands.

While the rich cultural heritage of Traditional Owners in Elwood continues to have a strong presence to this day, their lifestyle and lands were severely impacted following the onset of European colonisation, particularly after the arrival of the Glen Huntly emigrant ship in Port Phillip Bay in 1840 (Finn 1888, 596-597). The ship was carrying 157 Scottish passengers, with fifty suffering from Typhus fever. A makeshift quarantine settlement was immediately established adjacent to the shore on Point Ormond near to the precinct, then known as Little Red Bluff (Moore 1990). As shellfish harvests took place right alongside the station, superintendent Charles La Trobe ordered the expulsion of all Aboriginal camps from the area (Eidelson 2006, 42). La Trobe's actions formed merely one part of a wider colonial process of displacement and dispossession, which would have continued terrible ramifications for generations.



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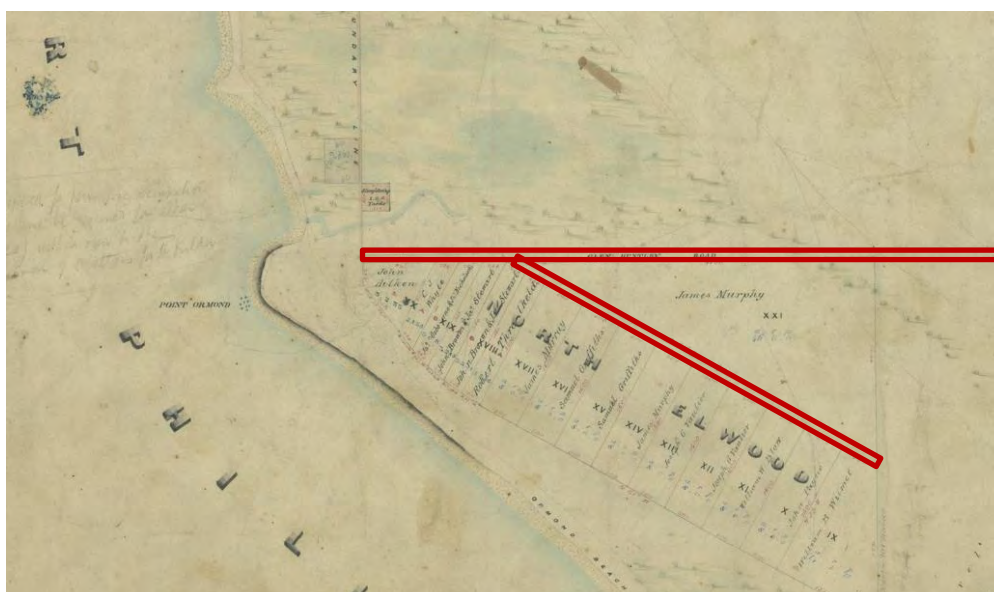


Figure 2. 1851 map showing 'North Elwood' allotments south of the wetland, and Glen Huntly and Ormond Roads marked in red. Source: Surveyor General's Department, Port Phillip Branch. 1851. 'Village of Elsternwick.' Map. Citation no. VPRS 8168/P0002. Public Record Office Victoria.

The suburb underwent a period of change during the 1880s land boom, which not only spurred the subdivision of mansion estates and vacant land into suburban housing estates, but also encouraged the closure of noxious trade facilities and subsequent swamp reclamation works via the development of the Elwood Canal by 1897 (The Caulfield and Elsternwick Leader 1889, 4). By 1908, the first land sales on what once comprised the wetlands had taken place, paving way for further urban growth. Notably, the construction of Elwood Canal, along with the opening of the Victorian Railways St Kilda to Brighton electric tramway line in 1906 (and the Glen Huntly tramway in 1915), spearheaded another development boom in Elwood during the first two decades of the twentieth century. More intense than its 1880s predecessor, this period saw the subdivision of remaining sparse mansion estates on what was then known as 'North Elwood' (see Figure 2), as well as rapid residential development on the reclaimed wetland and in the area south of Ormond Road (Heritage Alliance 2005, 21-23). Although development was initially concentrated on Ruskin Street, which first appears in the directory in 1913, streetscapes of new housing along the newly formed Addison Street, Meredith Street and Broadway soon followed (Heritage Alliance 2005, 23-33).

While newly erected building stock in the early twentieth century in Elwood predominantly comprised of freestanding middle-class bungalows, the area was also a popular location for residential flats. Initially appearing in Melbourne in 1906, flats slowly spread to the suburbs and appeared close to transport routes, particularly along or within walking distance of tram routes to facilitate easy travel to the city (Way Back When Consulting Historians 2021, 95). With its proximity to the beach and parklands, good public transport networks and seaside character, both the suburbs of Elwood and St Kilda became popular destinations for this type of housing stock, and by 1935, despite a slowing of development due to the Great Depression, the St Kilda municipality contained over 2,800 flats in over 500 blocks by 1935 (Way Back When Consulting Historians 2021, 96). A further 2,000 flats were added by 1940; however, the onset of World War II slowed development. Nonetheless, by 1947 St Kilda contained 5,500 purpose-built flats, a quarter of all flats in Melbourne (Way Back When Consulting Historians 2021, 96).

Bel Air, 21 Glen Huntly Road, Elwood

Bel Air at 21 Glen Huntly Road, Elwood was built in early 1941 by builder E. G. Gallagher to 1940 designs by the office of Arthur Plaisted (City of St Kilda Building Register). Erected for Mrs. N. B. Symons, the original 1940 architectural plans show a three-storey building containing nine flats distinguished by a stepped vertical form (refer Figure 3). The rear of the property contained two buildings, each comprising three garages, accessible via Dante Lane (refer Figure 4).

Originally numbered 250-258 Glen Huntly Road, the building was given the name 'Bel Air' by at least 1950 (Sands & McDougall 1950). It was subsequently re-numbered 21 Glen Huntly Road between 1960 and 1965. As of 2022, the building continues to remain in use as private residential flats.



Figure 3. Proposed block of nine residential flats at Glen Huntly Road, Elwood for Mrs N. B. Symons (elevations). Source: Arthur W. Plaisted. 1940. Drawings of 21 Glen Huntly Road, Elwood. Council Records. City of Port Phillip.

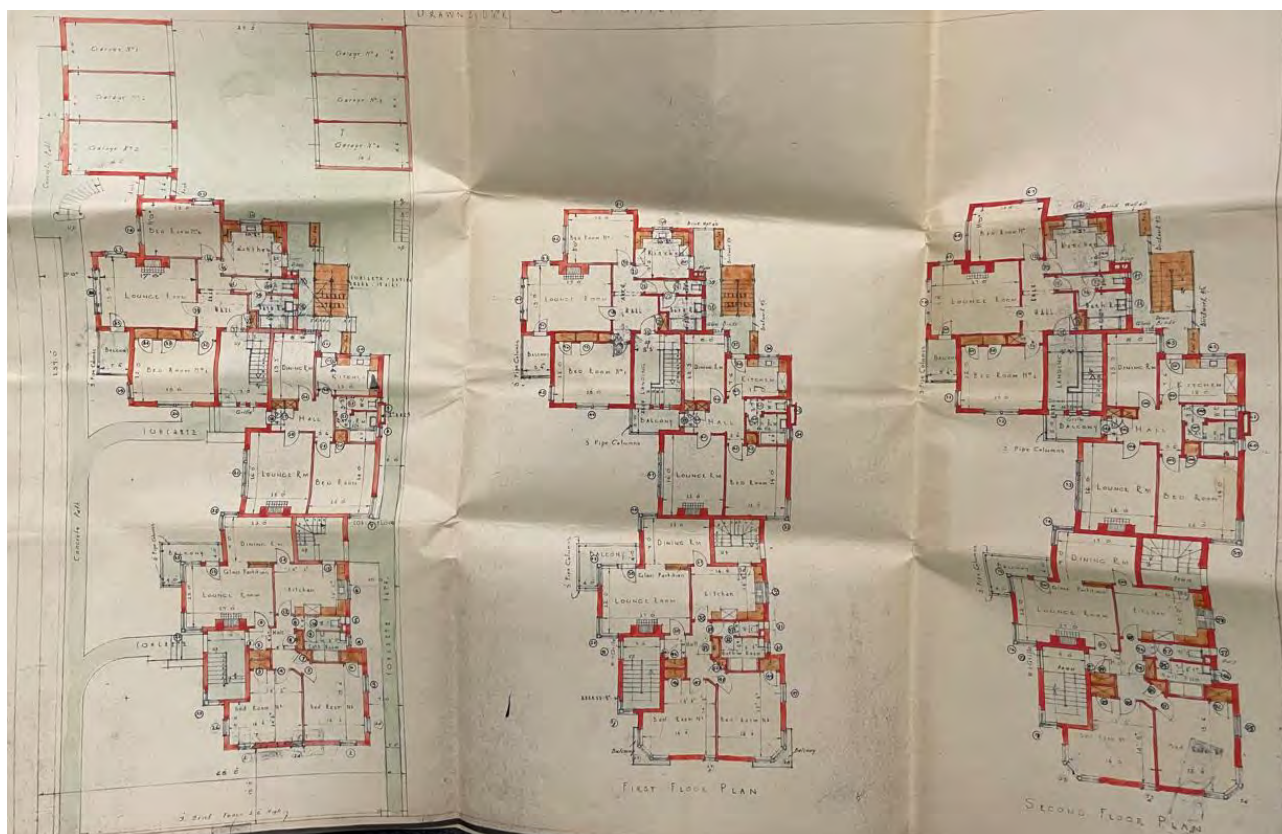


Figure 4. Proposed block of nine residential flats at Glen Huntly Road, Elwood for Mrs N. B. Symons (plans). Source: Arthur W. Plaisted. 1940. Drawings of 21 Glen Huntly Road, Elwood. Council Records. City of Port Phillip.

Arthur Plaisted

Arthur Plaisted (1891-1965) was a versatile Melbourne architect who was predominantly known for his interwar residential designs of varying styles. Born in Prahran to builder and developer Walter Benjamin Plaisted, Arthur Plaisted initially worked for S. E. Bindley and carried out a number of works in the Mortlake and Terang townships of Western Victoria, before commencing the partnership Plaisted & Warner in the early 1930s (Goad and Willis 2012, 544).

While Plaisted's earlier works during the mid-1910s comprised attic bungalows, he later delved into flat designs in inner Melbourne that incorporated the fashionable Revival styles of the interwar era. These include the Old English style at Hampden flats, 74 Barkly Street, St Kilda (1919-1920) (HO370), the Colonial/Georgian Revival at Corio, 304 Dandenong Road, St Kilda East (1939) (HO6), Clyde & Castle Village, 39-41 Kensington Road, South Yarra (1940-41) (HO443) and the French Chateau style at 39 Eildon Road, Saint Kilda (1940-41) (HO5) and 119 Alma Road, St Kilda East (1941). Of this latter body of works, the most radical comprised the Streamline Moderne style 25 Adams Street, South Yarra (HO6) and the Functionalist/International Style Acland Hill at 45 Acland Street, St Kilda (1939) (HO5), which has been regarded as an early example of a cream brick, three-storey block of walk-up flats that would come to dominate flat development in the post-war period (Goad and Willis 2012, 544).

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Description

Bel Air is a three-storey interwar flat building with Georgian Revival and Moderne style influences. The building has an asymmetrical layout with a distinct stepped form. The walls are constructed of cream brick laid with a stretcher bond (with dark bricks along the base and as capping to the parapets and chimneys), and the hipped roof is clad with glazed terracotta Marseilles tiles and ridge capping. Four plain brick chimneys extend from the roof. The roof overhangs the main structure with enclosed eaves, cornice mouldings and Ogee gutters.

The front façade bay presents a symmetrical layout consisting of vertically arranged group of windows connected with a moulded, rendered architrave. The ground level includes two single sash windows while the upper two levels feature sash windows along the corner banks. The corner window banks express the chamfered form of the façade on the upper levels and include a rendered balconette with wrought iron balustrade on the first floor. The roof eaves are broken up by a projecting central, arched pediment. The pediment is also accentuated through expressed brick courses with an imitation dentil form.

The stepped form is visible along the western elevation which includes a main entrance largely concealed by ornamental planting. The stepped elevation features rectilinear corner windows and a vertical window bank along the stairwell bay, both which emphasise its strong vertical form.

External timber stairs provide access to the apartments from the rear elevation. Two rear garage wings extend from the main structure around a central concrete laid parking area. The parking area and garages are open to the rear lane at the junction of Dante Lane and Rosetti Lane.

The street front boundary is demarcated by a low face yellow brick wall that is complimentary to the main structure. The wall includes a recessed section which houses the mailboxes and wrought iron gate. The apartment includes a landscaped side garden comprising a concrete laid pathway and concrete edged garden beds.

Known alterations and additions include:

- Rear brick garage along eastern elevation altered to include additional garage space (before 2017).
- Infilling of rear balcony bays.
- Replacement of some window banks with single pane glazing.
- Minor accretions to the apartment building include new rainwater goods, wall mounted conduits and services, new roof top vents and aerials.

Bel Air is in good condition and is of high integrity overall.

Comparative analysis

In the decades before World War II university graduates, influenced by the teachings of English academics, helped to establish and spread the influence of interwar Georgian Revival by making the style synonymous with upper middle-class concepts of good taste (Apperley et al 1989, 150). Elements of the style include rectilinear, symmetrical form, red or cream brick construction, hipped roof with boxed eaves and breakfront, classical order, quoining at the edges, portico, pediment, and decorative classical motifs. In Australia, the style was predominantly used in houses and other buildings of domestic scale (Apperley et al 1989, 150).

The Moderne style emerged in Australia in the 1930s and was a local response to the influences of modernism emanating from Europe and America (Raworth 1991, 19). The style was distinguished by streamlined wall surfaces, horizontal emphasis, concealed low pitched or flat roofs, sleek lines, sharp or rounded corners, corner windows, stepped double or triple fronted façades, set back chimneys and use of brick and render.

Designed in 1940 by Arthur Plaisted, Bel Air comprises a later example of a transitional interwar flat building with Georgian Revival and Moderne style features. While it incorporates several key Georgian Revival features, including symmetrical front façade, hipped roof with boxed eaves and breakfront, and pediment, it is also further distinguished by its use of Moderne style including stepped massing, corner windows and juxtaposing horizontal and vertical elements. Of particular note is its incorporation of Classical motifs, such as imitation dentils. Bel Air demonstrates Plaisted's ability to skilfully draw together and combine varying modes. Of his other designs in the municipality, Bel Air can be most readily compared to:

- **Mayfair Flats, 39 Eildon Road, St Kilda (Citation 904).** Constructed in 1940-41, Mayfair Flats comprises an unusual interwar apartment complex that exhibits French Château style architectural features. Although of a different style to Bel Air, it shares several similarities, including an asymmetrical composition, use of cubic forms and multi-paned windows. Of note is its analogous projecting central parapet with a rounded cap. Although 39 Eildon Road, St Kilda is more eclectic in style, particularly in terms of its French style staircase tower topped by a turret and terminated by

a small finial, its fenestration and scale is overall less articulated than Bel Air's stepped vertical forms of recessed bays with corner window banks.

- **Corio Flats, 304 Dandenong Road, St Kilda East (Citation 889).** Constructed in 1939, Corio Flats consists of a three storey block of flats designed in the Georgian Revival style. Key comparable attributes include stepped cubic forms, window mullions, three-sided bay windows, cream brick construction, low pitched hipped roofs and a strong vertical emphasis. It is more detailed than Bel Air owing to its strict adherence to the Georgian Revival style with its brickwork quoining and Ionic columns, but its overall massing lacks the complexity of Bel Air's repetitive stepped formation.

Comparable examples by other architects, demonstrating the updating of styles with elements of Moderne, in the municipality include:

- **Zaneth Manor, 33 Brighton Road, St Kilda (Citation 432).** Designed by architect James H. Wardrop, Zaneth Manor is a three-storey interwar flat building, constructed in 1936. Its design incorporates Old English and Moderne style influences, and it compares with Bel Air in terms of its rectilinear massing, stepped form, hipped roof with breakfront elements, as well as a projecting stairwell bay. Zaneth Manor is more expressive in its decorative brick detailing whereas Bel Air is more restrained given its incorporation of Moderne style elements in its design.
- **La Tourelle, 47A Brighton Road, Elwood (Citation 2439).** Constructed in 1935-36, La Tourelle is a three storey interwar flat building designed by architect W. H. Merritt. It can be readily compared with Bel Air through elements such as rectilinear form, hipped roof with boxed eaves and breakfront pediments, sash windows and vertical window bays, and wrought iron balustrades. La Tourelle has an imposing presence with its contrasting use of brick and render, incorporation of a canted corner tower and prominent corner siting. Bel Air, whilst constructed wholly of cream brick, is more articulated in terms of its stepped form and multifaceted layout. Both sites are in good condition and of high integrity and demonstrate a range of competing styles as was typical of flat design during the interwar era.

Other comparable Moderne style flat buildings within the municipality that share Bel Air's distinct stepped massing include:

- Taradale, 229 Brighton Road, Elwood (Citation 442), constructed in 1935-36 to designs by Walter Mason.
- Flats, 16 Charnwood Road, St Kilda (Citation 874), constructed in 1939.

Assessment

This place has been assessed in accordance with the processes and guidelines outlined in the Australia ICOMOS *Charter for Places of Cultural Heritage Significance* (The Burra Charter) 2013, using the HERCON criteria.

Recommendations

Retain in the Heritage Overlay as a Significant place within the Glen Huntly and Ormond Road Precinct. Designate front fence as not exempt under Clause 43.01-4.

Primary source

Extent Heritage Pty Ltd, *Elwood Heritage Review*, prepared for City of Port Phillip, 2023.



Other studies

Andrew Ward & Associates, *City of Port Phillip Heritage Review*, prepared for City of Port Phillip, 1998.

Other images



Figure 5. Detailed view of the front facade and stepped form.



Figure 6. Detailed view of the front facade and side lane.



Figure 7. Detailed view of the windows and stepped form.



Figure 8. View of landscaped side garden.



Figure 9. North-west facing overview of the façade.



Figure 10. Detail view of the front boundary fence and wrought iron entrance gate.

City of Port Phillip Heritage Review

Place name: Dartington
Other names: House

Citation No: 802



Address: 16 Selwyn Avenue, Elwood

Category: Residential House

Style: Federation/Edwardian: Arts and Crafts

Constructed: 1914

Designer: W. G. Pollard (builder)

Amendment: TBA

Comment: Revised citation

Heritage Precinct: Elwood: Glen Huntly Road & Ormond Road

Heritage Overlay: HO8

Graded as: Significant

Victorian Heritage Register: No

Significance

What is significant?

Dartington, constructed by W. G. Pollard in 1914 at 16 Selwyn Avenue, Elwood is significant.

Alterations and additions are not significant.

How is it significant?

Dartington is of local historical and aesthetic significance to the City of Port Phillip.

Why is it significant?

Dartington is of historical significance as a Federation Arts and Crafts attic villa that was erected in 1914 during the initial popularisation of the freestanding dwelling in Elwood. Promoted during the early twentieth century following the decline of terrace housing, the freestanding suburban residence, as demonstrated at Dartington, reflected the concept of one family, one house, one garden, and became the ideal expression of urban living. With this, Dartington forms a tangible and early link to this key phase of suburban development in Elwood. (Criterion A)

Dartington is of aesthetic significance as an imposing and elegant Federation Arts and Crafts attic villa. Stately in form, siting and composition, the residence encompasses the key elements associated with the Arts and Crafts style, including tall, corbelled chimneys, a steeply pitched roof, face brick and overhanging eaves, while retaining subtle Art Nouveau elements associated with the Federation style, including leadlight bay windows and a sweeping upper level semi-circular cut out. These features, combined with its deep

setback and symmetrical façade arrangement, form a visually striking and refined residence along the streetscape. (Criterion E)

Thematic context

Victoria's framework of historical themes

6. Building towns, cities and the garden state: 6.3 Shaping the suburbs, 6.7 Making homes for Victorians

Port Phillip thematic environmental history

5. Buildings and cultural landscapes: 5.2 Shaping the suburbs (5.2.2 Private development), 5.3 Diverse Housing (5.3.3 Suburban bungalows)

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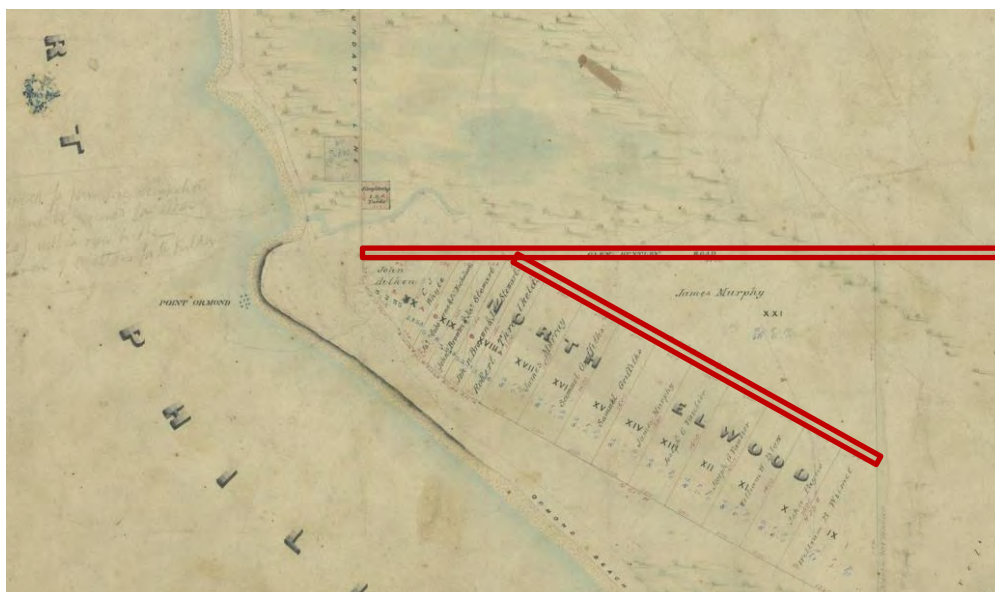


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Following the 1905 completion of reclaiming the wetlands, and the expansion of the tramway networks soon after, more land became available and accessible. By the mid-1920s, the suburb been transformed into a comfortable middle-class residential estate predominantly characterised by freestanding bungalows and villas. An established tramline on Glen Huntly Road and a fully developed landscape south of this arterial route can be seen in a c.1925 aerial photograph (refer Figure 3).



Figure 3. c.1925 photograph of Elwood looking southeast. Source: Charles Daniel Pratt. c.1925. *Elwood area on Port Phillip Bay*. Photograph. State Library of Victoria.

Dartington, 16 Selwyn Avenue, Elwood

Dartington was constructed in 1914 for Mrs. J. Roche. W.G. Pollard was the builder and may have been the designer (City of St Kilda Building Register). According to a birth notice, Oswald Dye and his family were living at the address by at least May 1919 (*The Age* 1919, 5). Dye was the first occupant of the house to be listed in the Sands and McDougall directories, in the 1920 edition. The Dye occupancy was ultimately short-lived however, and the property was subsequently put up for auction in October 1922, with the advertisement stating that the house was built 'under architect's daily supervision only three years ago' (*The Herald* 1922, 12). The advertisement listed several features:

'A most charmingly designed modern tile-roofed brick villa, specially built for owner's home...Containing 6 lovely rooms, luxuriously appointed throughout, double doors bath heater, electricity, choicest of mantels and grates' (The Herald 1922, 12).

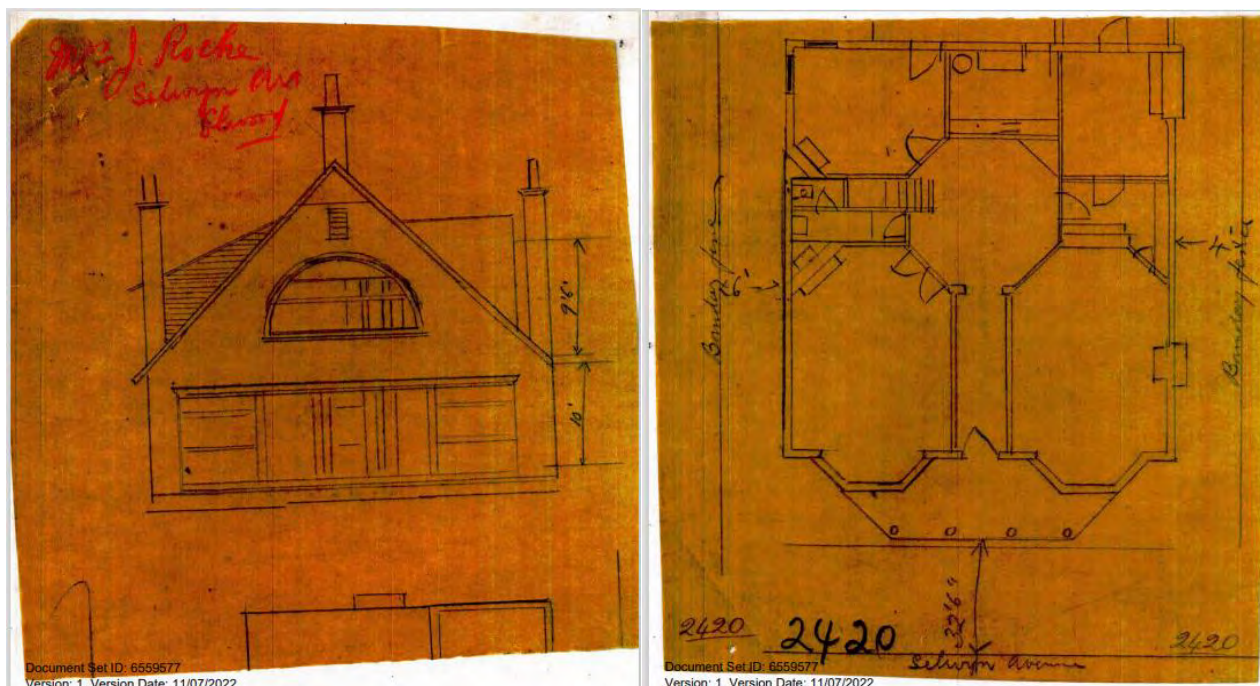


Figure 4. Mrs J. Roche, Selwyn Avenue, Elwood (elevation and plan). Source: W. G. Pollard. 1914. Drawings of 16 Selwyn Avenue, Elwood. Council Records. City of Port Phillip.

From 1928 until at least 1960, Mrs. Alice Wilson is listed in the directory as the occupant. By 1940, Wilson had established a Kindergarten and School at Dartington. Building works occurred in 1944 and 1945, when a shed was removed, a brick lavatory added and a new, freestanding brick classroom constructed towards the rear of the property (City of St Kilda Building Register) (refer Figure 5). In 1953, this freestanding classroom building was converted to a self-contained flat for Mrs. Wilson (City of St Kilda Building Register). By 1960, 16 Selwyn Avenue ceased to operate as a school. It maintains its use as a residence today.

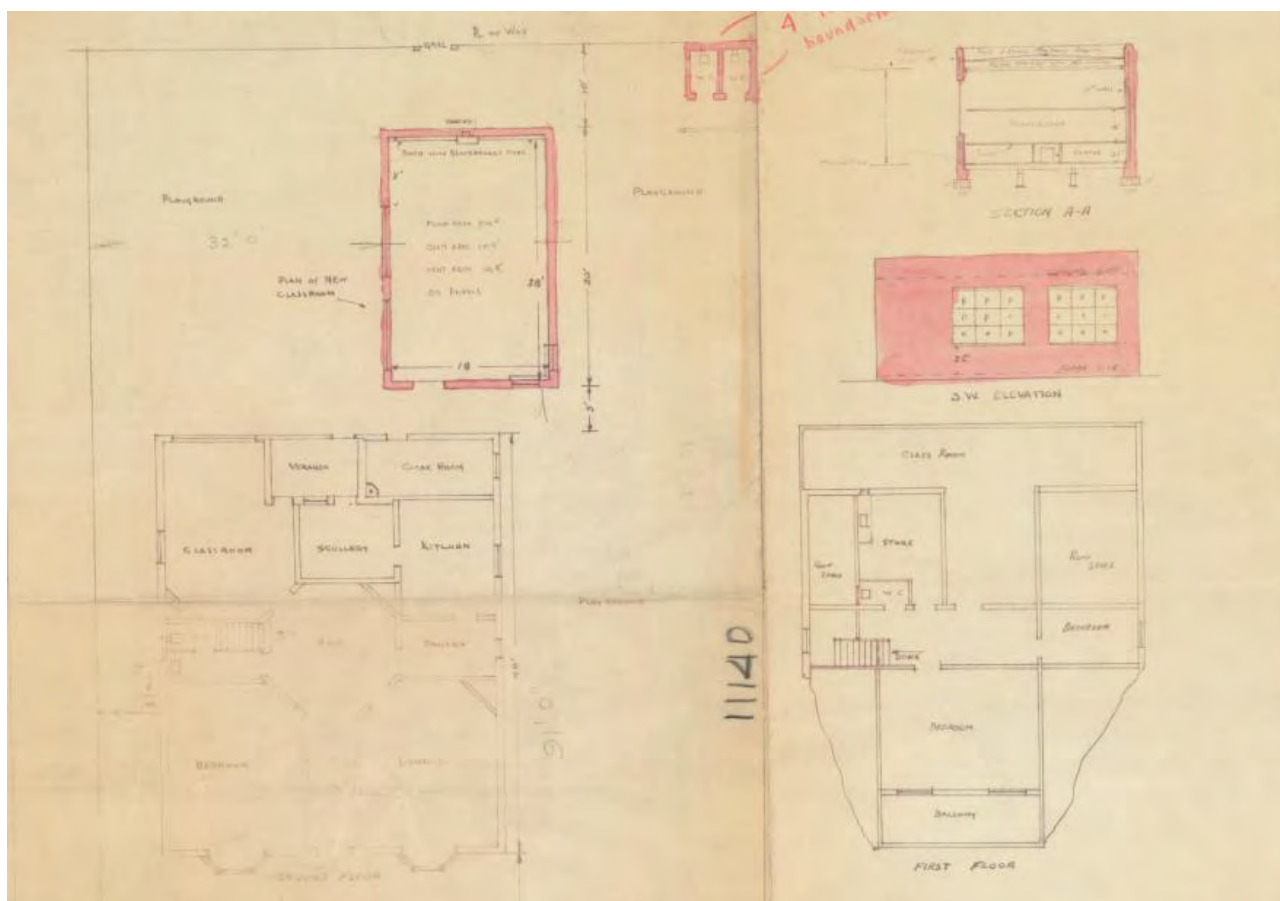


Figure 5. Proposed new classroom at 'Dartington, 16 Selwyn Ave, Elwood.' Source: D. R. Swan Pty Ltd. 1945. Drawings of 16 Selwyn Avenue, Elwood. Council Records. City of Port Phillip.

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Description

Dartington is a two-storey Federation Arts and Crafts attic villa, which is on the west side of Selwyn Avenue. . The residence is of face red brick construction laid with a stretcher bond with tuck pointing and is defined by its steeply pitched jerkinhead gable roof, clad with slate tiling with lead ridge capping, exposed rafter tails and a flared gutter. Five, tall face brick corbelled chimneys with dentils and a terracotta chimney pot extend from the roof.

The central entrance door has a leadlight window and toplight and is flanked by projecting canted bay casement windows with fixed fanlights and leadlight glass. There are high-set double and triple pane leadlight windows in the north and south elevations, respectively. The ground level is sheltered under a three-sided verandah, supported on paired posts with Corinthian style capitals, which extends from the outer edges of the bay windows. The upper level is defined by a central half-circular recessed balcony. The half-circular form is emphasised with a rendered sill and a three-course header laid voussoir. The balcony includes a door and window bank with similar detailing to the ground level windows. A central timber louvered vent sits above the opening. Internally, the residence is planned around a central octagonal hall which provides access to the main rooms and stairs.

The northern elevation includes a projecting gable dormer clad with timber weatherboard. The dormer is framed by two chimneys positioned along the side elevations. The southern elevation includes a skillion roofed dormer clad with weatherboard that is similarly framed by two expressed chimneys. Meanwhile, the rear elevation includes a two-storey skillion roof extension clad with weatherboard.

The residence is set back from the street allowing for a large front yard. The street front boundary is demarcated by a tall face red brick wall with bullnosed coping. The wall includes a gate with a brick lintel and a vehicle entrance gate leading to a paved parking area. The front yard includes a bluestone block pathway lined with bluestone edging. Bluestone blocks are also used as garden bed edging in the front yard.

The former schoolroom is the skillion freestanding structure located to the rear of the residence within the backyard. It consists of red brick construction laid with a stretcher bond with a simple, unembellished form and flat parapet. A smaller weatherboard clad open gable shed is located to the rear of the brick structure. A secondary parking area beside the rear structures is accessed via the rear laneway. The rear eastern boundary is demarcated with a timber panel fence.

Known alterations to the property include:

- Two-storey extension constructed to the rear of the residence (c.1945).
- Freestanding structure constructed originally for use as a schoolroom (after 1945).

- Front wall and gates added (c.1945).
- Removal of a mature tree in the front yard (after 2009).
- Four skylights added to the main roof (2017).
- Major relandscaping including a new swimming pool and Corten steel wall (2017-2018).

Dartington is in good condition. Major relandscaping works are obscured from view and the main residence appears highly intact. It is of high integrity overall, having retained its original materials, form, and detailing.

Comparative analysis

Following the economic depression of the 1890s, there was concern that inner Melbourne was becoming overcrowded. Terrace houses fell out of favour, as they were perceived as being cold and dark with limited garden space. Instead, detached bungalows and villas became the most popular form of housing from the Federation/Edwardian period onward. Influenced by the Garden Suburb movements from overseas, these freestanding suburban homes reflected the concept of one family, one house, one garden, and became the ideal expression of urban living in the early twentieth century (Davison 2004, 171).

Although most Federation era bungalows and villas were initially designed in the Federation or Queen Anne style and characterised by picturesque asymmetrical forms, terracotta tiled roofs and embellishments including terracotta ridge capping, finials and fretted frieze panels, leadlight windows and red brickwork with flush joints, the freestanding residence eventually evolved into the Arts & Crafts and California bungalows of the early 1920s. This style was primarily distinguished by gabled roofs, verandah piers and balustrades, timber joinery, and double hung or casement stained glass windows.

Dartington is a visually commanding Federation Arts and Crafts attic villa. Built by W. G. Pollard in 1914, the residence not only encompasses key elements associated with the style, including face red brick, a steeply pitched gable roof, bay windows, prominent tall chimneys, exposed rafter tails, but is particularly notable for its monolithic form and strong massing stemming from its jerkinhead gable façade with arched opening. Other Federation Arts and Crafts attic bungalows within the City of Port Philip that Dartington can be compared with include:

- **House, 177 Canterbury Road, St Kilda West (Significant).** 177 Canterbury Road, St Kilda West comprises an Arts and Crafts attic villa that draws remarkably notable comparisons to Dartington in terms of its steeply pitched jerkinhead gable roof form clad with slate tiling, red face brick finish, tall prominent chimneys with chimney pots, timber framed leadlight windows, arched upper floor opening and prominent scale. Unlike Dartington however, it lacks the verandah supported on timber posts and formal symmetrical composition that characterises its façade.
- **Sur La Mer, 382 Barkly Street, Elwood (Citation 2182).** Constructed in 1921 to designs by architect W.L. Coltman, Sur La Mer is a double-storey Interwar Arts and Crafts attic villa. As with Dartington, it is defined by its monolithic jerkinhead gable form, and similarly adopts red face brick finish, casement bay windows and tall chimneys. Of the two, Sur La Mer is evidently more modest due to its smaller massing, shallower setback and absence of leadlight window panes.
- **19 Wavenhoe Avenue, St Kilda East (Citation 953)** Constructed in 1929, 19 Wavenhoe Avenue, St Kilda East comprises a single storey Interwar Arts and Crafts Bungalow designed by William Anstee. The residence consists of face red brick contrasted with the use of a roughcast render and compares in terms of its distinct use of jerkinhead gables, arched openings, and tall chimneys. However, as a later design that encompasses elements derived from the California Bungalow style, it differs in terms of its triple fronted composition and tapered pylons. As with the above examples, it lacks the formality and refinement exhibited at Dartington due to its moderate setback and smaller scale.

As demonstrated in the above comparative analysis, Dartington comprises a particularly impressive Arts and Crafts villa constructed during the Federation period. Although there are similar examples on the local

Heritage Overlay that are also characterised by a distinct jerkinhead gable, they are less formal than Dartington due to their smaller scale, modest setbacks and absence of symmetry in terms of façade arrangement.

Assessment

This place has been assessed in accordance with the processes and guidelines outlined in the Australia ICOMOS *Charter for Places of Cultural Heritage Significance* (The Burra Charter) 2013, using the HERCON criteria.

Recommendations

Retain in the Heritage Overlay as a Significant place within the Glen Huntly and Ormond Road Precinct.

Primary source

Extent Heritage Pty Ltd, *Elwood Heritage Review*, prepared for City of Port Phillip, 2023.

Other studies

Andrew Ward & Associates, *City of Port Phillip Heritage Review*, prepared for City of Port Phillip, 1998.

Other images



Figure 6. View to Dartington from the public domain.



Figure 7. Detail view of the jerkinhead open gable front facade and arched fenestration.



Figure 8. Detail view of the bay window and front porch.



Figure 9. Detail view of the front yard and parking area.

City of Port Phillip Heritage Review

Place name: Eri-eriwah
Other names: Clonmel

Citation No: 375



Address: 31 Vautier Street, Elwood

Category: Residential: House

Style: Victorian: Italianate

Constructed: c.1880s

Designer: Unknown

Amendment: TBA

Comment: Revised citation

Heritage Precinct: Elwood: Glen
Huntly Road & Ormond Road

Heritage Overlay: HO8

Graded as: Significant

Victorian Heritage Register: No

Significance

What is significant?

The house known as Eri-eriwah, constructed c.1880s at 31 Vautier Street, Elwood, is significant. Late 1880s rear extensions to the original structure, consisting of a barrel vaulted room and roof, are also significant.

Later alterations and additions are not significant.

How is it significant?

Eri-eriwah is of local historical and aesthetic significance to the City of Port Phillip.

Why is it significant?

Eri-eriwah is of historical significance as a surviving Victorian era villa constructed in the c.1880s. It is one of the few surviving houses in Elwood that date back to Melbourne's 1880s land boom, which saw the subdivision of large mid-Victorian estates and the attempted development of middle-class villas in Elwood. These developments were only moderately successful in Elwood due to its lack of public transport and services, and many of the houses built during that time were demolished during the subsequent waves of development in the suburb. With this, Eri-eriwah provides insight into this limited phase of residential development that occurred in Elwood during the 1880s land boom. (Criterion A)

Eri-eriwah is of aesthetic significance as a highly intact and fine Victorian Italianate villa. Key features contributing to its picturesque appearance include its symmetrical arrangement of projecting octagonal bays flanking a central main entrance, hipped roof forms clad with slate, a verandah supported by rounded cast

iron columns, tall profiled corbelled chimneys, gabled portico, and fine application of Italianate detailing including iron filigree lacework and bracketed eaves. These features, along with its deep setback and raised siting, combine to form an elegant freestanding residence along the streetscape. (Criterion E)

Thematic context

Victoria's framework of historical themes

6. Building towns, cities and the garden state: 6.3 Shaping the suburbs, 6.7 Making homes for Victorians

Port Phillip thematic environmental history

5. Buildings and cultural landscapes: 5.2 Shaping the suburbs (5.2.2 Private development), 5.3 Diverse Housing (5.3.1 Mansions and grand villas)

History

Pre-colonial history

For thousands of years preceding European colonialism, the land and environmental surrounds of Elwood was home to the Yalukit Willam clan of the Boonwurrung language group, who occupied territory east of the Werribee River to St Kilda. With lands adjacent to the sea and in proximity to the neighbouring Elwood wetlands, this environment provided Traditional Owners with access to an abundance of resources, including freshwater vegetables, wildfowl and eels from the Elwood wetlands, as well as saltwater shellfish, fish and crustaceans from the reef. Meanwhile, the rocky headland of red, brown and yellow sandstone, now known as Point Ormond, was a prominent feature in the landscape that provided views across Port Phillip Bay (refer to Figure 1). Archaeological records indicate that the area of Point Ormond was an active campsite, with stone axes and bowl awls recovered in the area in the 1970s (Eidelson 2006, 42). A shell midden was also uncovered in close proximity to Point Ormond, suggesting that the Boon Wurrung people in the area cooked shellfish gathered from the reef (Ellender and Weaver 1994). The land on which the precinct would come to be located on is shown in Figure 1 as being lightly wooded, and pre-colonial ecological vegetation classes show the land being a mix of damp sands herb woodlands and grassy woodlands.

While the rich cultural heritage of Traditional Owners in Elwood continues to have a strong presence to this day, their lifestyle and lands were severely impacted following the onset of European colonisation, particularly after the arrival of the Glen Huntly emigrant ship in Port Phillip Bay in 1840 (Finn 1888, 596-597). The ship was carrying 157 Scottish passengers, with fifty suffering from Typhus fever. A makeshift quarantine settlement was immediately established adjacent to the shore on Point Ormond near to the precinct, then known as Little Red Bluff (Moore 1990). As shellfish harvests took place right alongside the station, superintendent Charles La Trobe ordered the expulsion of all Aboriginal camps from the area (Eidelson 2006, 42). La Trobe's actions formed merely one part of a wider colonial process of displacement and dispossession, which would have continued terrible ramifications for generations.



Figure 1. c.1864 illustration of Point Ormond and the coast looking towards St Kilda, representing a pre-developed landscape. Source: Clark, T. c.1864. Red Bluff Brighton (Point Ormond). Watercolour painting, accession no: H299. State Library of Victoria.

Contextual history

Elwood's first land sales took place until 1851, which saw the subdivision of land in both St Kilda and what was then known as 'North Elwood' into generous allotments (Surveyor General's Department 1851). Early developments on these allotments comprised a scattering of freestanding mansion estates, including the extant Elwood House at 30 & 30A Vautier Street, Elwood (c.1850s) (Heritage Alliance 2005, 12; Eidelson 2006). Erected on higher ground towards the Esplanade, these mansions solidified Elwood's southern fringe as a prestigious seaside location. Meanwhile, most of the present day suburb to the north of Glen Huntly Road comprised a wetland known as the Elwood Swamp (Public Record Office of Victoria 1851). Deemed unsuitable for residential development, the wetland was soon transformed into a site for noxious trades required by European settlement, with a night soil depot established at Barkly Street in 1857, an open slaughter yard established in 1858 and an abattoir building erected in 1861 (see Figure 2) (Way Back When Consulting Historians 2021, 29-30).

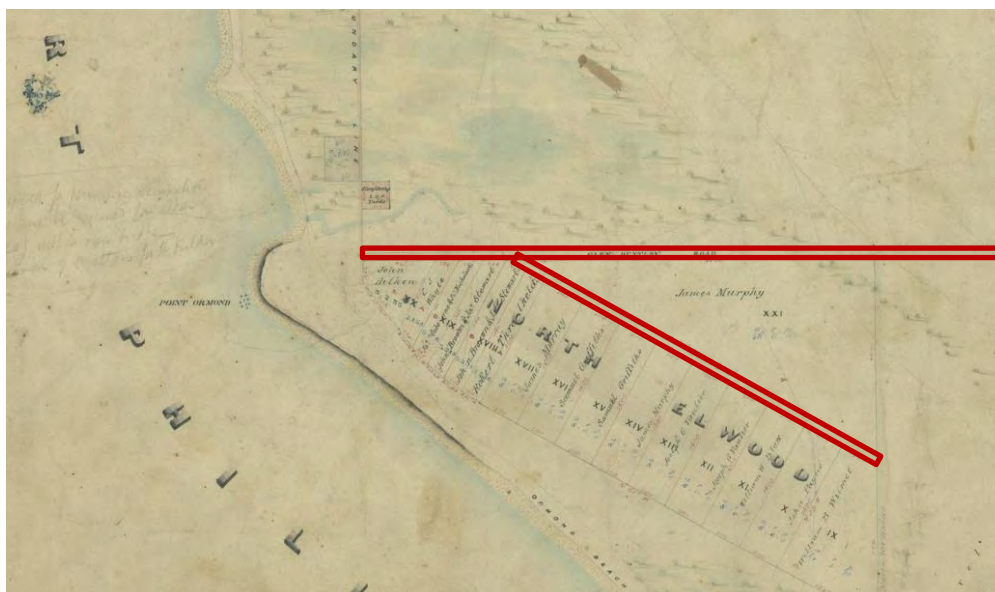


Figure 2. 1851 map showing 'North Elwood' allotments south of the wetland, and Glen Huntly and Ormond Roads marked in red. Source: Surveyor General's Department, Port Phillip Branch. 1851. 'Village of Elsternwick.' Map. Citation no. VPRS 8168/P0002. Public Record Office Victoria.

The suburb underwent a period of change during the 1880s land boom, which not only spurred the subdivision of mansion estates and vacant land into suburban housing estates, but also encouraged the closure of noxious trade facilities and subsequent swamp reclamation works via the development of the Elwood Canal by 1897 (The Caulfield and Elsternwick Leader 1889, 4). Estates created in response to the 1880s Elwood land boom were largely unsuccessful however, with only a relatively small number of villas like 31 Vautier Street, Elwood built during this period due to the lack of public transport and the hovering misconception that Elwood was a polluted 'swampland' (Heritage Alliance 2005, 16-17). Little evidence now remains of this initial phase of Elwood's development, and many of the small number of villas that were built have since been demolished in the subsequent waves of development (Heritage Alliance 2005, 16-17).

Intense residential development in the suburb only truly took off in the early twentieth century following the completion of Elwood Canal in 1897 and the opening of the Victorian Railways St Kilda to Brighton electric tramway line in 1906. By 1908, the first land sales on what once comprised the wetlands had taken place, paving way for further urban growth. More intense than its 1880s predecessor, this period saw the subdivision of remaining sparse mansion estates in Elwood, as well as rapid residential development on the reclaimed wetland and in area south of Ormond Road (Heritage Alliance 2005, 21-23). While much of the earlier Victorian housing stock was demolished as part of this phase of development, several of them were also retained on smaller allotments. Today, the most extensive evidence of Elwood's failed boom era estates can be seen in clusters along Byron Street, Cyril Street, Mason Street and Moore Street (Heritage Alliance 2005, 18).

Eri-eriwah, 31 Vautier Street, Elwood

31 Vautier Street, Elwood was constructed in the 1880s for importer William H. Heginbottom and Selina Heginbottom, who gave it the name Eri-eriwah (The Argus 1887, 1). According to Rate Books, it appears that the main body of the house was built in the mid-1880s, while additions to the property were added in the late 1880s (St Kilda Rate Books). The extent of the dwelling's completed footprint is depicted in a 1906 MMBW map, which shows its projecting bay windows and symmetrical façade fronting Vautier Street (MMBW 1906) (refer Figure 3). Despite a scattering of other Victorian mansions and villas within the vicinity, including Elwood House at 30 & 30A Vautier Street, the surrounding area is only sparsely developed, reflecting the tentative nature of development in Elwood during Melbourne's 1880s boom period.

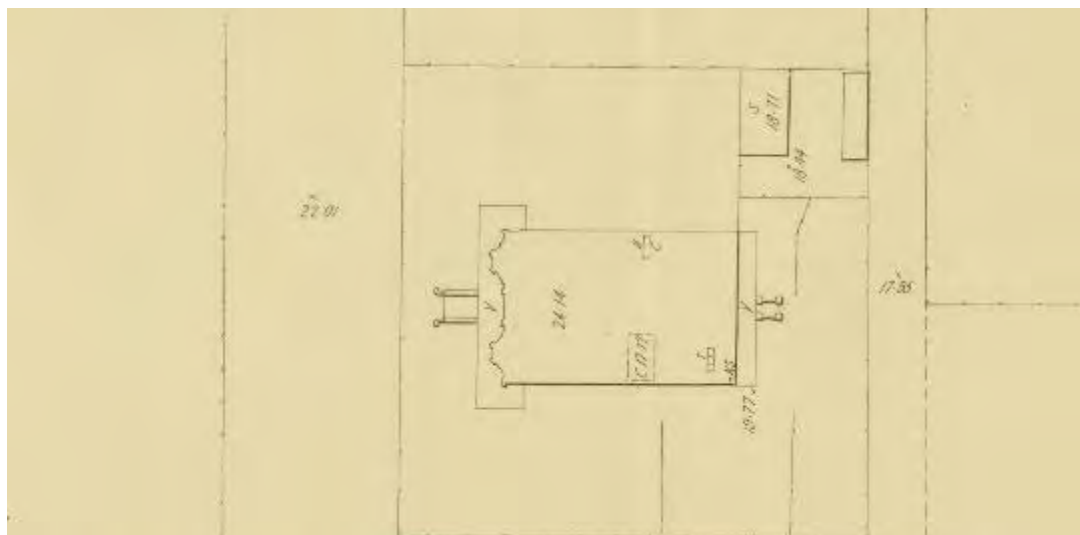


Figure 3. 1906 MMBW map depicting footprint of 31 Vautier Street, Elwood. Source: State Library of Victoria, Melbourne & Metropolitan Board of Works, detail plan no. 1792, 1906.

Following Selina Heginbottom's death in 1909, Eri-eriwah was put up for auction, with one newspaper advertisement describing the property as "A VERY DESIRABLE W.B. [weatherboard] VILLA. Containing 7 Rooms, with Kitchen, Scullery, Stables, Coach House, & c.. Sewered, Gas and Electric Light Laid on" (The

Age 1909, 2; The Argus 1909, 7). The dwelling was ultimately sold by auctioneers Beauchamp Brothers in conjunction with J. W. Watt in 1912 for £1150 (The Herald 1912, 7). Known occupants following the Heginbottoms include the Murphy family, who re-named the dwelling Clonmel and resided at the property until 1923 (Sands & McDougall 1920; The Herald 1920, 14).

The property, then numbered 35, was put up for auction again in 1923 and described as:

SPLENDID VILLA RESIDENCE... The Villa Residence is Magnificently Built of Timber Construction, on Massive Bluestone Foundations, Block Front and Slate Roof; it contains 11 Exceptionally Fine Rooms, 22x15, 17x18, 17x15 & c; Kitchenette, Tiled Hall, Beautifully Made Built-in Wardrobes, Bathroom, Internal and External Sewerage, Front and Back Verandahs, Laundry, Stabling, & c., Electric Light Throughout. The Villa Would Make a Splendid Hospital, Boarding, or Apartment House or Private Residence (The Argus 1923, 3).

Described as having eleven as opposed to the original seven rooms in this advertisement, the dwelling was presumably enlarged during the Murphy occupancy. Ownership of the property changed hands several more times throughout the mid to late twentieth century, however the extent of alterations during this period is unknown. Eri-eriwah was last sold in 2018 and continues to be used as a private residential property.

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State Library of Victoria, Sands & McDougall Street Directories of Victoria, 1920 ed.

Surveyor General's Department, Port Phillip Branch. 1851. 'Village of Elsternwick.' Map. Citation no. VPRS 8168/P0002. Public Record Office Victoria.

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The Argus. 1887. 'Family Notices.' 13 January 1887.

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The Argus. 1923. 'Classified Advertising.' 15 September 1923.



The Caulfield and Elsternwick Leader. 1889. 'Elsternwick Improvement Committee'. 11 May 1889, 4.

The Herald. 1912. 'REAL PROPERTY.' 25 March 1912.

The Herald. 1920. 'Family Notices.' 27 April 1920.

Way Back When Consulting Historians. 2021. 'Thematic Environmental History.' Unpublished report prepared for the City of Port Phillip. PDF file.

Description

Eri-eriwah is a single-storey Victorian era weatherboard villa designed in an Italianate style. The timber weatherboard structure is finished with a white paint and rusticated along the façade, and its form is distinguished by its double fronted symmetrical arrangement of projecting bays. The hipped roof is clad in slate and has enclosed bracketed eaves. There are four symmetrical positioned chimneys with cornice mouldings and is clad with a slate tile with lead ridge capping.

The deep verandah which extends across the façade in front of the projecting bays has an encaustic tile floor edged in bluestone and is supported by rounded cast iron columns with simple capitals and ornate arched iron filigree lacework. A central projecting gable roof with a cast iron frieze and finial extends over the central front steps. The main entrance consists of a four-panel timber door set within a wide arched opening. The assembly features sidelights with margin glazing of red coloured glass and a three-pane fanlight with frosted glass. The main entrance is flanked by two projecting bay windows each with three timber sash windows and side timber pilasters. .

The rear elevation includes a barrel-vaulted room and roof which leads to the rear verandah and timber deck. The verandah features an alternating orange and yellow square floor tile and is supported on cast iron posts detailed with filigree trim. Large contemporary openings flanking the original fenestration provide access to the outdoor spaces and backyard. The rear elevation includes an upper-level room set within an open gable roof extension.

Eri-eriwah is set back from the street allowing for a wide front yard. The front boundary along Vautier Street has a rendered masonry wall that is recessed at the centre with a wrought iron gate leading to the stone tiled front path. The backyard includes a small formal garden and a swimming pool. A single storey garage consisting of concrete blockwork and a skillion roof is located beside the swimming pool and garden with access to the rear laneway.

Known alterations and additions to the house include:

- Early extensions to the original structure likely included the rear of the residence containing the barrel-vaulted room (late 1880s).
- Outbuildings, including stables and coach house, removed (after 1923).
- Recladding of roof sections with corrugated sheet metal.
- The rendered masonry front wall.
- Upper floor weatherboard gable along the rear elevation.
- Large floor to ceiling window and door openings added to the rear elevation.
- Timber deck with glass balustrade to the rear.

Eri-eriwah is in good condition. With the exception of the front wall, alterations and additions to the main residence remain obscured when viewed from the public domain. The residence appears largely intact and original detailing along the façade have been retained. It is of high integrity overall.

Comparative analysis

While Melbourne's 1880s land boom saw an extraordinary period of land speculation and residential growth across the city's inner suburbs, the suburb of Elwood was somewhat precluded from this developmental wave. Of the few attempted boom era estates in Elwood, only three had entirely filled out with housing by 1897. This comparative lack of boom era development in Elwood was due to the isolation of the suburb from public transport and services, as well as the then prevailing misconception of Elwood as a polluted 'swampland' (Heritage Alliance 2005, 17). With this, late Victorian dwellings are less common in Elwood in comparison to the neighbouring suburb of St Kilda (Heritage Alliance 2005, 16).

The few boom era dwellings in Elwood comprised mansions situated on generously sized allotments that were often oriented towards the sea, and middle class villas on suburban allotments. Eri-eriwah was built on a suburban allotment facing Vautier Street in the popular and extravagant Italianate style. A reflection of status and wealth, this style was defined by heavily embellished towers, large octagonal bay windows, and deep front porches and verandahs that were often positioned to maintain a strong visual relationship and presence within its setting. Ornamentation was generous yet tasteful, and typically comprised cast-iron elements and lacework, encaustic tiling, and moulded cement detail.

Eri-eriwah is a fine single-storey, double fronted Victorian Italianate villa distinguished by its picturesque arrangement of projecting octagonal bays, hipped verandah roof, gabled entrance porch and iron filigree lacework. Despite its weatherboard construction, its exceptional detailing including the finely cast, iron frieze verandah gablet, tiled verandah, wide hallway and entry door elevate its design above other comparable villas of this period.

Comparative examples within Elwood include:

- **House, 20 Scott Street, Elwood (Citation 11).** Built in 1892 as a speculative venture by Brighton developed William Cowper, 20 Scott Street, Elwood compares to Eri-eriwah as a less ostentatious example of a late Victorian villa. Key comparative features include its symmetrical double fronted arrangement of projecting octagonal bays, low pitched hipped slate roofs with bracketed eaves and profiled corbelled chimneys. While its stuccoed masonry construction may be more impressive than the more modest weatherboard materials used at Eri-eriwah, it is considerably less expressive and intact owing to the loss of filigree lacework detailing, and absence of a central main entrance.
- **Duncairn, 25 Beach Avenue, Elwood (Significant).** Duncairn comprises a single-storey Italianate style villa built in c.1885. As with Eri-eriwah, it is characterised by a formal symmetrical façade arrangement with projecting octagonal bays, low-pitched hipped roofs clad with slate, bracketed eaves, symmetrically positioned profiled corbelled chimneys, sash windows and an elegantly filigreed verandah. Although its stuccoed walls are more sophisticated than Eri-eriwah's weatherboard construction, Duncairn is overall less expressive when compared to Eri-eriwah's distinct filigreed gabled entrance porch.
- **Tiuna, 8 Tiuna Grove, Elwood (Citation 372).** Built in 1884, Tiuna comprises a fine two-storey Victorian Italianate marine villa. Although more impressive and extravagant in terms of its masonry construction, larger scale, and setting within a larger allotment, it nevertheless shares with Eri-eriwah similarities in detailing and form. These include its double fronted façade, symmetrical arrangement of a central main entrance flanked by projecting octagonal bays, a full run front porch with ornate cast iron posts and lacework, and profiled corbelled chimneys. As with Eri-eriwah, Tiuna also maintains a strong picturesque relationship to its landscape, owing to its deep front porch and verandah.

Assessment

This place has been assessed in accordance with the processes and guidelines outlined in the Australia ICOMOS *Charter for Places of Cultural Heritage Significance* (The Burra Charter) 2013, using the HERCON criteria.

Recommendations

Retain in the Heritage Overlay as a Significant place within the Glen Huntly and Ormond Road Precinct.

Primary source

Extent Heritage Pty Ltd, *Elwood Heritage Review*, prepared for City of Port Phillip, 2023.

Other studies

Andrew Ward & Associates, *City of Port Phillip Heritage Review*, prepared for City of Port Phillip, 1998.

Other images



Figure 4. West facing view of the front façade.



Figure 5. Oblique view of the roof and chimneys



Figure 6. Detail view of the front façade alignment.

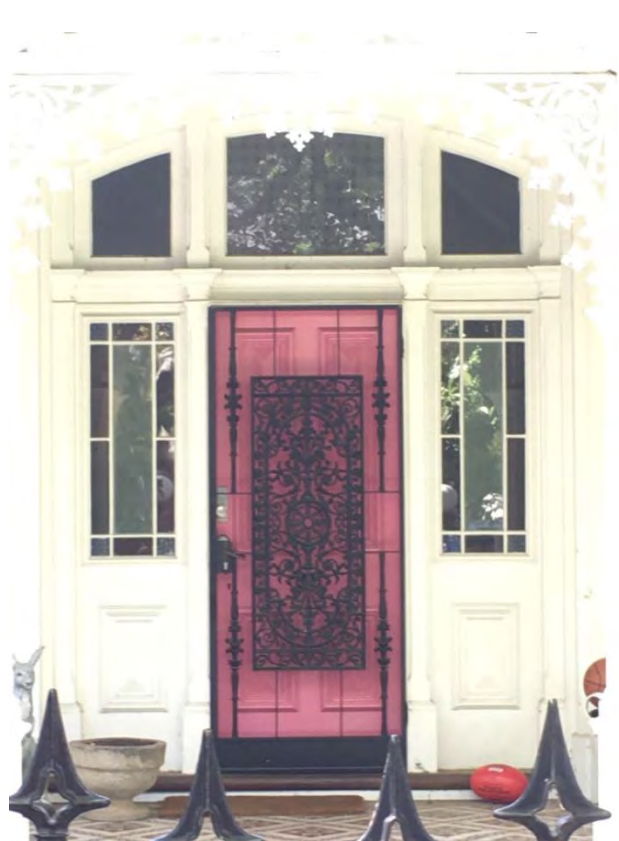


Figure 7. Detailed view of main entrance door and front porch encaustic tiling.

City of Port Phillip Heritage Review

Place name: Newhaven
Other names: Flats

Citation No: 447



Address: 3 Byrne Avenue, Elwood

Category: Residential: Flats

Style: Interwar: Arts & Crafts

Constructed: 1926-27

Designer: E. Jennings & Sons

Amendment: TBA

Comment: Revised citation

Heritage Precinct: Elwood: Glen Huntly Road & Ormond Road

Heritage Overlay: HO8

Graded as: Significant

Victorian Heritage Register: No

Significance

What is significant?

Newhaven, designed and constructed by E. Jennings & Sons in 1926-27 at 3 Byrne Avenue, Elwood is significant. The original front boundary fence also contributes to the significance of the place.

Alterations and additions are not significant.

How is it significant?

Newhaven is of local aesthetic significance to the City of Port Phillip.

Why is it significant?

Newhaven is of aesthetic significance as a highly intact and eclectic example of an Arts and Crafts style flat building. Imposing in scale, the two-storey flat building is primarily distinguished by its symmetrical arrangement, incorporation of a raised loggia derived from Spanish Mission antecedents, open gables with overhanging eaves, roughcast walls punctuated with clinker brickwork and unusual copper cladding to the flared canopies of its two front window bays. These highly detailed features, along with its original low front boundary clinker brickwork fence, combine to form an expressive flat building along the residential streetscape. (Criterion E)

Thematic context

Victoria's framework of historical themes

6. Building towns, cities and the garden state: 6.3 Shaping the suburbs, 6.7 Making homes for Victorians

Port Phillip thematic environmental history

5. Buildings and cultural landscapes: 5.2 Shaping the suburbs (5.2.2 Private development), 5.3 Diverse Housing (5.3.5 Higher-density housing – Flats and high-rises)

History

Pre-colonial history

For thousands of years preceding European colonialism, the land and environmental surrounds of Elwood was home to the Yalukit Willam clan of the Boonwurrung language group, who occupied territory east of the Werribee River to St Kilda. With lands adjacent to the sea and in proximity to the neighbouring Elwood wetlands, this environment provided Traditional Owners with access to an abundance of resources, including freshwater vegetables, wildfowl and eels from the Elwood wetlands, as well as saltwater shellfish, fish and crustaceans from the reef. Meanwhile, the rocky headland of red, brown and yellow sandstone, now known as Point Ormond, was a prominent feature in the landscape that provided views across Port Phillip Bay (refer to Figure 1). Archaeological records indicate that the area of Point Ormond was an active campsite, with stone axes and bowl awls recovered in the area in the 1970s (Eidelson 2006, 42). A shell midden was also uncovered in close proximity to Point Ormond, suggesting that the Boon Wurrung people in the area cooked shellfish gathered from the reef (Ellender and Weaver 1994). The land on which the precinct would come to be located on is shown in Figure 1 as being lightly wooded, and pre-colonial ecological vegetation classes show the land being a mix of damp sands herb woodlands and grassy woodlands.

While the rich cultural heritage of Traditional Owners in Elwood continues to have a strong presence to this day, their lifestyle and lands were severely impacted following the onset of European colonisation, particularly after the arrival of the Glen Huntly emigrant ship in Port Phillip Bay in 1840 (Finn 1888, 596-597). The ship was carrying 157 Scottish passengers, with fifty suffering from Typhus fever. A makeshift quarantine settlement was immediately established adjacent to the shore on Point Ormond near to the precinct, then known as Little Red Bluff (Moore 1990). As shellfish harvests took place right alongside the station, superintendent Charles La Trobe ordered the expulsion of all Aboriginal camps from the area (Eidelson 2006, 42). La Trobe's actions formed merely one part of a wider colonial process of displacement and dispossession, which would have continued terrible ramifications for generations.



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Contextual history

Elwood's first land sales took place until 1851, which saw the subdivision of land in both St Kilda and what was then known as 'North Elwood' into generous allotments (Surveyor General's Department 1851). Early developments on these allotments comprised a scattering of freestanding mansion estates, including the extant Elwood House at 30 & 30A Vautier Street, Elwood (c.1850s) (Heritage Alliance 2005, 12; Eidelson 2006). Erected on higher ground towards the Esplanade, these mansions solidified Elwood's southern fringe as a prestigious seaside location. Meanwhile, most of the present-day suburb to the north of Glen Huntly Road comprised a wetland known as the Elwood Swamp (Public Record Office of Victoria 1851). Deemed unsuitable for residential development, the wetland was soon transformed into a site for noxious trades required by European settlement, with a night soil depot established at Barkly Street in 1857, an open slaughter yard established in 1858 and an abattoir building erected in 1861 (see Figure 2) (Way Back When Consulting Historians 2021, 29-30).

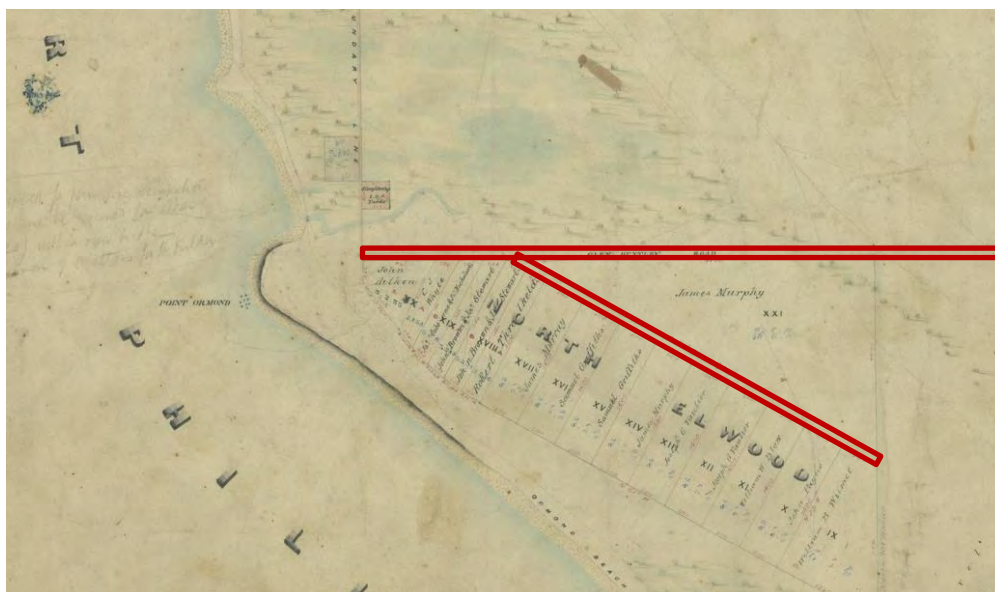


Figure 2. 1851 map showing 'North Elwood' allotments south of the wetland, and Glen Huntly and Ormond Roads marked in red. Source: Surveyor General's Department, Port Phillip Branch. 1851. 'Village of Elsternwick.' Map. Citation no. VPRS 8168/P0002. Public Record Office Victoria.

The suburb underwent a period of change during the 1880s land boom, which not only spurred the subdivision of mansion estates and vacant land into suburban housing estates, but also encouraged the closure of noxious trade facilities and subsequent swamp reclamation works via the development of Elwood Canal by 1897 (The Caulfield and Elsternwick Leader 1889, 4). By 1908, the first land sales on what once comprised the wetlands had taken place, paving way for further urban growth. Notably, the construction of Elwood Canal, along with the opening of the Victorian Railways St Kilda to Brighton electric tramway line in 1906 (and the Glen Huntly tramway in 1915), spearheaded another development boom in Elwood during the first two decades of the twentieth century. More intense than its 1880s predecessor, this period saw the subdivision of remaining sparse mansion estates on what was then known as 'North Elwood' (see Figure 2), as well as rapid residential development on the reclaimed wetland and in the area south of Ormond Road (Heritage Alliance 2005, 21-23).

Following the reclamation of the wetlands by 1905 and the expansion of the tramway networks soon after, more land became available and accessible. While newly erected building stock in the early twentieth century in Elwood predominantly comprised of freestanding middle-class bungalows, the area was also a popular location for residential flats. Initially appearing in Melbourne in 1906, flats slowly spread to the suburbs and appeared close to transport routes, particularly along or within walking distance of tram routes to facilitate easy travel to the city (Way Back When Consulting Historians 2021, 95). With its proximity to the beach and parklands, good public transport networks and seaside character, both the suburbs of Elwood and St Kilda became popular destinations for this type of housing stock. By the mid-1920s, Elwood had been transformed into a comfortable middle-class residential estate. An established tramline on Glen Huntly Road and a fully developed landscape south of this arterial route can be seen in a c.1925 aerial photograph (refer Figure 3). By 1935, despite a slowing of development due to the Great Depression, the St Kilda municipality contained over 2,800 flats in over 500 blocks (Way Back When Consulting Historians 2021, 96). A further 2,000 flats were added by 1940; however, the onset of World War II slowed development. Nonetheless, by 1947 St Kilda contained 5,500 purpose-built flats, a quarter of all flats in Melbourne (Way Back When Consulting Historians 2021, 96).



Figure 3. c.1925 photograph of Elwood looking southeast. Source: Charles Daniel Pratt. c.1925. Elwood area on Port Phillip Bay. Photograph. State Library of Victoria.

Newhaven, 3 Byrne Avenue, Elwood

Newhaven was constructed in 1926-27 for L. Green to designs by architects and builders E. Jennings & Sons. Comprised of a two-storey block of six flats, original architectural plans depict an Arts and Crafts style flat building distinguished by a symmetrical composition, projecting open gables and raised loggias (refer Figure 4 & Figure 5). While the original plans do not depict the express moulded lettering reading 'Newhaven', it is likely that this feature was added as part of the construction phase, as the flat building is officially listed as 'Newhaven Flats' in directories from as early as 1930 (Sands & McDougall 1930). The original plans also show a proposed freestanding garage along the rear of the western elevation, although its subsequent erasure indicates that this was never built (refer Figure 5). A contemporary freestanding double garage was later added along the western elevation, however it does not form part of the original structure. As of 2022, the building continues to remain in use as private residential flats.

Newhaven was one of four blocks of flats erected from 1926 to 1927 in Byrne Avenue. E. Jennings & Son also constructed San Remo flats at 5 Byrne Avenue, while the builder N. J. Brook (also spelt as Brooke or Brooks) erected the identical flats Canoblas and Erembi at 7 & 9 Byrne Avenue. Brook also constructed a near identical block at 18 Tiuna Grove in 1925.

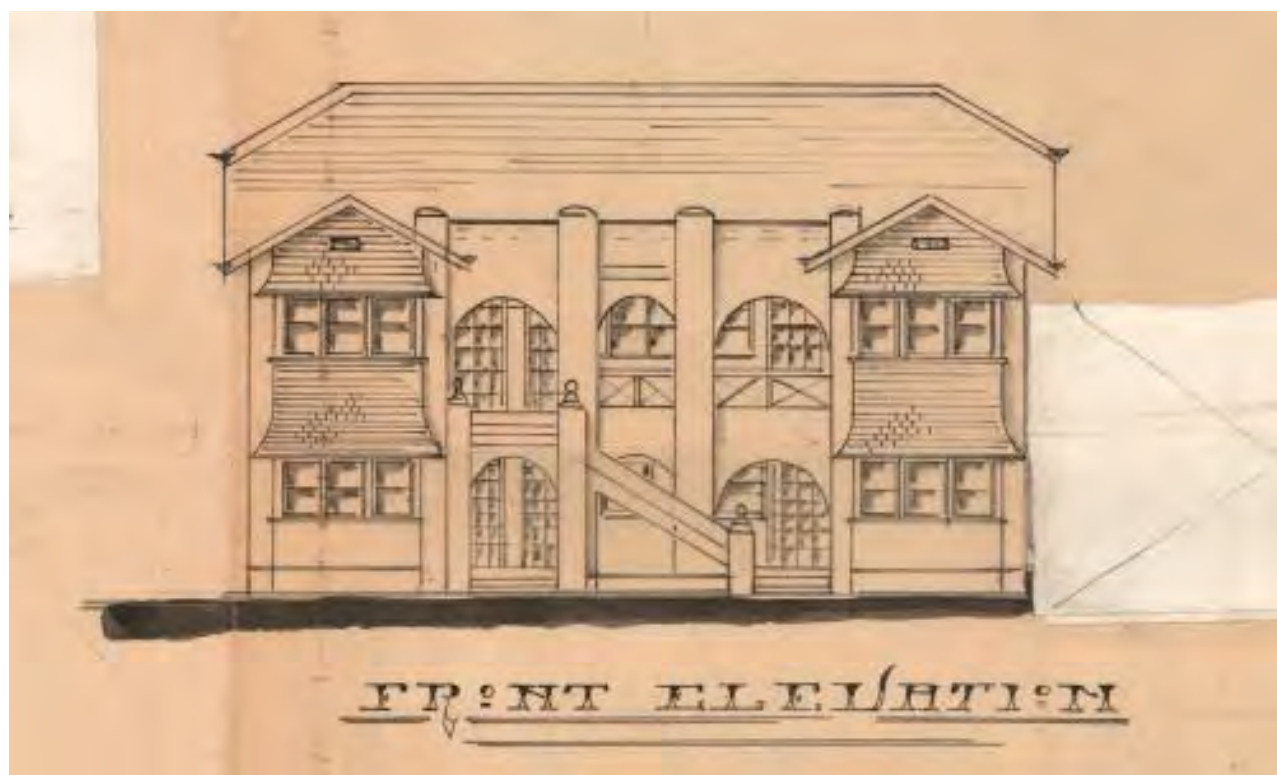


Figure 4. Plan of the two storey flats at Byrne Avenue, Elwood for L. Green Esq. Source: E. Jennings & Sons Builders. n.d. Drawings of 3 Byrne Avenue, Elwood. Council Records. City of Port Phillip.

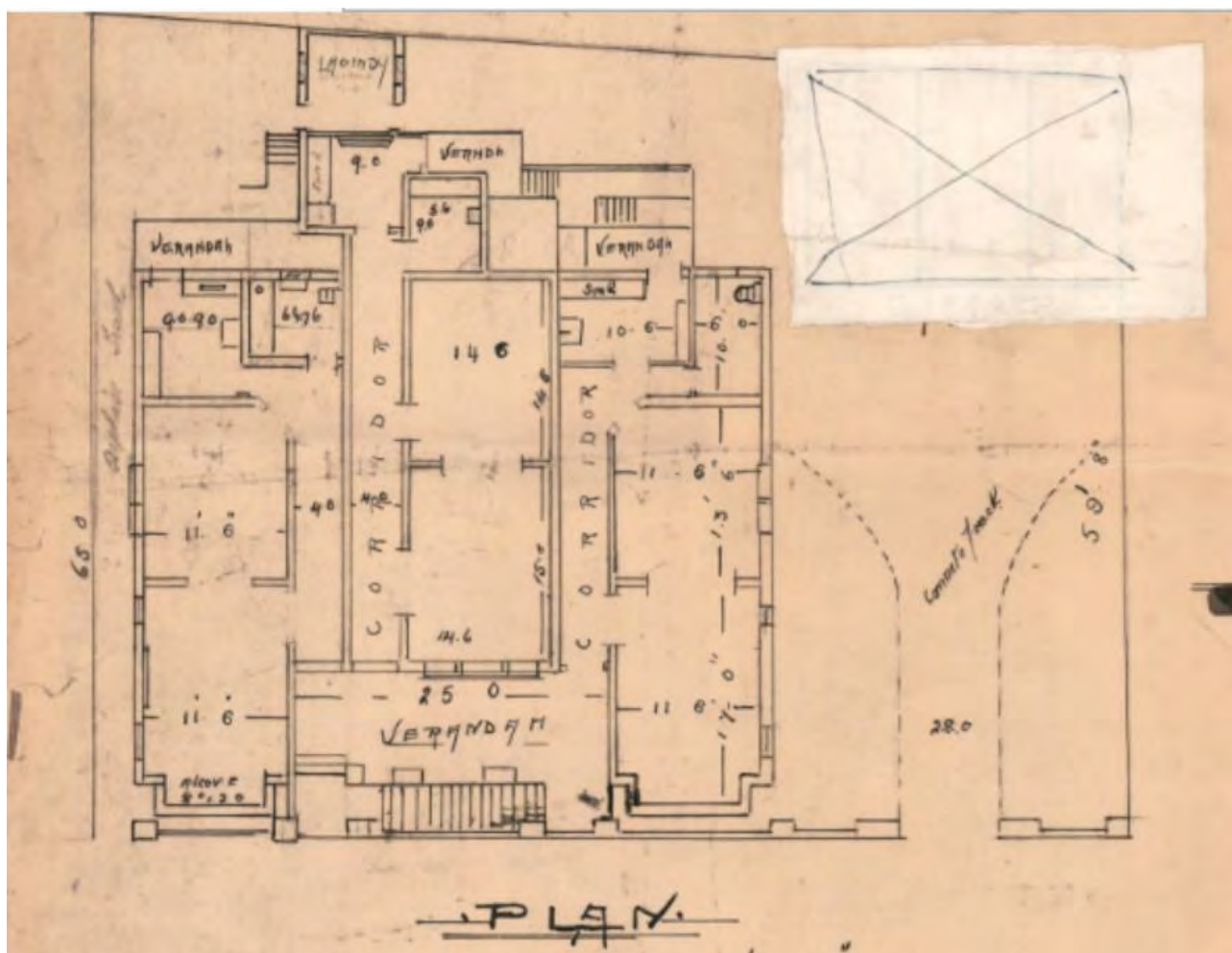


Figure 5. Plan of the two storey flats at Byrne Avenue, Elwood for L. Green Esq. Source: E. Jennings & Sons Builders. n.d. Drawings of 3 Byrne Avenue, Elwood. Council Records. City of Port Phillip.

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Description

Newhaven is a two-storey Interwar Arts and Crafts flat building. The masonry structure is finished with a white roughcast render punctuated by face clinker brick base and arches, red timber window frames, and copper cladding to the flared canopies of its two front window bays. The hipped roof is clad with terracotta Marseilles tiles and features two projecting open gable roofs supported on timber brackets along the front façade.

The façade presents a symmetrical arrangement divided into three main bays. The widest central bay is characterised by raised loggias with face brick voussoirs and keystone, and is demarcated by engaged piers across both levels. The ground level consists of two arched openings with an asymmetrically positioned external staircase. The external staircase provides access to the upper level entrances and features a balustrade consisting of two piers and an arched brick balustrade with a recessed brick motif. Meanwhile, the upper level is characterised by three arched openings with expressed moulded lettering aligned over the central arch reading 'Newhaven'. The central bay is topped with a flat parapet and engaged piers with an expressed flat cap with vertically laid brick patterning. Additional face brick detailing includes interspaced revealed vertical brick motifs with an 'I' shape.

The central bay is flanked by the projecting bay windows topped with the open gable roof overhang. A bank of three timber sash windows is situated across both levels. Flared copper clad window canopies with timber lined eaves visually dominate both levels and are a main focal point of the façade.

The side elevations are simply detailed with small fixed windows with leadlight glass and expressed rendered level course. The open gable roof with exposed rafter tails overhangs the structure along the side elevations. The rear east elevation includes a corrugated sheet metal clad skillion roof extension. A freestanding single storey hipped roof garage structure is located off the southern elevation and is accessed via a concrete laid driveway off Byrne Avenue.

Newhaven is situated on a relatively small allotment and occupies the majority of the site. It is narrowly set back from the street and the street front boundary is demarcated by the external staircase and original low boundary clinker brick wall, the latter of which forms a raised garden bed along the apartment.

Known alterations to the property include:

- Repainted elements, including the raised porch floor and stairs, external stair balustrade, and expressed lettering.



- Freestanding single storey addition comprising a hipped roof garage with two roller doors.
- Timber paling fence and gate added to the southern elevation.
- Relaying of the driveway and pathway with concrete.
- Six skylights added to the main roof.
- Recladding of the rear skillion roof with corrugated sheet metal.
- Minor accretions, including new rainwater goods.

Comparative analysis

The Arts and Crafts style drew on precedents established by the nineteenth century Arts and Crafts movement in England (and in the United States) as demonstrated through the work of important English architects such as C.F.A. Voysey (Apperley et al 1989, 140). Distinguished by an emphasis on craftsmanship, utility, structural ‘authenticity’ and a truth to materials, this architectural style typically made use of traditional (usually English) vernacular motifs to achieve an ‘unassuming, homely, well-established character’ (Apperley et al 1989, 140). In Australia, Arts and Crafts style buildings are usually characterised by ‘earthy’ natural colours, textures and materials such as face brick, roughcast render, timber shingles and stonework. The roof is a dominant element, usually steeply pitched with prominent and often bracketed eaves. Tall tapering chimneys battered wall buttresses and bay windows are also characteristic elements of the style (Apperley et al 1989, 140).

The growing popularity of the Arts and Crafts style by the interwar period coincided with the proliferation of flat development in Elwood, resulting in the application of this picturesque style to the flat typology throughout the late 1910s and 1920s. Constructed in 1926-27, Newhaven not only forms a tangible link to this trend, but comprises a fine and highly intact example of an Arts and Crafts style flat in terms of its open gables, roughcast walls punctuated with clinker brickwork, prominent eaves and grouped windows. Its Spanish Mission style loggia and use of copper cladding are also notable as these features very unusual and expressive of the Arts and Crafts style. There are several Arts and Crafts style flats within the City of Port Phillip that Newhaven can be compared to. These include:

- **The Desboro, 61 Shelley Street, Elwood (Citation 917).** The Desboro was built in the early 1920s and comprises a two-storey block of Arts and Crafts style flats sited on a prominent corner allotment. While more impressive than Newhaven in terms of scale and well-resolved arrangement of elements along its two street façades, it draws several noted similarities including a refined symmetrical arrangement, shingled bays- which can be compared to Newhaven’s arrangement of flared canopies along its front window bays, prominent open gables, overhanging eaves with exposed rafter tails, an external staircase and timber framed sash windows. It is somewhat less intact than Newhaven due to several alterations, including the removal of the shingled bulkheads above its corner bay windows, and the enclosing of the corner balcony.
 - **Tyrell House, 6 Charnwood Grove, St Kilda (Citation 870).** Constructed in 1926, Tyrell House compares to Newhaven as a highly intact Arts and Crafts style flat building erected during the interwar era. Although it also adopts bungalow features in regards to its asymmetry and combination of sloping hipped and gable roof forms as opposed to more formal symmetrical façade, it nevertheless shares with Newhaven similarities in terms of its overhanging eaves and exposed rafter tails, projecting bay windows, timber joinery, and prominent open gable supported with timber brackets. Of the two, Newhaven is more visually distinct owing to a combination of its refined symmetrical composition, two-storey Spanish Mission style loggia and unusual use of a skin copper cladding to the flared canopies of its two front window bays.
 - **The Wandsworth, 13 Glen Huntly Road, Elwood (Citation 1986).** Constructed in c.1920, the Wandsworth comprises a two-storey block of Arts and Crafts style flats that compares to Newhaven in terms of its open gable forms supported by timber brackets, external staircases, timber framed sash
-

windows and overhanging eaves. However, as with Tyrell House, it adopts a more bungalow appearance due to its sloping roof forms and asymmetrical arrangement along the southern elevation. It is overall less eclectic and articulated than Newhaven, which is set apart by its use of varied materials including copper, clinker brickwork and roughcast and well-resolved incorporation of a two-storey Spanish Mission style loggia.

Assessment

This place has been assessed in accordance with the processes and guidelines outlined in the Australia ICOMOS *Charter for Places of Cultural Heritage Significance* (The Burra Charter) 2013, using the HERCON criteria.

Recommendations

Retain in the Heritage Overlay as a Significant place within the Glen Huntly and Ormond Road Precinct. Designate front fence as not exempt under Clause 43.01-4.

Primary source

Extent Heritage Pty Ltd, *Elwood Heritage Review*, prepared for City of Port Phillip, 2023.

Other studies

Andrew Ward & Associates, *City of Port Phillip Heritage Review*, prepared for City of Port Phillip, 1998.

Other images

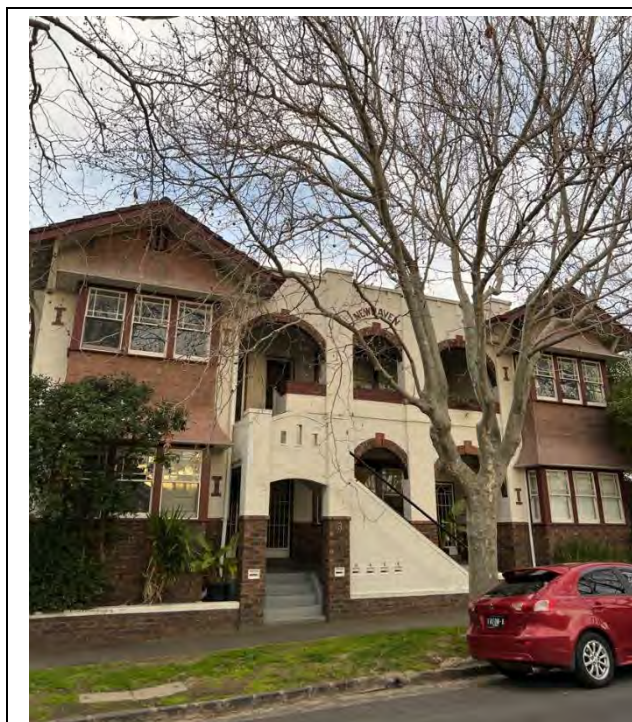


Figure 6. Front facade view Newhaven.



Figure 7. Detail view of central bay.



Figure 8. Detail view of loggias and stair.



Figure 9. Detail view of projecting bay.



Figure 10. Detail view of flared copper clad hood.

City of Port Phillip Heritage Review

Place name: Rochelle
Other names: Flats

Citation No: 918



Address: 67 Shelley Street, Elwood

Category: Residential: Flats

Style: Interwar: Spanish Mission

Constructed: 1926-27

Designer: E. Jennings & Sons

Amendment: TBA

Comment: Revised citation

Heritage Precinct: Elwood: Glen Huntly & Ormond Roads

Heritage Overlay: HO8

Graded as: Significant

Victorian Heritage Register: No

Significance

What is significant?

Rochelle, designed and constructed by E. Jennings & Sons in c. 1926-1927, at 67 Shelley Street, Elwood is significant. The original low roughcast boundary fence, along with the original carports along the western and eastern elevations also contribute to the significance of the place.

Alterations and additions are not significant.

How is it significant?

Rochelle is of local aesthetic significance to the City of Port Phillip.

Why is it significant?

Rochelle is of aesthetic significance as a fine and highly intact example of a two storey Spanish Mission style flat building with lingering Arts and Crafts style elements. It forms a visually distinct building in the streetscape due to its imposing corner siting. It is distinguished by its elegantly arranged facades, including repetitive arched openings along Shelley Street, projecting bay windows derived from Arts and Crafts style antecedents, rendered wall finishes and the elaborate gable parapet marking the axis of symmetry along the Shelley Street façade. These features, along with the incorporation of eclectic detailing including timber sash windows with delicate leadlight detailing to the windows, and the lettering on the Shelley Street façade reading 'Rochelle', combine to form an elegant and expressive flat design. (Criterion E)

Thematic context

Victoria's framework of historical themes

6. Building towns, cities and the garden state: 6.3 Shaping the suburbs, 6.7 Making homes for Victorians

Port Phillip thematic environmental history

5. Buildings and cultural landscapes: 5.2 Shaping the suburbs (5.2.2 Private development), 5.3 Diverse Housing (5.3.5 Higher density housing)

History

Pre-colonial history

For thousands of years preceding European colonialism, the land and environmental surrounds of Elwood was home to the Yalukit Willam clan of the Boonwurrung language group, who occupied territory east of the Werribee River to St Kilda. With lands adjacent to the sea and in proximity to the neighbouring Elwood wetlands, this environment provided Traditional Owners with access to an abundance of resources, including freshwater vegetables, wildfowl and eels from the Elwood wetlands, as well as saltwater shellfish, fish and crustaceans from the reef. Meanwhile, the rocky headland of red, brown and yellow sandstone, now known as Point Ormond, was a prominent feature in the landscape that provided views across Port Phillip Bay (refer to Figure 1). Archaeological records indicate that the area of Point Ormond was an active campsite, with stone axes and bowl awls recovered in the area in the 1970s (Eidelson 2006, 42). A shell midden was also uncovered in close proximity to Point Ormond, suggesting that the Boon Wurrung people in the area cooked shellfish gathered from the reef (Ellender and Weaver 1994). The land on which the precinct would come to be located on is shown in Figure 1 as being lightly wooded, and pre-colonial ecological vegetation classes show the land being a mix of damp sands herb woodlands and grassy woodlands.

While the rich cultural heritage of Traditional Owners in Elwood continues to have a strong presence to this day, their lifestyle and lands were severely impacted following the onset of European colonisation, particularly after the arrival of the Glen Huntly emigrant ship in Port Phillip Bay in 1840 (Finn 1888, 596-597). The ship was carrying 157 Scottish passengers, with fifty suffering from Typhus fever. A makeshift quarantine settlement was immediately established adjacent to the shore on Point Ormond near to the precinct, then known as Little Red Bluff (Moore 1990). As shellfish harvests took place right alongside the station, superintendent Charles La Trobe ordered the expulsion of all Aboriginal camps from the area (Eidelson 2006, 42). La Trobe's actions formed merely one part of a wider colonial process of displacement and dispossession, which would have continued terrible ramifications for generations.



Figure 1. c.1864 illustration of Point Ormond and the coast looking towards St Kilda, representing a pre-developed landscape. Source: Clark, T. c.1864. Red Bluff Brighton (Point Ormond). Watercolour painting, accession no: H299. State Library of Victoria.

Contextual history

Elwood's first land sales took place until 1851, which saw the subdivision of land in both St Kilda and what was then known as 'North Elwood' into generous allotments (Surveyor General's Department 1851). Early developments on these allotments comprised a scattering of freestanding mansion estates, including the extant Elwood House at 30 & 30A Vautier Street, Elwood (c.1850s) (Heritage Alliance 2005, 12; Eidelson 2006). Erected on higher ground towards the Esplanade, these mansions solidified Elwood's southern fringe as a prestigious seaside location. Meanwhile, most of the present day suburb to the north of Glen Huntly Road comprised a wetland known as the Elwood Swamp (Public Record Office of Victoria 1851). Deemed unsuitable for residential development, the wetland was soon transformed into a site for noxious trades required by European settlement, with a night soil depot established at Barkly Street in 1857, an open slaughter yard established in 1858 and an abattoir building erected in 1861 (see Figure 2) (Way Back When Consulting Historians 2021, 29-30).

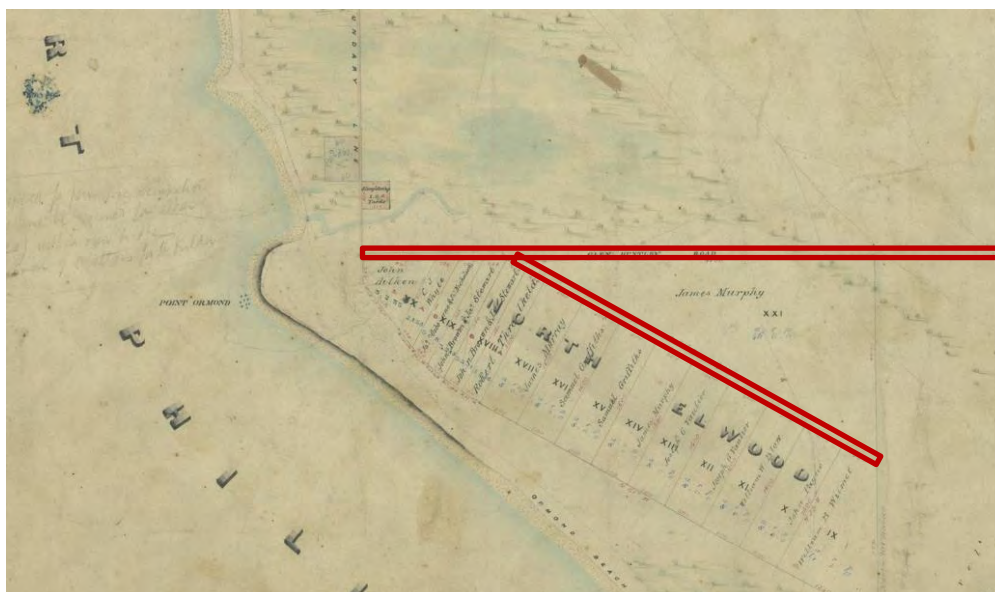


Figure 2. 1851 map showing 'North Elwood' allotments south of the wetland, and Glen Huntly and Ormond Roads marked in red. Source: Surveyor General's Department, Port Phillip Branch. 1851. 'Village of Elsternwick.' Map. Citation no. VPRS 8168/P0002. Public Record Office Victoria.

The suburb underwent a period of change during the 1880s land boom, which not only spurred the subdivision of mansion estates and vacant land into suburban housing estates, but also encouraged the closure of noxious trade facilities and subsequent swamp reclamation works via the development of the Elwood Canal by 1897 (The Caulfield and Elsternwick Leader 1889, 4). By 1908, the first land sales on what once comprised the wetlands had taken place, paving way for further urban growth. Notably, the construction of Elwood Canal, along with the opening of the Victorian Railways St Kilda to Brighton electric tramway line in 1906 (and the Glen Huntly tramway in 1915), spearheaded another development boom in Elwood during the first two decades of the twentieth century. More intense than its 1880s predecessor, this period saw the subdivision of remaining sparse mansion estates on what was then known as 'North Elwood' (see Figure 2), as well as rapid residential development on the reclaimed wetland and in the area south of Ormond Road (Heritage Alliance 2005, 21-23). Although development was initially concentrated on Ruskin Street, which first appears in the directory in 1913, streetscapes of new housing along the newly formed Addison Street, Meredith Street and Broadway soon followed (Heritage Alliance 2005, 23-33). Meanwhile, Shelley Street was slower to develop, with development only taking place from the 1920s onwards (St Kilda Council 1914-1946).

While newly erected building stock in the early twentieth century in Elwood predominantly comprised of freestanding middle-class bungalows, the area was also a popular location for residential flats. Initially appearing in Melbourne in 1906, flats slowly spread to the suburbs and appeared close to transport routes, particularly along or within walking distance of tram routes to facilitate easy travel to the city (Way Back When Consulting Historians 2021, 95). With its proximity to the beach and parklands, good public transport networks and seaside character, both the suburbs of Elwood and St Kilda became popular destinations for this type of housing stock, and by 1935, despite a slowing of development due to the Great Depression, the St Kilda municipality contained over 2,800 flats in over 500 blocks by 1935 (Way Back When Consulting Historians 2021, 96). A further 2,000 flats were added by 1940; however, the onset of World War II slowed development. Nonetheless, by 1947 St Kilda contained 5,500 purpose-built flats, a quarter of all flats in Melbourne (Way Back When Consulting Historians 2021, 96).

Rochelle, 67 Shelley Street, Elwood

Rochelle, the flats at 67 Shelley Street, Elwood were constructed to designs by E. Jennings & Sons for A. E. Henderson in c. 1926-1927 (City of St Kilda Building Register). E. Jennings & Sons were designers and builders who were also responsible for the alterations to the old tramway building in Acland Street St Kilda to a market in c. 1928 (The Herald 1928, 15; The Prahran Telegraph 1926, 1). By 1928, various flats in the building were put up for lease, with one newspaper advertisement describing Flat No. 6 of Rochelle as:

SUPERIOR MODERN FLAT TO LET, 4 rooms, kitchen, sleep-out, balcony, bathroom, self-contained, garage opt.; exceptional opportunity, before summer season (The Argus 1928, 14).

In 1934, the flats were surrounded with water, several inches of which covered the front paths of the flats when a section of the stone wall along Marine Parade, Elwood was smashed down by heavy seas (The Argus 1934, 9). However, the building does not appear to have suffered damage as part of these floods. The street numbering of the flat building was changed some time in the late twentieth century and was listed as 81 Shelley Street until at least 1950 (The Argus 1950, 16). As of 2022, the building continues to remain in use as private residential flats.

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Description

Rochelle comprises a two-storey interwar era apartment building designed in the Spanish Mission style. The residential flat building presents a dominant form and massing, occupying a corner allotment fronting Shelley Street to the north and Barkly Street to the west. It is located to the east of the Robinson Reserve and Point Ormond. The building occupies most of the property. The primary northern elevation presents a minimal setback to the street front boundary and is defined by the projecting hipped bays and low rendered wall with squat piers that wraps around to the western elevation where a greater setback allows for a wider garden.

The building is finished with a roughcast render, and punctuated with smooth rendering emphasising the building form, openings and detailing. The hipped roof is clad with glazed concrete Marseilles tiles and extends over the structure with timber lined eaves. Several rendered chimneys with incised panelling extend from the roof.

The north elevation addresses Shelley Street and presents a strong, symmetrical and well-balanced composition divided into five bays. The central bay is set back from the façade and features an elaborately shaped decorative pediment. A projecting twin pilaster divided into four panels by smooth rendered bands with incised details at top separates two pairs of boxed double sash windows with moulded architraves on both levels. The street front fence along the centre bay is demarcated by a low rendered brick wall with

squat piers and a small garden. The fence and garden also wrap around the corners and sides of the building.

The two bays flanking the central bay are identical. Each has central double entry doors with leadlight glass below a rendered nameplate with extruded lettering reading 'Rochelle', and a projecting bay window with leadlight glass and a skillion hood awning. Stepped and extruded vertical pilasters frame the entrance, nameplate and bay window. Large, arched openings frame enclosed porch and balconies on each side. Each porch and balcony are accessed via French doors with narrow arched side windows on the outer walls. The minor outer bays have a double sash window bank on both levels at the east end and small square boxed windows with leadlight glass at the west end.

The western elevation fronting Barkly Street comprises an asymmetrical layout characterised by Arts and Crafts style influences, including a projecting three-sided bay with sash windows with leadlight glass, timber shingled skirt and skillion hood. A double sash window bank on the ground level and a cantilevered timber shingle clad balcony with skillion hood on the upper level is located to the south of the projecting bay. The elevation includes a two-door garage and open balcony with pergola above. The southern elevation includes four, interspaced projecting hipped roof bays. The eastern elevation includes single storey garage additions, accessed via a side laneway.

Known alterations to the property include:

- Roof retiled (1967).
- Structure repainted.
- Infilling of some arched porch openings with glazing along the primary southern elevation and the cantilevered balcony on the western elevation.
- Extensions to the garages including the balcony with glass balustrade and pergola along the western elevation.
- Additional carport comprising roller shutter door along eastern elevation fronting Shelley Street.
- Multiple skylights added to the rear facing roof plane (by 2009).
- Window architraves and frames repainted (by 2017).
- Front white double doors repainted (2018).
- Gardens relandscaped (2018).
- Minor accretions include new rainwater goods, wall mounted air conditioning units and conduits.

Rochelle is in good condition. Its original form is intact as is most of the original detailing. Visible alterations include the repainted colour scheme, infilling of arched openings and the cantilevered balcony with glazing. However, the primary northern elevation is largely intact and the original, Spanish Mission design can be readily appreciated. Rochelle is of high integrity overall.

Comparative analysis

By the late nineteenth century, architects in California recognised the value of their own historic surroundings and were inspired by the Spanish Colonial mission heritage of California and the Southwest. These West Coast architects launched the Mission Revival style, which was characterised by silhouetted shapes that mimicked the old missions, with large stucco surfaces, often punctuated by deep windows and door openings, exterior surfaces usually devoid of any ornamental detail, and gable and hipped roofs with overhanging eaves and typically sheathed with red clay tile (National Park Service 2019).

In Victoria, the closely related Spanish Mission and Mediterranean styles were popular during the interwar period. Spanish Mission reflected the Californian ideal of Spanish style whilst the Mediterranean style, being

more restrained and formal in appearance, more accurately represented the architecture of Spain and Italy (Apperly et al 1989, 172; Creative Victoria 2016). As in California, both the Spanish Mission and Mediterranean styles were particularly suited to St Kilda and Elwood's seaside location, and quickly became a popular style for flat development. Aesthetically, the massing and restrained character of the Mediterranean style underlines a relationship to the Georgian Revival. Balconies are common, deep porches shade entrance doors and the eaves lines are more prominent, and the classical detailing tends to be more playful than that of the Georgian style (Barrett 2021). Key details include pergolas, balconies, arcaded loggia and a formal entrance, with sidelights and highlights. On the other hand, the Spanish Mission style was more romantic and evocative in appearance, and typically distinguishable from the Mediterranean by its asymmetrical compositions, decorative parapets, concentrations of elaborate ornamentation contrasted against plain surfaces, and twisted Baroque/barley twist columns.

Rochelle was constructed in c. 1926-1927 by E. Jennings & Sons. Rochelle is distinguished by its prominent corner siting and resulting form, as seen in the use of repetitive arched forms and the projecting bay windows. Although somewhat restrained in ornamentation, it nevertheless exemplifies the key elements of the Spanish Mission style, including its repeated bold arched openings facing to Shelley Street, rendered wall finish to the underside of the eaves, the tall, elaborate gable parapet which marks the axis of symmetry of the Shelley Street façade and the pitched, tiled roof abutting the parapet wall. At the foot of the parapet wall is a small, landscaped area surrounded by a low, curved, rendered fence, punctuated with brick piers. Noticeably, Rochelle is also further distinguished by its incorporation of lingering Arts and Crafts influences, as can be seen in the timber clad bay windows with timber frames projecting from the walls. Additional ornamental features such as the timber sash windows with delicate leadlight detailing to the windows, and the cast cement lettering on the Shelley Street façade reading 'Rochelle' combine to create an elegant flat design.

Other Spanish Mission style flat buildings within the City of Port Philip that the Rochelle can be compared to include:

- **Southey Court, 41 Milton Street, Elwood (Citation 2064).** Also built in the late 1920s, Southey Court compares as an interwar Spanish Mission style flat building with rendered facades, overhanging hipped roof with terracotta tiles, sash windows with expressed timber frames, and arched openings facing the street. As with Rochelle, it is also distinguished by its prominent corner siting and resulting form, as seen in the projecting arched entrance bay with external staircase and use of repetitive arch forms. It has also similarly seen several minor alterations, including the infilling of arched porch openings with glazing.
- **Alcazar, 3 Glen Eira Road, Ripponlea (Citation 327).** Constructed in 1929, Alcazar draws comparisons as an Interwar Spanish Mission style block of maisonettes. Key analogous features include the Arts and Crafts derived bay windows with timber frames projecting from the front façade, arched balcony openings (now enclosed), timber sash windows (with delicate leadlight detailing to some windows in the front façade) and the use of light-coloured stucco walls to the underside of the eaves, albeit with contrasting clinker brick elements. Other key analogous features include the pitched, tiled roof and the low front boundary fence. It lacks the commanding corner siting of Rochelle and is overall less impressive in terms of scale and visual prominence.
- **Winnipeg, 51 Blessington Street, St Kilda (Citation 427).** Constructed in 1920, Winnipeg compares as an Interwar Spanish Mission style flat building with rendered finishes, arched openings facing the street, and the gable parapet which marks the axis of symmetry of the Blessington Street façade (albeit smaller in scale than the Rochelle parapet). Other analogous features include the timber sash windows with delicate leadlight detailing, lettering on the front façade and contrasting use of roughcast and smooth render. Although somewhat more detailed than Rochelle due to its incorporation of Barley Twist columns and precast shell mouldings, its overall form is more restrained in comparison to Rochelle's prominent two-storey arcaded loggias.

While the highly expressive nature of the Spanish Mission style has resulted in a wide array of examples with varied forms and details, Rochelle, Southey Court, Alcazar and Winnipeg present comparable forms

with similar elements, including repetitive arched forms, rendered facades, overhanging hipped or pitched roofs (generally with terracotta tiles) and ornamental features such as leadlight detailing to the windows. They are all fine examples of highly intact Spanish Mission style flats that are distinguished by their site responsiveness and eclectic use of detailing.

Assessment

This place has been assessed in accordance with the processes and guidelines outlined in the Australia ICOMOS *Charter for Places of Cultural Heritage Significance* (The Burra Charter) 2013, using the HERCON criteria.

Recommendations

Retain in the Heritage Overlay as a Significant place within the Glen Huntly and Ormond Road Precinct. Designate front fence as not exempt under Clause 43.01-4.

Primary source

Extent Heritage Pty Ltd, *Elwood Heritage Review*, prepared for City of Port Phillip, 2023.

Other studies

Andrew Ward & Associates, *City of Port Phillip Heritage Review*, prepared for City of Port Phillip, 1998.

Other images



Figure 3. Overview of primary northern elevation fronting Shelley Street.



Figure 4. View of flanking bay along primary northern elevation.



Figure 5. Overview of western elevation fronting Barkly Street.



Figure 6. South-east facing oblique overview.



Figure 7. Detail view of cast cement lettering.



Figure 8. Overview of central bay and decorative parapet.



Figure 9. Detail view of Arts and Crafts style projecting bay window with leadlight detailing.



Figure 10. Detail view of central bay and decorative parapet along primary southern elevation.

City of Port Phillip Heritage Review

Place name: Shelley Court
Other names: Flats

Citation No: 805



Address: 59 Shelley Street, Elwood

Category: Residential: Flats

Style: Interwar: Georgian Revival

Constructed: 1930

Designer: E. Jennings & Sons

Amendment: TBA

Comment: Revised citation

Heritage Precinct: Elwood: Glen
Huntly Road & Ormond Road

Heritage Overlay: HO8

Graded as: Significant

Victorian Heritage Register: No

Significance

What is significant?

Shelley Court, designed by E. Jennings & Sons in 1930 at 59 Shelley Street, Elwood is significant. The original front and side boundary fence and the forecourt concrete flooring with the terrazzo inlay also contribute to the significance of the place.

Alterations and additions are not significant.

How is it significant?

Shelley Court is of local aesthetic significance to the City of Port Phillip.

Why is it significant?

Shelley Court is of aesthetic significance as a highly intact and well resolved example of an interwar Georgian Revival flat building. It forms a visually distinct building along the streetscape and is distinguished by its balanced and formal symmetrical layout demarcated into five bays, broad hipped roof flanked by projecting hipped roof bays clad with terracotta tiling, smooth render finish, three-arched loggia entrance, profiled chimneys, sash windows and careful use of detailing comprising imitation quoining, moulded shell motifs, moulded architraves, and Tuscan columns. These features, along with its original boundary fence, forecourt concrete flooring with terrazzo inlay and prominent corner siting combine to form an attractive and imposing flat building that demonstrates the resurgence of the Georgian Revival style in the later interwar years. (Criterion E)

Thematic context

Victoria's framework of historical themes

6. Building towns, cities and the garden state: 6.3 Shaping the suburbs, 6.7 Making homes for Victorians

Port Phillip thematic environmental history

5. Buildings and cultural landscapes: 5.2 Shaping the suburbs (5.2.2 Private development), 5.3 Diverse Housing (5.3.5 Higher-density housing – Flats and high-rises)

History

Pre-colonial history

For thousands of years preceding European colonialism, the land and environmental surrounds of Elwood was home to the Yalukit Willam clan of the Boonwurrung language group, who occupied territory east of the Werribee River to St Kilda. With lands adjacent to the sea and in proximity to the neighbouring Elwood wetlands, this environment provided Traditional Owners with access to an abundance of resources, including freshwater vegetables, wildfowl and eels from the Elwood wetlands, as well as saltwater shellfish, fish and crustaceans from the reef. Meanwhile, the rocky headland of red, brown and yellow sandstone, now known as Point Ormond, was a prominent feature in the landscape that provided views across Port Phillip Bay (refer to Figure 1). Archaeological records indicate that the area of Point Ormond was an active campsite, with stone axes and bowl awls recovered in the area in the 1970s (Eidelson 2006, 42). A shell midden was also uncovered in close proximity to Point Ormond, suggesting that the Boon Wurrung people in the area cooked shellfish gathered from the reef (Ellender and Weaver 1994). The land on which the precinct would come to be located on is shown in Figure 1 as being lightly wooded, and pre-colonial ecological vegetation classes show the land being a mix of damp sands herb woodlands and grassy woodlands.

While the rich cultural heritage of Traditional Owners in Elwood continues to have a strong presence to this day, their lifestyle and lands were severely impacted following the onset of European colonisation, particularly after the arrival of the Glen Huntly emigrant ship in Port Phillip Bay in 1840 (Finn 1888, 596-597). The ship was carrying 157 Scottish passengers, with fifty suffering from Typhus fever. A makeshift quarantine settlement was immediately established adjacent to the shore on Point Ormond near to the precinct, then known as Little Red Bluff (Moore 1990). As shellfish harvests took place right alongside the station, superintendent Charles La Trobe ordered the expulsion of all Aboriginal camps from the area (Eidelson 2006, 42). La Trobe's actions formed merely one part of a wider colonial process of displacement and dispossession, which would have continued terrible ramifications for generations.



Figure 1. c.1864 illustration of Point Ormond and the coast looking towards St Kilda, representing a pre-developed landscape. Source: Clark, T. c.1864. Red Bluff Brighton (Point Ormond). Watercolour painting, accession no: H299. State Library of Victoria.

Contextual history

Elwood's first land sales took place until 1851, which saw the subdivision of land in both St Kilda and what was then known as 'North Elwood' into generous allotments (Surveyor General's Department 1851). Early developments on these allotments comprised a scattering of freestanding mansion estates, including the extant Elwood House at 30 & 30A Vautier Street, Elwood (c.1850s) (Heritage Alliance 2005, 12; Eidelson 2006). Erected on higher ground towards the Esplanade, these mansions solidified Elwood's southern fringe as a prestigious seaside location. Meanwhile, most of the present day suburb to the north of Glen Huntly Road, including Shelley Street and surrounds, comprised a wetland known as the Elwood Swamp (Public Record Office of Victoria 1851). Deemed unsuitable for residential development, the wetland was soon transformed into a site for noxious trades required by European settlement, with a night soil depot established at Barkly Street in 1857, an open slaughter yard established in 1858 and an abattoir building erected in 1861 (see Figure 2) (Way Back When Consulting Historians 2021, 29-30).

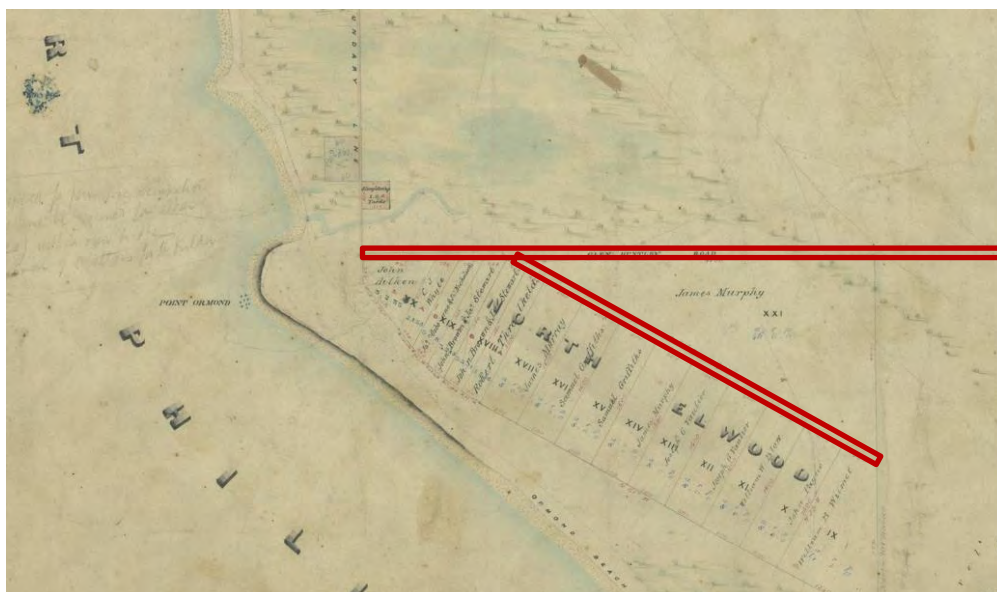


Figure 2. 1851 map showing 'North Elwood' allotments south of the wetland, and Glen Huntly and Ormond Roads marked in red. Source: Surveyor General's Department, Port Phillip Branch. 1851. 'Village of Elsternwick.' Map. Citation no. VPRS 8168/P0002. Public Record Office Victoria.

The suburb underwent a period of change during the 1880s land boom, which not only spurred the subdivision of mansion estates and vacant land into suburban housing estates, but also encouraged the closure of noxious trade facilities and subsequent swamp reclamation works via the development of the Elwood Canal by 1897 (The Caulfield and Elsternwick Leader 1889, 4). By 1908, the first land sales on what once comprised the wetlands had taken place, paving way for further urban growth. Notably, the construction of Elwood Canal, along with the opening of the Victorian Railways St Kilda to Brighton electric tramway line in 1906 (and the Glen Huntly tramway in 1915), spearheaded another development boom in Elwood during the first two decades of the twentieth century. More intense than its 1880s predecessor, this period saw the subdivision of remaining sparse mansion estates on what was then known as 'North Elwood' (see Figure 2), as well as rapid residential development on the reclaimed wetland and in the area south of Ormond Road (Heritage Alliance 2005, 21-23). Although development was initially concentrated on Ruskin Street, which first appears in the directory in 1913, streetscapes of new housing along the newly formed Addison Street, Meredith Street and Broadway soon followed (Heritage Alliance 2005, 23-33). Meanwhile, Shelley Street was slower to develop, with development only taking place from the 1920s onwards (St Kilda Council 1914-1946).

While newly erected building stock predominantly comprised of freestanding middle-class bungalows, the area was also a popular location for residential flats.

Initially appearing in Melbourne in 1906, flats slowly spread to the suburbs and appeared close to transport routes, particularly along or within walking distance of tram routes to facilitate easy travel to the city (Way Back When Consulting Historians 2021, 95). With its proximity to the beach and parklands, good public transport networks and seaside character, both the suburbs of Elwood and St Kilda became popular destinations for this type of housing stock, and by 1935, despite a slowing of development due to the Great Depression, the St Kilda municipality contained over 2,800 flats in over 500 blocks by 1935 (Way Back When Consulting Historians 2021, 96). A further 2,000 flats were added by 1940; however, the onset of World War II slowed development. Nonetheless, by 1947 St Kilda contained 5,500 purpose-built flats, a quarter of all flats in Melbourne (Way Back When Consulting Historians 2021, 96).

Shelley Court, 59 Shelley Street, Elwood

Shelley Court was constructed in 1930 for F. Watson. Designed and constructed by contractors E. Jennings & Sons of Caulfield in the Georgian Revival style. Located on the corner of Shelley Street and Addison Street, the two-storey building contained five one-bedroom flats, each with a 'sleepout' (City of St Kilda Building Register). The following year in 1931, The Herald published an article citing the construction of Shelley Court as representing the ongoing development of flats in St Kilda and Elwood:

'Building of Residential Flats Continues – During the past six months there has been activity in the building of residential flats, chiefly at St. Kilda and Elwood. Shelley Court, in Shelley Street, Elwood, recently completed, was built for the Watson Estate by Messrs Jennings and Son Pty. Ltd. Of smooth finish ivory cement, the outside walls are contrasted with woodwork of "fire-brigade red and terra cotta roof". An attractive color scheme. Entrance doors have a wide plate of black enamel at top and bottom, relieved by very large silver-plated door handles and lock settings, an idea adopted from the Coty stores of Paris. Inside living room walls are of texture finish in beige and gold, main bedrooms of gold and ombri, and children's sun-rooms of gold and pink. Bathrooms are of brilliant black tiles relieved with green and gold surrounds.' (The Herald 1931, 13)

Following completion of Shelley Court in 1930, the flat block comprising five separate residences was occupied continually thereafter. In 1976, the Australian Jewish News published an auction notice for Shelley Court:

'AUCTION, SATURDAY OCT. 9, AT 11.30 A.M. – "SHELLEY COURT" – 59 SHELLEY STREET ELWOOD – Executor's Sale. Splendid Block of 5 FLATS. 4-2 bedrooms, 1-1 Bedroom. Moderate Rentals \$6,396 P.A. 3 garages. 2 Cont. Tenancies. Inspect Strictly Thursdays, 3-4 P.M.' (The Australian Jewish News 1976, 35)

Shelley Court remains in use today as a flat block with five separate residences.



Figure 3. Proposed brick flats, Addison Street and Shelley Street, Elwood for F. Watson Esq (front elevation). Source: E. Jennings & Sons. 1930. Drawings of 59 Shelley Street, Elwood. Council Records. City of Port Phillip.

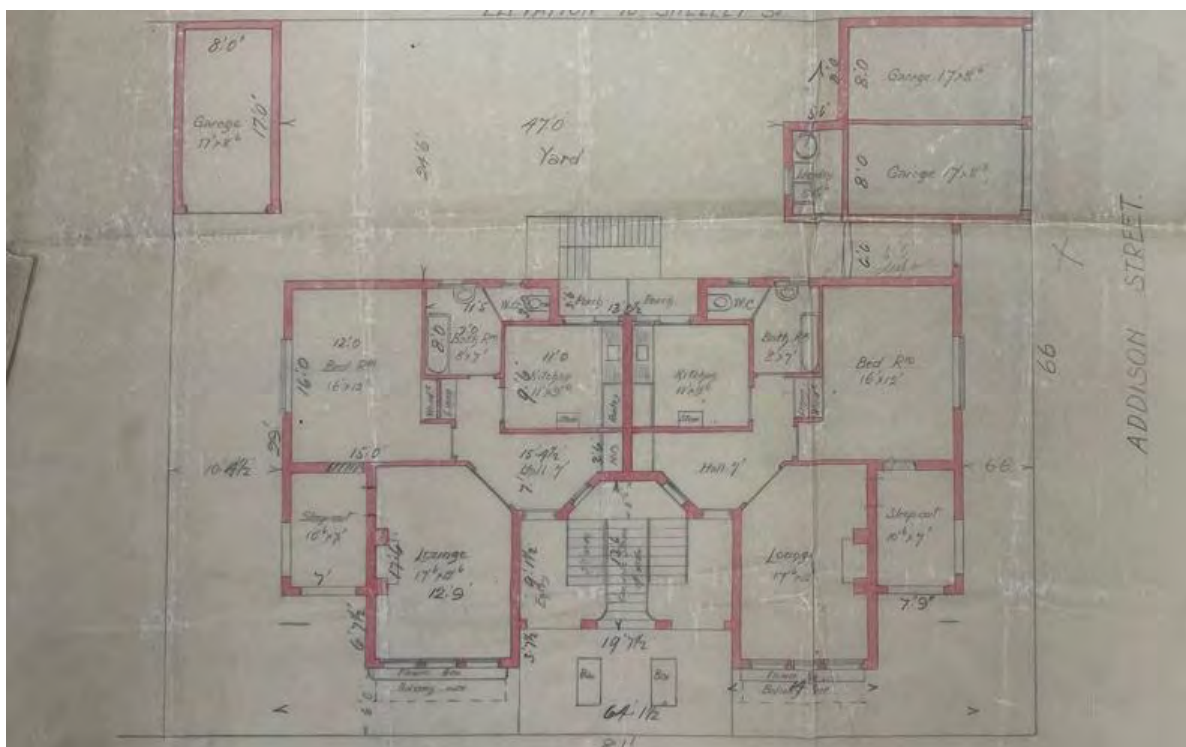


Figure 4. Proposed brick flats, Addison Street and Shelley Street, Elwood for F. Watson Esq (plan). Source: E. Jennings & Sons. 1930. Drawings of 59 Shelley Street, Elwood. Council Records. City of Port Phillip.

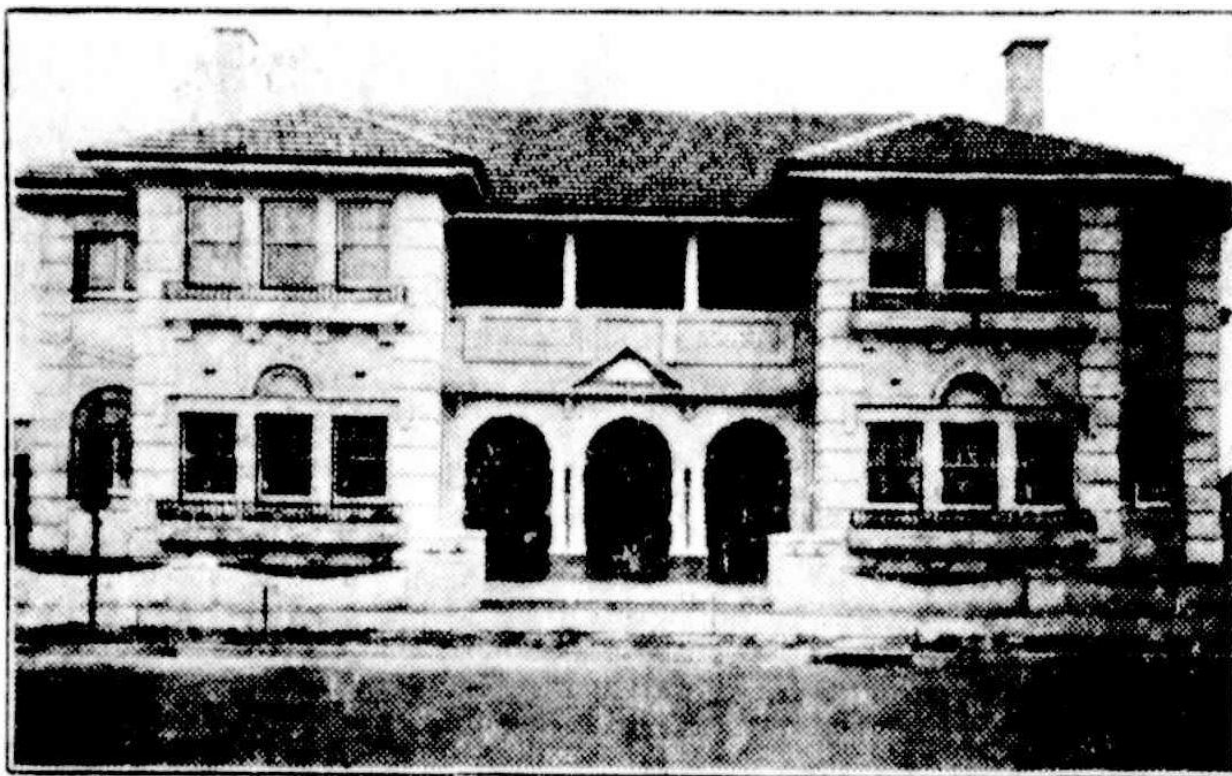


Figure 5. View of Shelley Court in 1931 right after completion. Source: *The Herald*. 1931. 'Building of Residential Flats Continues.' 21 January 1931.

E. Jennings & Sons

E. Jennings & Sons were building contractors based in Venus Street, Caulfield, in the early twentieth century (The Prahran Telegraph 1928, 3). In 1927, three years before the completion of Shelley Court, the Prahran Telegraph published an article regarding E. Jennings & Sons:

'Rapidly nearing completion in Commercial road, Prahran, is a fine two-story showrooms and factory for Mr. J. Passmore, whose business is rapidly extending. In choosing the buildings, E. Jennings and Sons, Mr. Passmore used sound business judgement, as the firm is an old established one, noted for good, sound building construction on up to date lines, with strictly fair dealings. The rapid progress of the building points to sound and practical supervision. Other buildings completed recently by this firm are Colombo Courts, [54] Acland street, St. Kilda; Colton Courts, [92] Barkly street, St. Kilda; 14 Flats in Byrne avenue, Elwood, for Mr. L. Green; Leggett's ball room, [134] Greville street, Prahran. In flats, villas and factories they are specialists. Plans prepared, estimates free.' (The Prahran Telegraph 1927, 2)

Chunky detailing and highly abstracted Serlian window hood were a hallmark of E. Jennings & Son's Interwar designs (Helms 2022). Some of their other significant buildings within the municipality include Harley Court, 52 Acland Street, St Kilda (PPHR Citation 390); Corinthian, 5 Robe Street, St Kilda (PPHR Citation 789); and Shelley Court, 59 Shelley Street, Elwood (PPHR Citation 805).

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Description

Shelley Court is a two-storey Interwar era apartment block built in the Georgian Revival style. The apartment is located on a corner allotment fronting Shelley Street to the north and Addison Street to the west. The masonry structure is finished with a smooth render and imitation quoining with a cream-coloured finish. The structure includes a three-course, face clinker brick base. The hipped roof is clad with a terracotta Marseilles tiling and has wide timber lined eaves and Ogee guttering. Three roughcast rendered chimneys with a flat cap extends from the roof.

The front façade presents a balanced and formal symmetrical layout visually separated into five bays. The widest centre bay features an inset porch with a three-arched loggia entrance derived from Mediterranean antecedents. The arched openings are defined by two pairs of Tuscan columns set on a low face clinker brick pier. The recessed porch arrangement and column placement is reflected on the upper level with a corresponding covered verandah with two centred Tuscan columns. The porch includes wrought iron gates to the side openings while stairs along the central opening lead to the upper level. The forecourt concrete flooring, leading up to the porch, includes a terrazzo inlay. The façade between the recessed porch and verandah is detailed with an extruded hood mould with a pediment form, supported with four moulded dentils. The pediment form includes a moulded shell motif and is flanked by mouldings enclosing extruded lettering reading 'Shelley Court'.



Projecting hipped roof bays flank the central bay. Each bay features three sash windows with a six-pane upper sash on both levels. Both window bays include a balconette with four moulded dentils, extruded diamond relief, and a wrought iron balustrade. The ground level window bays feature the repeated extruded hood mould with a centred half round form around a shell moulding.

The flanking bays of the front façade present a narrow face with a single casement window on each level. The extruded hood mould and shell moulding is repeated on the ground level window. Elements on the facades including the porch flooring, columns and window frames are finished with a dark green paint while the wrought iron balustrade, shell motif, extruded lettering are finished with a dark red paint.

A two-storey garage wing extends south of the main structure. The western elevation fronting Addison Road presents an asymmetrical elevation contrasting the front façade. It features a similar materiality and detailing including the face brick base course, imitation quoining, and a three window bay with balconette on the upper level. The ground level includes a single door entrance with a moulded architrave and extruded hood with a pediment form. Located beside the door are two built-in garages, which retain the original tri-fold timber doors with four-pane upper windows and a pair of ornate cast iron door hinges.

Shelley Court is set back from the street allowing for a narrow garden space along the street front sides. The northern boundary and part of the western boundary is demarcated by an original rendered low masonry pier and curved wall. The piers beside the entry have integrated mailboxes. In front of the main entry is original concrete paving with inset terrazzo detailing. There is a tall privet hedge along the length of the wall. A concrete driveway extends south from Shelley Street to a paved parking area to the rear of the apartments.

Known alterations to the property include:

- Removal of the original rear free-standing garage.
- Relandscaping including new hedge wall, concrete laid driveway and rear parking area.
- Minor accretions include new chimney flashing, new rainwater goods, and aials mounted to the chimneys.
- Recent refurbishment of rendering including to the upper-level balconette along the front facade (from 2019).

There is some localised weathering and damaged sections of some rendered surfaces including along the front wall and lower-level balconette beside the loggia entrance. Shelley Court is in good condition and of high integrity overall.

Comparative analysis

The Georgian Revival style emerged in the early twentieth century and quickly became a popular style for flats, small scale office buildings and private residences due to a revived interest in colonial architecture in the interwar years. This resurgence in Australia is credited to William Hardy Wilson who visited Britain and the United States in the first decade of the twentieth century, going on to publish in 1923, *Old Colonial Architecture in New South Wales and Tasmania*. This period of design is characterised broadly by simplicity of form, rectilinear lines, symmetry and simplified classicism.

Constructed in 1930, the Shelley Court comprises a fine and highly articulated example of an interwar Georgian Revival flat building. It incorporates several of the key architectural features, including a hipped roof with broad flat eaves, a symmetrical rectilinear form and windows with multi-pane or margin glazing, as well as the decorative use of render to create simplified classical detailing. Within the municipality, Shelley Court can be most readily compared to:

- **El Sonia, 6 Fulton Street and I Palm Court, St Kilda East (Citation 776).** Constructed in 1935, El Sonia comprises a neatly conceived complex of four Georgian Revival style apartment

blocks with Moderne influences. Key comparative features include its almost symmetrical layout comprising a central bay with a broad hipped roof flanked by projecting hipped roof bays, application of quoining, use of timber framed sash windows, and prominent corner siting. It is distinguished from Shelley Court by its striking Art Deco stairwell and flanking cantilevered balconies with curved corners and horizontal banding. In comparison to Shelley Court, El Sonia is a less resolved and more experimental example of the Georgian Revival style as applied to a two-storey interwar flat building.

- **Wavenhoe, 32 Hotham Street, St Kilda East (Citation 337).** Constructed in 1927, Wavenhoe comprises a substantial interwar flat building also designed in the Georgian Revival style. It draws notable comparison in terms of its symmetrical layout, rectilinear form, hipped roof with deep flat eaves, smooth render finish, timber sash windows with margin glazing, and a prominent corner siting. The flanking bays at Wavenhoe are more pronounced and give the site a distinct U shape. Wavenhoe also boasts central and corner porches, with balconies above, on its recessed façade. The two sites also differ in decorative detailing, however both are in good condition and retain a high level of integrity.
- **Allendale, 108A Addison Street, Elwood (Contributory).** Although a 1932 duplex as opposed to a flat building, Allendale is comparable to Shelley Court as an intact Georgian Revival building that shares several similar features. Also designed by E. Jennings & Sons, it is similarly distinguished by its asymmetrical massing, hipped roof clad with terracotta tiling, use of quoining, smooth render finish and perhaps most noticeably, ornamentation in the form of a singular decorative moulded shell motif. Smaller in scale and lacking the rigid symmetrical arrangement of Shelley Court's projecting hipped roof bays, Allendale is evidently more simplistic in terms of form and siting. It thus emerges as a simpler and less resolved version of the earlier Shelley Court.

Assessment

This place has been assessed in accordance with the processes and guidelines outlined in the Australia ICOMOS *Charter for Places of Cultural Heritage Significance* (The Burra Charter) 2013, using the HERCON criteria.

Recommendations

Retain in the Heritage Overlay as a Significant place within the Glen Huntly and Ormond Road Precinct. Designate front fence as not exempt under Clause 43.01-4.

Primary source

Extent Heritage Pty Ltd, *Elwood Heritage Review*, prepared for City of Port Phillip, 2023.

Other studies

Andrew Ward & Associates, *City of Port Phillip Heritage Review*, prepared for City of Port Phillip, 1998.

Other images



Figure 6. Overview of the façade from Shelley Street.



Figure 7. Oblique south-east facing overview.



Figure 8. Detail view of central and projecting eastern bay along façade.



Figure 9. Detail view of the projecting western bay along façade and part of original front fence.



Figure 10. Detail view of imitation quoining and window detailing.

City of Port Phillip Heritage Review

Place name: State Savings Bank of Victoria
(Former)

Citation No: 360

Other names:



Address: 6 Ormond Road, Elwood

Category: Commercial: Bank

Style: Interwar: Free Classical

Constructed: 1922

Designer: Sydney Smith, Ogg & Serpell

Amendment: TBA

Comment: Revised citation

Heritage Precinct: Elwood: Glen
Huntly Road & Ormond Road

Heritage Overlay: HO8

Graded as: Significant

Victorian Heritage Register: No

Significance

What is significant?

The former State Savings Bank of Victoria, built in 1922 to designs by Sydney Smith, Ogg & Serpell at 6 Ormond Road, Elwood is significant.

Alterations and additions are not significant.

How is it significant?

The former State Savings Bank of Victoria is of local historical and aesthetic significance to the City of Port Phillip.

Why is it significant?

The former State Savings Bank of Victoria is of historical significance in demonstrating the establishment of commercial activities in the City of Port Phillip in the Federation and Interwar period. Commercial development in Ormond Road, Elwood expanded significantly during the 1910s, and Elwood Junction later became an important regional shopping precinct. The State Savings Bank at 6 Ormond Road, Elwood forms a tangible link to this key phase of development the municipality's history. (Criterion A)

The former State Savings Bank of Victoria is of local aesthetic significance as an intact and well-detailed interwar commercial building in the Interwar Free Classical style. It is a visually distinct building in the streetscape due to its Classically inspired façade, which presents a largely symmetrical layout demarcated into three bays, with recessed windows across the front façade featuring fixed fanlights with cross glazing

and frosted glass. These features, together with the expressed heavy horizontal banding which dominates the façade and returns, and the upper-level balcony framed by square columns and pilasters with Ionic style capital, combine to form a refined commercial building on a prominent intersection. (Criterion E).

Thematic context

Victoria's framework of historical themes

5. Building Victoria's Industries and Workforce, 5.5 Banking and Finance, 6. Building towns, cities and the garden state: 6.3 Shaping the suburbs

Port Phillip thematic environmental history

5. Buildings and cultural landscapes: 5.2 Shaping the suburbs (5.2.2 Private development), 6. Commerce, trade and work; 6.2 Markets, shops and retail

History

Pre-colonial history

For thousands of years preceding European colonialism, the land and environmental surrounds of Elwood was home to the Yalukit Willam clan of the Boonwurrung language group, who occupied territory east of the Werribee River to St Kilda. With lands adjacent to the sea and in proximity to the neighbouring Elwood wetlands, this environment provided Traditional Owners with access to an abundance of resources, including freshwater vegetables, wildfowl and eels from the Elwood wetlands, as well as saltwater shellfish, fish and crustaceans from the reef. Meanwhile, the rocky headland of red, brown and yellow sandstone, now known as Point Ormond, was a prominent feature in the landscape that provided views across Port Phillip Bay (refer to Figure 1). Archaeological records indicate that the area of Point Ormond was an active campsite, with stone axes and bowl awls recovered in the area in the 1970s (Eidelson 2006, 42). A shell midden was also uncovered in close proximity to Point Ormond, suggesting that the Boon Wurrung people in the area cooked shellfish gathered from the reef (Ellender and Weaver 1994). The land on which the precinct would come to be located on is shown in Figure 1 as being lightly wooded, and pre-colonial ecological vegetation classes show the land being a mix of damp sands herb woodlands and grassy woodlands.

While the rich cultural heritage of Traditional Owners in Elwood continues to have a strong presence to this day, their lifestyle and lands were severely impacted following the onset of European colonisation, particularly after the arrival of the Glen Huntly emigrant ship in Port Phillip Bay in 1840 (Finn 1888, 596-597). The ship was carrying 157 Scottish passengers, with fifty suffering from Typhus fever. A makeshift quarantine settlement was immediately established adjacent to the shore on Point Ormond near to the precinct, then known as Little Red Bluff (Moore 1990). As shellfish harvests took place right alongside the station, superintendent Charles La Trobe ordered the expulsion of all Aboriginal camps from the area (Eidelson 2006, 42). La Trobe's actions formed merely one part of a wider colonial process of displacement and dispossession, which would have continued terrible ramifications for generations.



Figure 1. c.1864 illustration of Point Ormond and the coast looking towards St Kilda, representing a pre-developed landscape. Source: Clark, T. c.1864. Red Bluff Brighton (Point Ormond). Watercolour painting, accession no: H299. State Library of Victoria.

Contextual history

Elwood's first land sales took place until 1851, which saw the subdivision of land in both St Kilda and what was then known as 'North Elwood' into generous allotments (Surveyor General's Department 1851). Early developments on these allotments comprised a scattering of freestanding mansion estates, including the extant Elwood House at 30 & 30A Vautier Street, Elwood (c.1850s) (Heritage Alliance 2005, 12; Eidelson 2006). Erected on higher ground towards the Esplanade, these mansions solidified Elwood's southern fringe as a prestigious seaside location. Meanwhile, most of the present day suburb to the north of Glen Huntly Road comprised a wetland known as the Elwood Swamp (Public Record Office of Victoria 1851). Deemed unsuitable for residential development, the wetland was soon transformed into a site for noxious trades required by European settlement, with a night soil depot established at Barkly Street in 1857, an open slaughter yard established in 1858 and an abattoir building erected in 1861 (see Figure 2) (Way Back When Consulting Historians 2021, 29-30).

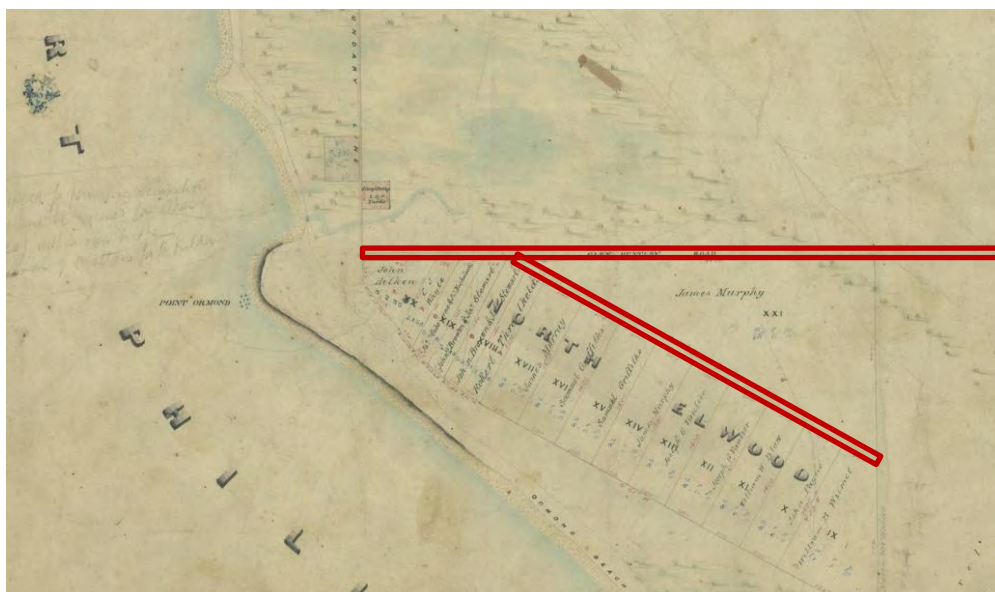


Figure 2. 1851 map showing 'North Elwood' allotments south of the wetland, and Glen Huntly and Ormond Roads marked in red. Source: Surveyor General's Department, Port Phillip Branch. 1851. 'Village of Elsternwick.' Map. Citation no. VPRS 8168/P0002. Public Record Office Victoria.

The suburb underwent a period of change during the 1880s land boom, which not only spurred the subdivision of mansion estates and vacant land into suburban housing estates, but also encouraged the closure of noxious trade facilities and subsequent swamp reclamation works via the development of the Elwood Canal by 1897 (The Caulfield and Elsternwick Leader 1889, 4). By 1908, the first land sales on what once comprised the wetlands had taken place, paving way for further urban growth. Notably, the construction of Elwood Canal, along with the opening of the Victorian Railways St Kilda to Brighton electric tramway line in 1906 (and the Glen Huntly tramway in 1915), spearheaded another development boom in Elwood during the first two decades of the twentieth century. More intense than its 1880s predecessor, this period saw the subdivision of remaining sparse mansion estates on what was then known as 'North Elwood' (see Figure 2), as well as rapid residential development on the reclaimed wetland and in the area south of Ormond Road (Heritage Alliance 2005, 21-23).

Following the 1905 completion of reclaiming the wetlands, and the expansion of the tramway networks soon after, more land became available and accessible. This also prompted significant commercial development in Elwood during the 1910s (Heritage Alliance 2005, 23). The opening of the two tram routes along Ormond Road and Glen Huntly Road, in the early twentieth century, encouraged the development of the local shopping centre at the intersection of these routes, which was known as Elwood Junction by the 1920s (Way Back When Consulting Historians 2021, 107). Elwood Junction commercial centre by the early 1920s contained over 40 shops, as well as the Alderley building, a branch of the State Savings Bank of Victoria and the Mainson de Luxe dance hall. An established tramline on Glen Huntly Road and a fully developed landscape south of this arterial route can be seen in a c.1925 aerial photograph (refer Figure 3).



Figure 3. c.1925 photograph of Elwood looking southeast. Source: Charles Daniel Pratt. c.1925. Elwood area on Port Phillip Bay. Photograph. State Library of Victoria.

Banks were erected consistently in Victoria during the period 1851-1939 (Trethowan 1976, 7). Most banks had an intense period of construction during the boom years from 1883 to 1891, followed by a severe cutback in expenditure after the boom burst (Trethowan 1976, 7). The most remarkable building program following this period was between 1900 and 1939 when the State Savings Bank of Victoria (SSBV) erected over seventy branches throughout Victoria (Trethowan 1976, 7). Sydney Smith, Ogg and Serpell architects

were one of several architectural firms employed by the State Savings Bank during their building program (Trethowan 1976, 9).

In the City of Port Phillip, some of the first SSBV branches in Victoria were established in St Kilda at the corner of Fitzroy Street & Canterbury Road in 1914, at Carlisle Street, Balaclava (1914), and Canterbury Road, Middle Park (c.1915). Other branches followed at Elwood (1922), Ripponlea (1922), and Barkly Street, St Kilda (1923).

State Savings Bank, 6 Ormond Road, Elwood

The Elwood branch of the State Savings Bank of Victoria (SSBV) was constructed in 1922 by C. F. Pittard, builder to designs by Sydney Smith, Ogg and Serpell architects (City of St Kilda Building Register)(Trethowan 1976, 63). Like other SSBV branches, the building contained the bank branch and offices on the ground floor and the manager's residence on the floor above.

Sydney Smith, Ogg and Serpell architects were well-known for their commercial work, and the firm had an extensive practice in Melbourne (Journal of the Royal Victorian Institute of Architects 1932, 38). By 1937, Sydney Smith Ogg and Serpell had carried out numerous city and suburban buildings (both domestic and commercial), including several branches for the State Savings Bank of Victoria (Decoration and Glass 1937, 62). Sydney Smith, Ogg and Serpell were exponents of the architectural composition of banks erected in a heavy banded Classical style, consisting of two slightly projecting side wings with a recessed section in between (Trethowan 1976, 61). The façade of the State Savings Bank at 6 Ormond Road, Elwood is characterised by a profusion of projections, banding and small recessed and projecting mouldings (Trethowan 1976, 61).

In 1991 the SSBV merged with the Commonwealth Bank of Australia. At that stage, there were more than 500 branch locations throughout Victoria. Following the merger, many branches were closed and those that were kept open became branches of the Commonwealth Bank. By the 1990s, the Elwood branch had been closed and was used as offices for a real estate agent (The Australian Jewish News 1994, 3). As of 2022, the building is in use as offices at ground floor level and a dwelling at the first floor level.



Figure 4. State Savings Bank, Elwood. Source: State Bank of Victoria. n.d. 'State Bank of Victoria Social Networking Site.' State Saving Bank (website). Last accessed 2023.
https://www.statebankvictoria.org/?page_id=5955.

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Description

The State Savings Bank of Victoria is a two storey Interwar era commercial building in a Free Classical style. The walls are finished with a smooth white render to the façade and return walls to the main building form. The remainder of the side and rear elevations present a face red brick materiality laid with a stretcher bond. The Dutch gable roof is clad with terracotta Marseilles tiles with a timber louvred gable and is partially obscured from views to the façade by the parapet but overhangs the structure along its side and rear elevations with timber lined eaves.

The Classical inspired elements are limited to the front façade which presents a largely symmetrical layout visually demarcated into three bays. Expressed heavy horizontal banding dominates the front façade and returns. The widest central bay includes a wide fixed window flanked by narrow windows. All recessed windows across the front façade feature fixed fanlights with cross glazing and frosted glass. The window widths are reflected on the upper-level balcony at the fenestration openings. The balcony is framed by square columns and pilasters with Ionic style capitals. A frieze panel over the balcony is detailed with cornice mouldings, dentils and two centred circular mouldings.

On the ground level, the flanking left bay includes a fixed window decorated with a flat gauge arch and expressed keystone which is an introduced abstract Classical detail. The flanking right bay houses the main entrance. The flanking ground level fenestrations are lined with *oves et dards* (egg and dart) mouldings. On the upper level, the left bay includes a paired sash window. The right bay features a French door leading to an octagonal Juliet balcony supported on fluted moulded brackets over the main entrance. The façade is capped with flat parapet set over a projecting eave. The parapet projects with a stepped form over the flanking bays, reminiscent of Art Deco parapets.

The side elevations include single sash windows. An external concrete stair provides access to the upper level along the western elevation. The main structure is connected to the rear apartment wing by a single storey section with a hipped roof. Main access to the rear apartments is located via the pebblecrete driveway along the eastern boundary.

Known alterations to the property include:

- Original bank interior majorly altered and refurbished.
- Wall mounted commercial signage added to the front façade and return on the western elevation.
- External concrete stair added to the north elevation.
- Alteration to the ground level fenestration with fixed glazing.
- Alterations associated with the residential apartments.
- Relandscaping including the pebblecrete driveway and parking area.

- Three skylights added to the rear face of the original roof (2018).
- Construction of a three storey building to the rear.

The State Savings Bank of Victoria building is in good condition. While it is not without visible alterations, including the addition of commercial signage and replacement of ground level windows, its key Interwar Free Classical elements are highly intact. The State Savings Bank of Victoria building is of high integrity overall.

Comparative analysis

The Interwar Free Classical style of architecture used in the design of the State Savings Bank was an ebullient and self-confident style which expressed society's growing prosperity during the interwar period. It displayed a stimulating variety within the general language of Classical architecture. It also showed a tendency to simplify Classical idioms (Apperly 1989, 161).

Between 1900 and 1939, the State Savings Bank erected over seventy branches throughout Victoria (Trethowan 1976, 7). From around 1915, a group of bank buildings was erected which altered the aesthetic function of the façade by a system of banded pilasters or square columns and projections. This style is characterised by heavy massive detailing and can be described as 'Heavy Banded Classicism' (Trethowan 1976, 18).

The State Savings Bank at 6 Ormond Road, Elwood was constructed in 1922 to designs by Sydney Smith, Ogg and Serpell architects. It exemplifies key elements of the Interwar Free Classical style, including a symmetrical façade and expressed heavy horizontal banding, square columns and pilasters with Ionic style capitals which frame the first-floor balcony, and the frieze panel over the balcony which is detailed with cornice mouldings, dentils and two centred circular mouldings. As with other Interwar Free Classical style buildings, there is simplified Classical detailing including the window in the flanking left bay at ground floor level which is decorated with a flat gauge arch and expressed keystone. Other comparable former SSBV branches in Port Phillip, which demonstrate how the bank designs by Sydney Smith Ogg and Serpell evolved over time include :

- **78 Glen Eira Road, Ripponlea (Citation 333).** Constructed in 1922 the former SSBV branch at Ripponlea is an almost identical design as the former Elwood SSBV. The Ripponlea branch is less intact: the ground floor openings have been enlarged and altered, whereas the Elwood branch is largely intact. The buildings are both share equal merit in terms of their visual presence and the use of Classical architectural elements.
- **54 Fitzroy Street, St Kilda, (Citation 1478).** Constructed in 1914, this is the oldest surviving SSBV branch in Port Phillip. As an earlier example, it has many similar details such as banded rustication, and Ionic pilasters, egg and dart mouldings it is distinguished by the asymmetrical composition, which takes advantage of the corner location to express the corner of the building as a tower element, as well as Edwardian details such as the semi-circular balconettes and the cartouche to the blind arch above the first floor openings to the corner tower. Whilst the State Savings Bank at 6 Ormond Road Elwood lacks the commanding corner siting of the State Bank at 54 Fitzroy Street, the buildings are equally impressive due to their use of Classical architectural elements and visual presence.
- **104 Canterbury Road, Middle Park (Contributory).** Constructed in 1916, 104 Canterbury Road Middle Park is comparable to the former St Kilda branch with its asymmetric composition, and the pediment form above the projecting bay. Due to its first-floor balcony framed by square columns and pilasters with Ionic style capitals and the wide fixed window flanked by narrower windows at ground floor level, the State Savings Bank at 6 Ormond Road, Elwood is more impressive in terms of the quality of the façade and its visual presence.

The above comparative analysis demonstrates the development of building designs by the State Savings Bank from the early 1910s to 1920s and how over time the Bank's designs incorporated symmetrical expression and abstracted Classical detailing as evident in the Elwood branch. The State Savings Bank at 6 Ormond Road, Elwood exhibits importance as a surviving bank from the 1920s that not only forms a tangible link to the commercial development in Ormond Road, Elwood during the 1920s, but also to Elwood Junction which became an important local shopping precinct.

Assessment

This place has been assessed in accordance with the processes and guidelines outlined in the Australia ICOMOS *Charter for Places of Cultural Heritage Significance (The Burra Charter)* 2013, using the HERCON criteria.

Recommendations

Retain in the Heritage Overlay as a Significant place within the Glen Huntly and Ormond Road Precinct.

Primary source

Extent Heritage Pty Ltd, *Elwood Heritage Review*, prepared for City of Port Phillip, 2023.

Other studies

Andrew Ward & Associates, *City of Port Phillip Heritage Review*, prepared for City of Port Phillip, 1998.

Other images



Figure 5. View of side elevation.



Figure 6. Detail view of expressed keystone.



Figure 7. View of detailing on front façade.

City of Port Phillip Heritage Review

Place name: The Alderley
Other names: Shops and flats

Citation No: 2082



Address: 1-13 Ormond Road, Elwood

Category: Commercial

Style: Federation: Arts and Crafts

Constructed: 1920-21

Designer: Nahum Barnet

Amendment: TBA

Comment: Revised citation

Heritage Precinct: Elwood: Ien Huntly & Ormond Roads

Heritage Overlay: HO8

Graded as: Significant

Victorian Heritage Register: No

Significance

What is significant?

The Alderley, built in 1920-21 by V. G. Fair to designs by Nahum Barnet at 1-13 Ormond Road, Elwood is significant.

Alterations and additions are not significant.

How is it significant?

The Alderley is of local historical and aesthetic significance to the City of Port Phillip.

Why is it significant?

The Alderley is of historical significance as the first building to be constructed at one of the main corner sites of Elwood Junction during the interwar period. Commercial development along Ormond Road expanded significantly during the 1910s, with Elwood Junction becoming an important regional shopping precinct by the interwar period. The Alderley, a mixed-use commercial and residential development at the corner of Glen Huntly and Ormond Roads, not only forms a tangible link to this key phase of development but also demonstrates the growing importance of the Elwood Junction commercial centre in the municipality's history. (Criterion A)

The Alderley is of representative significance as a notable example of a mixed-use commercial and residential building. Some flats in the municipality followed European precedents and were constructed with shops or cafes at street level. As an early example, The Alderley with shops on the ground floor and self-

contained flats above, not only retains a high degree of integrity but also illustrates principal elements of mixed-use commercial development in the municipality in the interwar period. (Criterion D)

The Alderley is of local aesthetic significance as a fine and well-detailed example of a late Federation Arts and Crafts building, sited on a prominent intersection. It has a visually striking façade owing to its two-storey form, flanking bay oriel windows and turrets, hipped roof clad with terracotta Marseille tiles, face red brick used with contrasting rough cast render, timber sash windows and curved balcony openings infilled with window banks. These features, along with its largely intact ground floor shopfronts with copper framing and fine leadlight, combine to form a distinctive landmark building along a major roundabout. (Criterion E)

Thematic context

Victoria's framework of historical themes

5. Building Victoria's Industries and Workforce: 5.3 Markets and retailing, 6. Building towns, cities and the garden state: 6.3 Shaping the suburbs

Port Phillip thematic environmental history

5. Buildings and cultural landscapes: 5.2 Shaping the suburbs (5.2.2 Private development), 5.3 Diverse Housing (5.3.5 Higher-density housing – Flats and high-rises), 6. Commerce, trade and work: 6.2 Markets, shops and retail

History

Pre-colonial history

For thousands of years preceding European colonialism, the land and environmental surrounds of Elwood was home to the Yalukit Willam clan of the Boonwurrung language group, who occupied territory east of the Werribee River to St Kilda. With lands adjacent to the sea and in proximity to the neighbouring Elwood wetlands, this environment provided Traditional Owners with access to an abundance of resources, including freshwater vegetables, wildfowl and eels from the Elwood wetlands, as well as saltwater shellfish, fish and crustaceans from the reef. Meanwhile, the rocky headland of red, brown and yellow sandstone, now known as Point Ormond, was a prominent feature in the landscape that provided views across Port Phillip Bay (refer to Figure 1). Archaeological records indicate that the area of Point Ormond was an active campsite, with stone axes and bowl awls recovered in the area in the 1970s (Eidelson 2006, 42). A shell midden was also uncovered in close proximity to Point Ormond, suggesting that the Boon Wurrung people in the area cooked shellfish gathered from the reef (Ellender and Weaver 1994). The land on which the precinct would come to be located on is shown in Figure 1 as being lightly wooded, and pre-colonial ecological vegetation classes show the land being a mix of damp sands herb woodlands and grassy woodlands.

While the rich cultural heritage of Traditional Owners in Elwood continues to have a strong presence to this day, their lifestyle and lands were severely impacted following the onset of European colonisation, particularly after the arrival of the Glen Huntly emigrant ship in Port Phillip Bay in 1840 (Finn 1888, 596-597). The ship was carrying 157 Scottish passengers, with fifty suffering from Typhus fever. A makeshift quarantine settlement was immediately established adjacent to the shore on Point Ormond near to the precinct, then known as Little Red Bluff (Moore 1990). As shellfish harvests took place right alongside the station, superintendent Charles La Trobe ordered the expulsion of all Aboriginal camps from the area (Eidelson 2006, 42). La Trobe's actions formed merely one part of a wider colonial process of displacement and dispossession, which would have continued terrible ramifications for generations.





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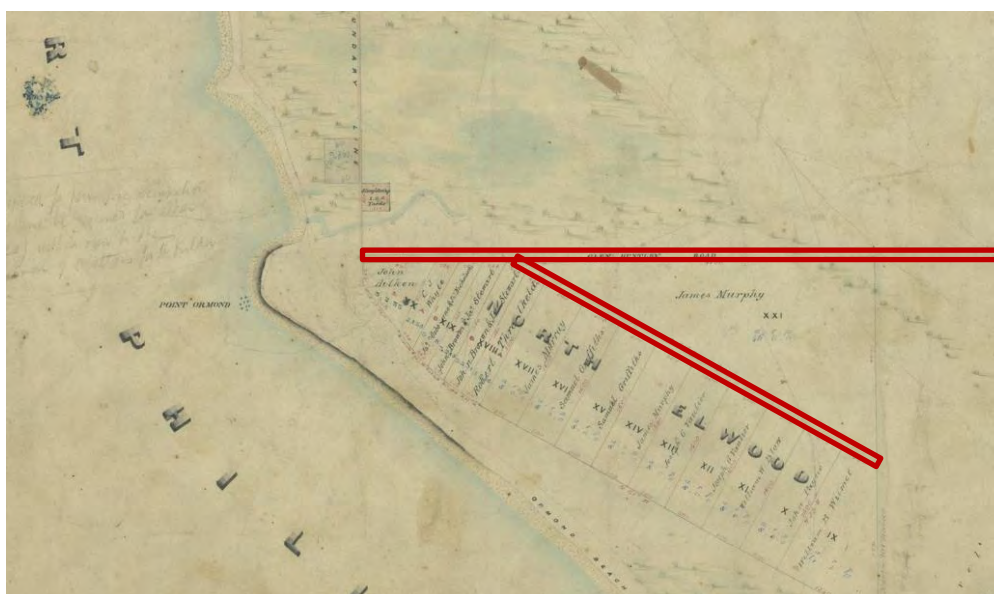


Figure 2. 1851 map showing 'North Elwood' allotments south of the wetland, and Glen Huntly and Ormond Roads marked in red. Source: Surveyor General's Department, Port Phillip Branch. 1851. 'Village of Elsternwick.' Map. Citation no. VPRS 8168/P0002. Public Record Office Victoria.

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Following the 1905 completion of reclaiming the wetlands, and the expansion of the tramway networks soon after, more land became available and accessible. This event also prompted significant commercial development in Elwood during the 1910s (Heritage Alliance 2005, 23). The opening of the two tram routes along Ormond Road and Glen Huntly Road, in the early twentieth century, encouraged the development of the local shopping centre at the intersection of these routes, which was known as Elwood Junction by the 1920s (Way Back When Consulting Historians 2021, 107). Elwood Junction commercial centre by the early 1920s contained over 40 shops, as well as the Alderley building, a branch of the State Savings Bank of Victoria and the Mainson de Luxe dance hall. An established tramline on Glen Huntly Road and a fully developed landscape south of this arterial route can be seen in a c.1925 aerial photograph (refer Figure 3).



Figure 3. c.1925 photograph of Elwood looking southeast. Source: Charles Daniel Pratt. c.1925. Elwood area on Port Phillip Bay. Photograph. State Library of Victoria.

The Alderley, 34-40 Glen Huntly Road and 1-13 Ormond Road, Elwood

The Alderley was constructed in 1920-21 by builder V. G. Fair to designs by Nahum Barnet. It was the first of the major corner buildings to be constructed at Elwood Junction and was followed shortly by the State Bank (1922), the Maison de Luxe dance hall (1922, now demolished), the Post Office (1925) and St Columba's Church (1929) (refer Figure 4). Initially owned by H. E. Bailey, the building originally comprised of eight shops and four flats (City of St Kilda Building Register). The premises appear in the 1925 Sands & McDougall directory with their numbering changing over the years. From the 1930s-60s, the Alderley is listed as 127 Glen Huntly Road and from 1960s onwards, as 40 Glen Huntly Road (Sands & McDougall 1930-74).

Following construction, one of the eight shops was utilised as a pharmacy and dispensary whilst the others were occupied by a variety of businesses. Upstairs, one of the four flats was utilised as a surgery suite (refer Figure 5). Over the years, the shops have housed drapers and costumers, hairdressers, a chiropractor, dressmakers, a bank, a delicatessen, a florist, boot makers and repairers, a butcher and grocers (Sands & McDougall 1925-74). Today, the ground floor of The Alderley continues to be used as a commercial premises and houses the Turtle Café (in the shop at the corner of Glen Huntly and Ormond Roads), along with other businesses, while the upper floor remains in use as residential flats.



Figure 4. c. 1925 aerial image of Elwood Junction. Source: Charles Daniel Pratt. c. 1925. *Elwood area on Port Phillip Bay. Aerial Image.* State Library of Victoria.



Figure 5. Business premises, corner of Glen Huntly and Ormond Roads, Elsternwick for Mr Bailey (plans and section). Source: Nahum Barnet Architect. n.d. Drawings of 1-13 Ormond Road, Elwood. Council records. City of Port Phillip.

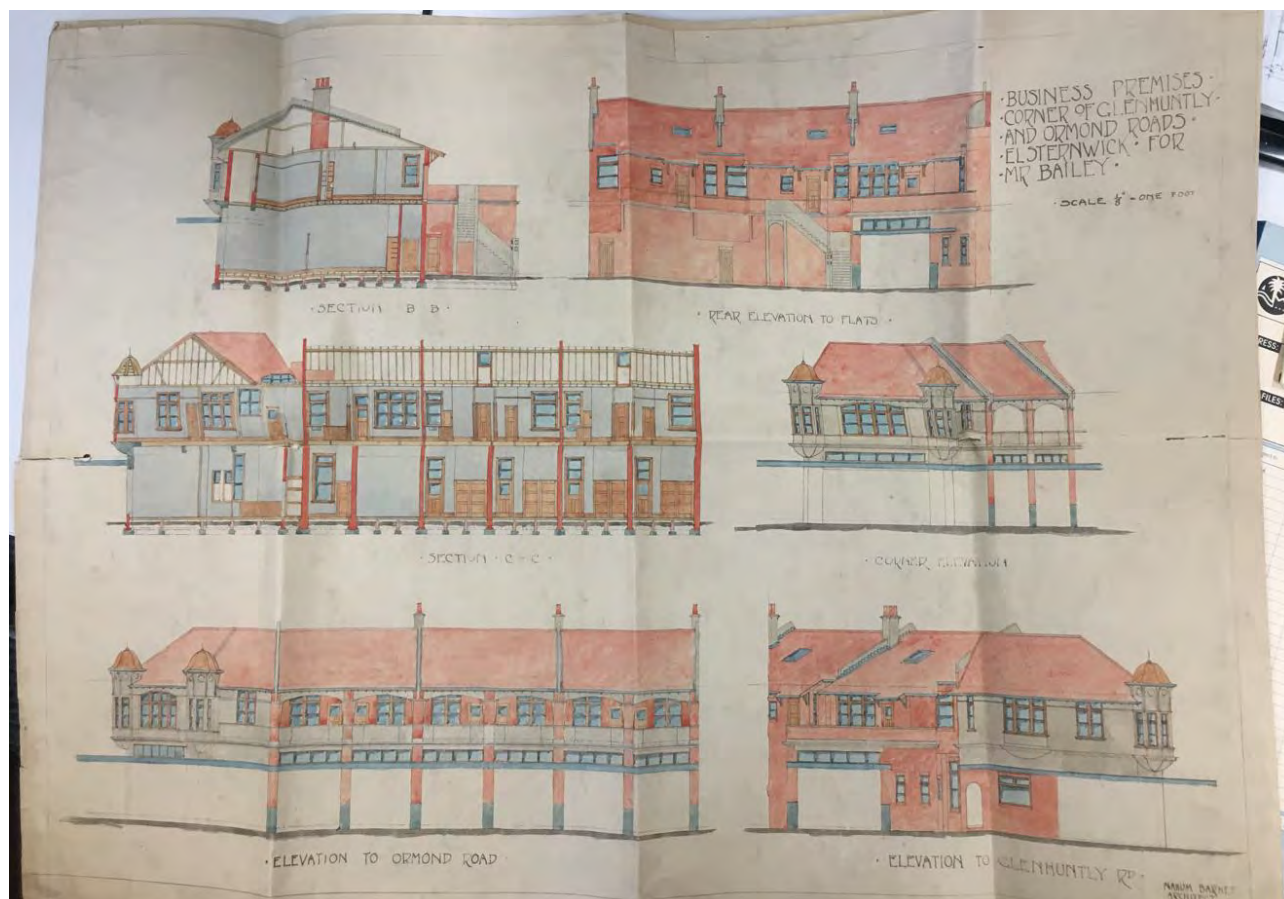


Figure 6. Business premises, corner of Glen Huntly and Ormond Roads, Elsternwick for Mr Bailey (sections and elevations). Source: Nahum Barnet Architect. n.d. Drawings of 1-13 Ormond Road, Elwood. Council records. City of Port Phillip.

Nahum Barnet

The following architect biography has been largely adapted from 'The Encyclopaedia of Australian Architecture' by Phillip Goad and Julie Willis and is augmented with additional research undertaken by Extent Heritage.

Born in 1855, Nahum Barnet graduated from the University of Melbourne and articulated with Terry & Oakden before setting up his own practice (The Argus 1931, 6). Over the course of his career, Barnet practiced in varying styles including Gothic Revival, Romanesque, and freestyle Classicism. Some of his most noted buildings include Her Majesty's Theatre, Exhibition Street (1885-86, H0641), Austral Building, Collins Street (1890, H0472), Alston's Corner, Elizabeth and Collins Streets (1903), and the Melbourne Synagogue, Toorak Road, South Yarra (1928-30). Barnet had an interest in developing an Australian style of architecture, was a strong advocate for climate as a design determinant and incorporated Australian flora and fauna into his designs.

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Description

The Alderley is a two-storey Federation Arts and Crafts style building comprising of shopfronts on the ground level and residential apartments on the upper level. The masonry building comprises face red brick laid with a stretcher bond. The brick is accented through primary off-white roughcast render finish on the upper level along principal elevations. The gable and hipped roof are clad with terracotta Marseilles tiles. Several rendered chimneys with terracotta chimney pots extend from the roof. The Alderley is located on a prominent corner on a tapering allotment. It fronts Ormond Road to the south, Glen Huntly Road to the north, and the main roundabout junction with Broadway to the west.

The ground level consists of a corner shop currently used as a café and six additional shops fronting Ormond Road. The first tenancy to the left along Ormond Road beside the café includes frontage to Glen Huntly Road. The shopfronts are highly intact, consisting of a plate glass display window and recessed entrances set within copper framing with a tiled threshold and marble doorsill. Upper panes with fine Art Nouveau derived leadlight, stained, and frosted glass detailing vary in design across the shopfronts. Shopfront walls present a varied finish including different paint colours and tiles, some of which are unsympathetic to the overall building. The shopfronts are protected under a wide, cantilevered awning. A row of fixed windows and cornice moulding is situated above the awning line.

The principal façade is the smallest elevation, fronting the roundabout junction. It is defined by flanking bay oriel windows and turrets derived from the Federation Free Style. The octagonal oriel windows consist of sash windows with a four-pane top light. Panels above the windows feature an oval shaped insert. The oriel windows are topped with a distinct bell-shaped cupola with a conical finial. A wide central bank of four sash windows with a slightly arched fixed fanlight is located between the bays. Moulded lettering reading 'The Alderley' is centred under the windowsill of the bank.

The upper-level elevation fronting Ormond Road is demarcated into seven bays defined by face brick engaged piers. A moulded console bracket and party wall extend over the roof of every second bay. The bay closest to the oriel window includes a recessed paired sash window. The remaining six bays each feature a bank of four sash windows with a leadlight top sash set within a slightly arched flush architrave. The windows are visually connected with a string course moulding at the sill and lintel level across the elevation. Former balcony openings along Ormond Road have been enclosed with timber framed windows.

The north-western elevation fronting Glen Huntly Road comprises a ground corner shop front and a secondary entrance. The upper level presents asymmetrically positioned windows with a sash window bay, narrow sash window to the left and a pair of sash windows to the right. The elevation is defined by a steeply pitched roof with exposed rafter tails. The remainder of the northern elevation primarily acts as the service and parking area for the building. It includes an open stair and landing bridge providing access to the apartments on the upper level. The rest of the allotment is paved with concrete and used as parking space. The boundary along Glen Huntly Road is partially demarcated by a low bagged brick wall with tall piers.

The corner café fronts a wide, open space presently used as al fresco seating. The area is demarcated with cast iron bollards and is laid with red brick in a herringbone pattern. A raised curvilinear brick garden bed planted with two semi-mature trees is located at the centre. The space forms part of the wider civic space surrounding the bluestone edged roundabout within the commercial precinct.

Known alterations to the property include:

- Removal of original skylights over the gable roof sections.
- Addition of one skylight over the hipped roof section.
- Infilling of the balcony openings along Ormond Road with timber framed sash windows.
- Infilling of the rear stair with brick.
- Brick wall and pier added to the northern elevation.
- Rear service area laid with concrete.
- Internal alterations to ground floor shops to facilitate changing commercial uses over time.
- Some alterations to the ground level shopfronts including overpainted walls, new wall tiles, and overpainting of copper framing.
- Alterations to the awning including new cladding, advertising and signages.
- Wall mounted air conditioning units above the awning along the Ormond Road and Glen Huntly Road elevations.
- Large steel vents added to the northern elevation.
- Minor accretions include new rainwater goods, wall mounted conduits and vents.

The Alderley is in good condition overall. There are specific areas that present some weathering, particularly along the timber window frames and cupola at the oriel window fronting Glen Huntly Road. The shopfronts have largely retained their original detailing, however some present with unsympathetic paint and tile additions. The upper level also remains largely intact with the main alterations consisting of the infilling of the Ormond Road fronting balconies. The infilled fenestration remains sympathetic to the overall structure. There have also been changes to the colour scheme and while it presents a historical

appearance, it does not reflect the original relationship between colour, material, and form. Despite these alterations, the building is of high integrity overall, and maintains its original form, detailing and materials.

Comparative analysis

As flats became more popular in Melbourne, investors looked at better suburban locations, principally those that were well served by shops and public transport, and, with a degree of character, atmosphere and, preferably, good views (Heritage Alliance 2005, 26). Following European precedents, flats also started to incorporate shops or cafes at street level (Way Back When Consulting Historians 2021, 96). These building types were usually in response to the evolving neighbourhood character of suburbs in the early twentieth century.

Architect Nahum Barnet rose to prominence through his designs for some of Melbourne's most noted early twentieth century buildings. The Alderley's design showcases Barnet's ability to exploit the site for its urban design potential, orchestrating its junction façade as a landmark and focusing its visual impact with the twin turrets. As the first of the ring of important buildings around the intersection, it showed imagination and vision for how the junction might develop, and its presence was no doubt a key factor in further commercial development in this area. Characterised by touches of Art Nouveau derived elements, roughcast walls and striking flanking bay oriel windows and turrets, the building is also noted for its playful execution of both the Federation Arts and Crafts and Free Style styles. While there are no other buildings by Barnet in the City of Port Phillip, there are other comparable examples of mixed-use Arts and Crafts buildings in the municipality. These include:

- **Waverley, 115-119 Grey Street, St Kilda (Citation 2003).** Designed by architect Joseph Plottel, Waverley comprises shops on the ground floor and flats above along with a wing of flats extending out to its rear. Built in 1920, it is another example of a mixed use, two-storey building that draws comparison in terms of its hipped roof clad with terracotta tiles, overhanging eaves with exposed rafters, timber sash windows and use of face red brick. Waverley's shopfronts have been altered and the building is slightly weathered, whereas the Alderley exhibits largely intact shopfronts and is in overall good condition. Although located at the corner of Grey and Clyde Streets, Waverley lacks the imposing scale and design of The Alderley and is a comparatively more understated Arts and Crafts style structure.
- **Flats over shops, 58-60 Acland Street, St Kilda (Citation 392).** The flats and shops at 58-60 Acland Street were built in front of a retained nineteenth century residence on site. Constructed in c.1925, its key comparable features include an asymmetrical form, hipped roof clad with terracotta tiles, timber sash windows and use of face brick. Sited on the corner of Acland and Fawkner Streets, the front façade comprises of low-level shopfronts and an asymmetrical upper level exhibiting a projecting dormer gable. The shopfronts and awning are not original. Of the two, The Alderley is more striking owing to its symmetrical front façade exhibiting two oriel bay turrets and largely intact lower-level shopfronts with leadlight windows derived from Art Nouveau sources.
- **Summerland Mansions, 17-25 Fitzroy Street, St Kilda (Citation 1472).** Summerland Mansions, designed by architect Christopher Cowper in 1920-21, is another interwar example of the 'flats over shops' building typology. As with the Alderley, it is defined by its terracotta tiled hipped roof, overhanging eaves, use of face brick with contrasting roughcast render, timber sash windows, balconies and ground floor intact shopfronts. Although also sited on a corner allotment, the Alderley's sophisticated corner treatment is arguably more visually impressive. However, Summerland Mansions is ultimately more imposing in scale owing to its size and incorporation of grand mansion flats.

The Alderley comprises a striking landmark building that compares well to similar mixed-use buildings in the municipality in terms of design quality and style. The prominent scale, distinct flanking bay oriel windows and turrets, and retention of ground floor window detailing are all elements of particular note and ultimately render it a salient Arts and Crafts style mixed-use building along a key roundabout within Elwood's main commercial area.



Assessment

This place has been assessed in accordance with the processes and guidelines outlined in the Australia ICOMOS *Charter for Places of Cultural Heritage Significance* (The Burra Charter) 2013, using the HERCON criteria.

Recommendations

Retain in the Heritage Overlay as a Significant place within the Glen Huntly and Ormond Road Precinct.

Primary source

Extent Heritage Pty Ltd, *Elwood Heritage Review*, prepared for City of Port Phillip, 2023.

Other studies

Andrew Ward & Associates, *City of Port Phillip Heritage Review*, prepared for City of Port Phillip, 1998.

Other images



Figure 7. View of south-west corner of The Alderley.



Figure 8. View of northern façade from Glen Huntly Road.



Figure 9. View of southern façade from Ormond Road.



Figure 10. Detail view of the upper level of the southern façade.



Figure 11. Detail view of turret and façade facing Elwood Junction.

City of Port Phillip Heritage Review

Place name: The Desboro
Other names: Flats

Citation No: 917



Address: 61 Shelley Street, Elwood

Category: Residential: Flats

Style: Interwar: Arts & Crafts

Constructed: 1921

Designer: H. E. Cobb

Amendment: TBA

Comment: Revised citation

Heritage Precinct: Elwood: Glen
Huntly Road & Ormond Road

Heritage Overlay: HO8

Graded as: Significant

Victorian Heritage Register: No

Significance

What is significant?

The Desboro, constructed by H. E. Cobb in 1921 at 61 Shelley Street, Elwood is significant. The sympathetic low front boundary fence also contributes to the significance of the place.

Alterations and additions are not significant.

How is it significant?

The Desboro is of local historical and aesthetic significance to the City of Port Phillip.

Why is it significant?

The Desboro is of historical significance as one of the early interwar flats constructed during the first wave of flat construction in Elwood. Flats in Melbourne suburbs were typically constructed close to transport routes to allow for easy travel to the city. Following the expansion of tramway networks in the early twentieth century along with its proximity to beach and parklands, Elwood became a popular suburb for flat development. The building forms a tangential link to the lifestyle of flat living that proliferated in Elwood from the early twentieth century. (Criterion A)

The Desboro is of aesthetic significance as a substantially intact and strongly defined example of an Arts and Crafts style flat building. Visually imposing due to its scale and prominent corner siting, the flat building is primarily defined by its complex arrangement of elements on its two street façades, including prominent shingled bays, corner buttresses, external staircases, roughcast walls, grouped windows and timber joinery.

These features, along with its low front boundary brick fence, combine to form a highly expressive corner building at the intersection of Shelley Street and Addison Street. (Criterion E)

Thematic context

Victoria's framework of historical themes

6. Building towns, cities and the garden state: 6.3 Shaping the suburbs, 6.7 Making homes for Victorians

Port Phillip thematic environmental history

5. Buildings and cultural landscapes: 5.2 Shaping the suburbs (5.2.2 Private development), 5.3 Diverse Housing (5.3.5 Higher-density housing – Flats and high-rises)

History

Pre-colonial history

For thousands of years preceding European colonialism, the land and environmental surrounds of Elwood was home to the Yalukit Willam clan of the Boonwurrung language group, who occupied territory east of the Werribee River to St Kilda. With lands adjacent to the sea and in proximity to the neighbouring Elwood wetlands, this environment provided Traditional Owners with access to an abundance of resources, including freshwater vegetables, wildfowl and eels from the Elwood wetlands, as well as saltwater shellfish, fish and crustaceans from the reef. Meanwhile, the rocky headland of red, brown and yellow sandstone, now known as Point Ormond, was a prominent feature in the landscape that provided views across Port Phillip Bay (refer to Figure 1). Archaeological records indicate that the area of Point Ormond was an active campsite, with stone axes and bowl awls recovered in the area in the 1970s (Eidelson 2006, 42). A shell midden was also uncovered in close proximity to Point Ormond, suggesting that the Boon Wurrung people in the area cooked shellfish gathered from the reef (Ellender and Weaver 1994). The land on which the precinct would come to be located on is shown in Figure 1 as being lightly wooded, and pre-colonial ecological vegetation classes show the land being a mix of damp sands herb woodlands and grassy woodlands.

While the rich cultural heritage of Traditional Owners in Elwood continues to have a strong presence to this day, their lifestyle and lands were severely impacted following the onset of European colonisation, particularly after the arrival of the Glen Huntly emigrant ship in Port Phillip Bay in 1840 (Finn 1888, 596-597). The ship was carrying 157 Scottish passengers, with fifty suffering from Typhus fever. A makeshift quarantine settlement was immediately established adjacent to the shore on Point Ormond near to the precinct, then known as Little Red Bluff (Moore 1990). As shellfish harvests took place right alongside the station, superintendent Charles La Trobe ordered the expulsion of all Aboriginal camps from the area (Eidelson 2006, 42). La Trobe's actions formed merely one part of a wider colonial process of displacement and dispossession, which would have continued terrible ramifications for generations.



Figure 1. c.1864 illustration of Point Ormond and the coast looking towards St Kilda, representing a pre-developed landscape. Source: Clark, T. c.1864. Red Bluff Brighton (Point Ormond). Watercolour painting, accession no: H299. State Library of Victoria.

Contextual history

Elwood's first land sales took place until 1851, which saw the subdivision of land in both St Kilda and what was then known as 'North Elwood' into generous allotments (Surveyor General's Department 1851). Early developments on these allotments comprised a scattering of freestanding mansion estates, including the extant Elwood House at 30 & 30A Vautier Street, Elwood (c.1850s) (Heritage Alliance 2005, 12; Eidelson 2006). Erected on higher ground towards the Esplanade, these mansions solidified Elwood's southern fringe as a prestigious seaside location. Meanwhile, most of the present day suburb to the north of Glen Huntly Road comprised a wetland known as the Elwood Swamp (Public Record Office of Victoria 1851). Deemed unsuitable for residential development, the wetland was soon transformed into a site for noxious trades required by European settlement, with a night soil depot established at Barkly Street in 1857, an open slaughter yard established in 1858 and an abattoir building erected in 1861 (see Figure 2) (Way Back When Consulting Historians 2021, 29-30).

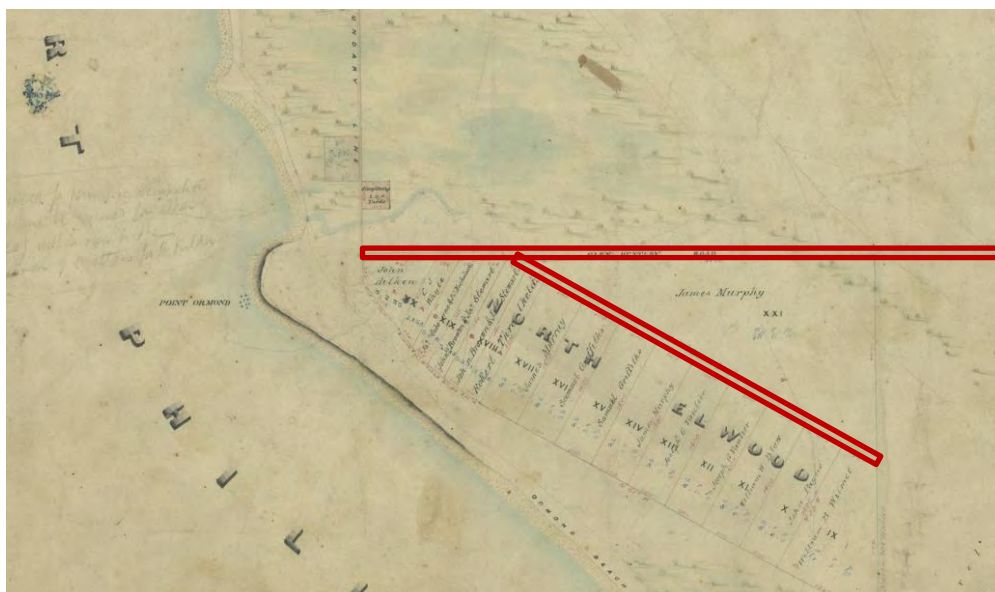


Figure 2. 1851 map showing 'North Elwood' allotments south of the wetland, and Glen Huntly and Ormond Roads marked in red. Source: Surveyor General's Department, Port Phillip Branch. 1851. 'Village of Elsternwick.' Map. Citation no. VPRS 8168/P0002. Public Record Office Victoria.

The suburb underwent a period of change during the 1880s land boom, which not only spurred the subdivision of mansion estates and vacant land into suburban housing estates, but also encouraged the closure of noxious trade facilities and subsequent swamp reclamation works via the development of Elwood Canal by 1897 (The Caulfield and Elsternwick Leader 1889, 4). By 1908, the first land sales on what once comprised the wetlands had taken place, paving way for further urban growth. Notably, the construction of Elwood Canal, along with the opening of the Victorian Railways St Kilda to Brighton electric tramway line in 1906 (and the Glen Huntly tramway in 1915), spearheaded another development boom in Elwood during the first two decades of the twentieth century. More intense than its 1880s predecessor, this period saw the subdivision of remaining sparse mansion estates on what was then known as 'North Elwood' (see Figure 2), as well as rapid residential development on both the reclaimed wetlands and in the area south of Ormond Road (Heritage Alliance 2005, 21-23).

While newly erected building stock in this early twentieth century period predominantly comprised of freestanding middle-class bungalows, the area was also a popular location for purpose-built residential flats. Initially appearing in Melbourne in 1906, flats slowly spread to the suburbs and appeared close to transport routes, particularly along or within walking distance of tram routes to facilitate easy travel to the city (Way Back When Consulting Historians 2021, 95). With its proximity to the beach and parklands, good public transport networks and seaside character, both the suburbs of Elwood and St Kilda became popular destinations for this type of housing stock, and by 1935, despite a slowing of development due to the Great Depression, the St Kilda municipality contained over 2,800 flats in over 500 blocks by 1935 (Way Back When Consulting Historians 2021, 96). A further 2,000 flats were added by 1940; however, the onset of World War II slowed development. Nonetheless, by 1947 St Kilda contained 5,500 purpose-built flats, a quarter of all flats in Melbourne (Way Back When Consulting Historians 2021, 96).

The last distinct phase of residential development in the suburb would ultimately take place in the post-war period, which saw the construction of austere apartment developments characterised by stylistic eclecticism and architectural Modernism (Heritage Alliance 2005, 27-28).

The Desboro, 61 Shelley Street, Elwood

The opening of the electric tramways along Broadway and Ormond Road in 1906 and Glen Huntly Road in 1914 encouraged more intensive development including the construction of flats. The first wave of flat building began in 1919 when Bluff Mansions (394 Barkly Street), Ormond Mansions (42 Ormond Road) and Desmeraldo (1 Beach Avenue) were built. A further six blocks were completed by 1921.

The Desboro was one of the flats built during this first wave of flat-building in Elwood. Owner-builder H. E. Cobb began construction in 1921 on the property at the corner of Shelley and Addison Streets. The flats and residents first appear in the 1923 edition of the Sands & McDougall directories, when several houses and flats were in the process of being built in the immediate vicinity.

Mr. H. E. Cobb actively pushed for improvements to foot access directly to and close to his properties. In 1921, the St. Kilda council approved the tar paving of the footpath on the opposite side of Shelley Street from the Desboro, between Ruskin Street and Broadway, as the result of Cobb's request (Prahman Telegraph 1921, 4).

In January 1950, the whole block of four self-contained flats was put up for auction. A newspaper advertisement stated the flats were constructed of brick with a tile roof (The Argus 1950, 17). Three flats comprised of five rooms and one flat six rooms.

The Desboro remains in use as a residential block of flats today.

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Description

The Desboro is a two-storey Interwar Arts and Crafts style apartment building. The structure presents a domestic scale and massing, occupying a corner position fronting Shelley Street to the north and Addison Street to the east. The bagged brick structure is contrasted with roughcast rendered panels and elements and is finished with an off-white colour. The hipped roof with projecting open gables is clad with glazed Marseilles tiles and has exposed rafter tails. Two bagged brick chimneys with corbels extend from the roof.

The main façade addresses Shelley Street and presents a strong, symmetrical and well-balanced composition roughly demarcated into three bays. The widest, central bay features a projecting open gable roof with timber lined eaves. Two window bays flank the gable with paired sash windows on both levels featuring timber shingle clad skirts and flared hoods. A moulded nameplate with extruded lettering reading 'The Desboro' and a timber louvred vent is located between the projecting window bays.

The flanking bays consist of enclosed entry porches on both levels. Stairs with a wrought iron balustrade extend from the front façade to the property boundary, providing access to the upper level. The corner bays include banks of sash windows. The upper-level bays feature a timber shingle skirt and fixed glazing framing the fenestration, while the corner bays on the ground level feature corner buttresses.

The eastern elevation fronting Addison Road presents a double fronted, asymmetrical layout in contrast to the façade fronting Shelley Street. It includes a projecting open gable with single sash windows with moulded architraves on both levels. The rest of the elevation includes the corner bay and associated detailing, one additional sash window on both levels, and a name plate. The rear southern elevation is partially clad with weatherboard and includes the expressed chimney breast.

The main structure occupies the majority of the property with a minimal setback from the street front boundary. It includes a narrow laneway access along its western and southern elevation. The street front boundary features a low rendered brick nib with squat piers and a wrought iron fence. The setback allows for a narrow garden bed along the front façade and eastern elevation.

Known alterations to the property include:

- Removal of shingled bulkheads above the corner bays.
- Upper floor of eastern corner bay enclosed with windows.
- Rear bagged brick wall demolished and replaced with a timber panel fence (by 2018).
- Structure repainted from beige to off-white (2019).
- Recent relandscaping of the front garden beds.
- Minor accretions include new rainwater goods, wall mounted air conditioning units to the southern elevation, and wall mounted light fixtures.

The Desboro is in good condition. While not without some minor alterations, its original form and detailing is largely intact. It is of high integrity overall.

Comparative analysis

The Arts and Crafts style drew on precedents established by the nineteenth century Arts and Crafts movement in England (and in the United States) as demonstrated through the work of important English architects such as C.F.A. Voysey (Apperley et al 1989, 140). Distinguished by an emphasis on craftsmanship, utility, structural 'authenticity' and a truth to materials, this architectural style typically made use of traditional (usually English) vernacular motifs to achieve an 'unassuming, homely, well-established character' (Apperley et al 1989, 140). In Australia, Arts and Crafts style buildings are usually characterised by 'earthy' natural colours, textures and materials such as face brick, roughcast render, timber shingles and stonework. The roof is a dominant element, usually steeply pitched with prominent and often bracketed eaves. Tall tapering chimneys battered wall buttresses and bay windows are also characteristic elements of the style (Apperley et al 1989, 140).

The growing popularity of the Arts and Crafts style by the interwar period coincided with the proliferation of flat development in Elwood, resulting in the application of this picturesque style to the flat typology throughout the late 1910s and 1920s. Constructed in 1921, The Desboro not only forms a tangible link to this trend, but comprises an impressive and highly intact example of an Arts and Crafts style flat in terms of its open gables, prominent shingled bays, roughcast walls and corner buttresses. Its elements are boldly arranged on its two street facades to form a strongly defined intersection at the corner of Shelley and Addison Street. There are several Arts and Crafts style flats within the City of Port Phillip that The Desboro can be compared to. These include:

- **Newhaven, 3 Byrne Avenue, Elwood (Citation 447).** Built in 1926-27, Newhaven comprises a two-storey block of Arts and Crafts flats distinguished by its symmetrical arrangement and raised loggia derived from Spanish Mission antecedents. Although its siting and eclectic use of materials differs from The Desboro, it nevertheless draws similarities to its southern elevation in terms of its formal symmetrical composition, external staircases, sash windows, flared window canopies and use of detailing, including overhanging eaves and exposed rafter tails. While Newhaven is ultimately

more intact than The Desboro, it is ultimately less visually prominent due to its smaller scale and straightforward arrangement of elements on a single façade.

- **The Wandsworth, 13 Glen Huntly Road, Elwood (Citation 1986).** Constructed in c.1920, the Wandsworth comprises a two-storey block of Arts and Crafts style flats that compares to The Desboro in terms of its corner siting, external staircases, grouped timber framed sash windows, overhanging eaves, open balconies and shingled detailing. Unlike The Desboro, it is defined by its Bungalow style sloping roof forms and asymmetrical arrangement along the southern elevation, and features remnant Federation Queen Anne elements, including terracotta roof finials. It is overall less articulated than The Desboro, which is set apart by prominent scale, stylistic coherence and incorporation of prominent shingled bays and unusual corner buttresses.
- **Clairvaux, 44 Blessington Street, St Kilda (Citation 427).** While constructed several years earlier than The Desboro in 1917, Clairvaux nevertheless compares as an Arts and Crafts style flat defined by its careful balance of arrangements, including timber shingles, projecting balcony, drum shaped corner bay, external staircase, and overhanging eaves with exposed rafter tails. Although more picturesque than The Desboro owing to its generous front setback comprising a landscaped garden and intact red brickwork, it is less prominent in terms of siting, and lacks the sophisticated incorporation of prominent corner buttresses and repetitive shingled bays.

Assessment

This place has been assessed in accordance with the processes and guidelines outlined in the Australia ICOMOS *Charter for Places of Cultural Heritage Significance* (The Burra Charter) 2013, using the HERCON criteria.

Recommendations

Retain in the Heritage Overlay as a Significant place within the Glen Huntly and Ormond Road Precinct. Designate front fence as not exempt under Clause 43.01-4.

Primary source

Extent Heritage Pty Ltd, *Elwood Heritage Review*, prepared for City of Port Phillip, 2023.

Other studies

Andrew Ward & Associates, *City of Port Phillip Heritage Review*, prepared for City of Port Phillip, 1998.

Other images



Figure 3. Oblique view of eastern and southern elevation.



Figure 4. Overview of main façade fronting Shelley Street.



Figure 5. View of eastern corner bay. Upper floor has been enclosed with windows.



Figure 6. Detail view of central front façade bay.



Figure 7. Detail view of western corner bay.

City of Port Phillip Heritage Review

Place name: Tiuna
Other names: House

Citation No: 372



Address: 8 Tiuna Grove, Elwood

Category: Residential: House

Style: Victorian: Italianate

Constructed: 1884

Designer: Unknown

Amendment: TBA

Comment: Revised citation

Heritage Precinct: Elwood: Glen
Huntly Road & Ormond Road

Heritage Overlay: HO8

Graded as: Significant

Victorian Heritage Register: No

Significance

What is significant?

The house known as Tiuna, constructed in 1884 at 8 Tiuna Grove, Elwood is significant. The former freestanding single-storey structure (now adjoined to the main residence) along the eastern extent of the property also comprises original fabric and contributes to the significance of the place.

Alterations and additions are not significant.

How is it significant?

Tiuna is of local historical and aesthetic significance to the City of Port Phillip.

Why is it significant?

Tiuna is of historical significance as a surviving Victorian era mansion constructed in 1884. It forms one of the few surviving houses in Elwood that date back to Melbourne's 1880s land boom, which saw the subdivision of large mid-Victorian estates and the attempted development of middle-class villas and grand upper-class mansions oriented towards the sea in Elwood. These developments were only moderately successful in Elwood due to the lack of public transport and services, and many of the small number of late Victorian properties that were erected were demolished during the subsequent waves of development in the suburb. With this, Tiuna provides insight into this limited phase of residential development that occurred in the suburb during the prosperous 1880s boom period. (Criterion A)

Tiuna is of aesthetic significance as a fine example of a grand, Victorian Italianate seaside mansion. It is distinguished by its orientation towards the sea, symmetrical front façade, hipped roof clad with slate tiles and supported by bracketed eaves, timber sash windows, a full run front porch with iron posts and cast iron lacework, and chimneys with cornice mouldings and terracotta chimney pots. These features, along with its generous setback combine to form a highly intact and elegant freestanding mansion within the streetscape. (Criterion E)

Thematic context

Victoria's framework of historical themes

2. Peopling Victoria's places and landscapes: 2.7 Landboomers' mansions; 6. Building towns, cities, and the garden state: 6.7 Making homes for Victorians

Port Phillip thematic environmental history

5. Buildings and cultural landscapes: 5.2 Shaping the suburbs (5.2.2 Private development) (5.2.3 Suburban identities)

History

Pre-colonial history

For thousands of years preceding European colonialism, the land and environmental surrounds of Elwood was home to the Yalukit Willam clan of the Boonwurrung language group, who occupied territory east of the Werribee River to St Kilda. With lands adjacent to the sea and in proximity to the neighbouring Elwood wetlands, this environment provided Traditional Owners with access to an abundance of resources, including freshwater vegetables, wildfowl and eels from the Elwood wetlands, as well as saltwater shellfish, fish and crustaceans from the reef. Meanwhile, the rocky headland of red, brown and yellow sandstone, now known as Point Ormond, was a prominent feature in the landscape that provided views across Port Phillip Bay (refer to Figure 1). Archaeological records indicate that the area of Point Ormond was an active campsite, with stone axes and bowl awls recovered in the area in the 1970s (Eidelson 2006, 42). A shell midden was also uncovered in close proximity to Point Ormond, suggesting that the Boon Wurrung people in the area cooked shellfish gathered from the reef (Ellender and Weaver 1994). The land on which the precinct would come to be located on is shown in Figure 1 as being lightly wooded, and pre-colonial ecological vegetation classes show the land being a mix of damp sands herb woodlands and grassy woodlands.

While the rich cultural heritage of Traditional Owners in Elwood continues to have a strong presence to this day, their lifestyle and lands were severely impacted following the onset of European colonisation, particularly after the arrival of the Glen Huntly emigrant ship in Port Phillip Bay in 1840 (Finn 1888, 596-597). The ship was carrying 157 Scottish passengers, with fifty suffering from Typhus fever. A makeshift quarantine settlement was immediately established adjacent to the shore on Point Ormond near to the precinct, then known as Little Red Bluff (Moore 1990). As shellfish harvests took place right alongside the station, superintendent Charles La Trobe ordered the expulsion of all Aboriginal camps from the area (Eidelson 2006, 42). La Trobe's actions formed merely one part of a wider colonial process of displacement and dispossession, which would have continued terrible ramifications for generations.



Figure 1. c.1864 illustration of Point Ormond and the coast looking towards St Kilda, representing a pre-developed landscape. Source: Clark, T. c.1864. Red Bluff Brighton (Point Ormond). Watercolour painting, accession no: H299. State Library of Victoria.

Contextual history

Elwood's first land sales took place until 1851, which saw the subdivision of land in both St Kilda and what was then known as 'North Elwood' into generous allotments (Surveyor General's Department 1851). Early developments on these allotments comprised a scattering of freestanding mansion estates, including the extant Elwood House at 30 & 30A Vautier Street, Elwood (c.1850s) (Heritage Alliance 2005, 12; Eidelson 2006). Erected on higher ground towards the Esplanade, these mansions solidified Elwood's southern fringe as a prestigious seaside location. Meanwhile, most of the present day suburb to the north of Glen Huntly Road comprised a wetland known as the Elwood Swamp (Public Record Office of Victoria 1851). Deemed unsuitable for residential development, the wetland was soon transformed into a site for noxious trades required by European settlement, with a night soil depot established at Barkly Street in 1857, an open slaughter yard established in 1858 and an abattoir building erected in 1861 (see Figure 2) (Way Back When Consulting Historians 2021, 29-30).

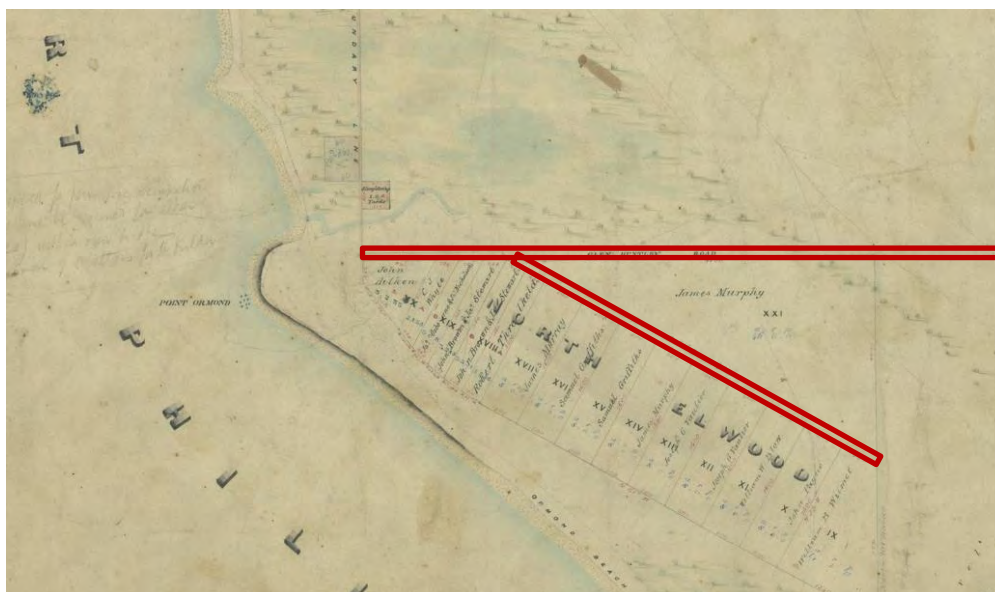


Figure 2. 1851 map showing 'North Elwood' allotments south of the wetland, and Glen Huntly and Ormond Roads marked in red. Source: Surveyor General's Department, Port Phillip Branch. 1851. 'Village of Elsternwick.' Map. Citation no. VPRS 8168/P0002. Public Record Office Victoria.

The suburb underwent a period of change during the 1880s land boom, which not only spurred the subdivision of large estates and the development of several seaside mansions and middle-class Victorian villas, but also the closure of noxious trade facilities and subsequent swamp reclamation works via the development of Elwood Canal by 1897 (The Caulfield and Elsternwick Leader 1889, 4). Despite the prestigious seaside allotments in what was then known as 'North Elwood' (see Figure 2), the subdivisions created in Elwood were relatively unsuccessful in comparison to the neighbouring suburb of St Kilda, with only a relatively small number of villas in Elwood actually built during this period. This was largely due to the lack of public transport and the hovering misconception that Elwood was a polluted 'swampland' (Heritage Alliance 2005, 16-17). Little evidence now remains of this initial phase of Elwood's development, and many of the small number of residences that were built have since been demolished in the subsequent waves of development (Heritage Alliance 2005, 16-17).

Intense residential development in the suburb only truly took off in the early twentieth century following the completion of Elwood Canal in 1897 and the opening of the Victorian Railways St Kilda to Brighton electric tramway line in 1906. By 1908, the first land sales on what once comprised the wetlands had taken place, paving way for further urban growth. More intense than its 1880s predecessor, this period saw the subdivision of remaining sparse mansion estates in Elwood, as well as rapid residential development on the reclaimed wetland and in area south of Ormond Road (Heritage Alliance 2005, 21-23). While much of the earlier Victorian housing stock was demolished as part of this phase of development, several of them were also retained on smaller allotments. Today, the most extensive evidence of Elwood's failed boom era estates can be seen in clusters along Byron Street, Cyril Street, Mason Street and Moore Street (Heritage Alliance 2005, 18).

Tiuna, 8 Tiuna Grove, Elwood

Tiuna was constructed in 1884 for barrister Henry V. Duigan. It originally stood on a 3.3 hectare block that extended from Ormond Road to the beachside Esplanade (The Australian Jewish News 1996, 8). Henry V. Duigan lived there until his death in the late nineteenth century, while his widow Marian remained at the residence until the early twentieth century. The street Tiuna Grove was named after the house, after the grounds were subdivided in 1925 (Peter Andrew Barrett 2019, 3; Heritage Alliance 2005, 25). The 1920 and 1925 directories list Tiuna at 10 Tiuna Grove and H McLeod Duigan as the occupant (Sands & McDougall 1925-30).

In the late 1920s, Tiuna was purchased by Flora Katie Watson, widow of J.B. Watson. Notably, the Watsons were the second owners of the mansion 'Labassa' in Caulfield, and their ownership of Tiuna reflect the suburb's desirability by the interwar period. The subdivision and the sale of the mansion from the Duigan to the Watson family also coincided with the change in numbering of Tiuna from 10 to 8 (Sands & McDougall 1930). From 1930 onwards, multiple occupants are listed at 8 Tiuna Grove due to its subdivision. The entries list number 8 as 'flats' and 8/8a as the house (Sands & McDougall 1930-65). The numbering seems to have changed again in the 1970s with the 1974-75 directory reverting to listing the house at 8 Tiuna Grove with a Mrs C. V. Watson as occupant (Sands & McDougall 1974-75).

The house remained under the ownership and occupancy of the Watson family until at least the mid-1970s (Sands & McDougall). It was owned by actress Jane Turner for a period of twenty-three years until 2020, which was the last time it was up for sale.

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Way Back When Consulting Historians. 2021. 'Thematic Environmental History.' Unpublished report prepared for the City of Port Phillip. PDF file.

Description

Tiuna is a two-storey mansion constructed in the Victorian Italianate style. The original residence presents a compact massing and scale with a considerably restrained form. The masonry residence is finished with a smooth white stucco. The hipped roof is clad with slate tiling and lead ridge flashing. Three chimneys, expressed along the north, south, and east elevations extend above the roof with cornice mouldings and terracotta chimney pots. The roof overhangs the main structure and is supported by paired, bracketed eaves along the front façade.

The west elevation is primarily characterised by its symmetrical composition and full run front porch. The porch is set at ground level and laid with white and black stone chequered tiling. Paired cast-iron posts with ornate lacework and valances support the convex corrugated sheet metal awning with Ogee profile guttering. The central main entrance includes a four-panel timber door set within a Victorian front door assembly with arched sidelights and a fan light within a moulded architrave. Two projecting bays with timber sash windows flank the main entrance. The upper level of the front façade includes three, equally spaced timber sash windows.

The side elevations include similar windows on the upper level, and timber casement windows with arched fanlights on the ground level. A single-storey wing is located to the rear of the main residence. The single-storey wing includes timber French doors to its south and east elevation and presents a materiality, roof form and cladding that is cohesive with the main residence. Originally a freestanding structure, a contemporary two-storey extension connects the two original structures. The extension is clad with timber weatherboards with sliding windows and a cantilevered awning along its eastern side.

Tiuna is set back from the street, allowing for generous front and side yards along its western, eastern and southern open spaces. The street front boundary is demarcated by a tall, rendered masonry wall with interspaced piers. The wall is interrupted at its western end to allow for a car entrance gate and main entrance consisting of arched wrought iron gate with palisades. The driveway and footpath are laid with

pebblecrete and provide access to the parking and front porch. The landscape along the front façade and entryway is lined with in ground garden beds and is separated from the private front and side yard by a tall hedge wall. The main yard area includes three separate timber patios extending from the contemporary connection and northern elevation of the single storey wing. It includes a formal garden, swimming pool and access to a garage. The garage is accessible at the eastern end of the front wall and fronts the street with a four panel garage door and a slate tile clad wall. The hipped roof is clad with a dark terracotta Marseilles tile.

Known alterations the property include:

- Contemporary two-storey extension linking the main residence to the single-storey wing.
- Re-landscaping including addition of the pebblecrete driveway, parking area and paths, and addition of a swimming pool.
- Freestanding garage addition along north-east corner of the property.

Tiuna is in good condition. While the contemporary extension is visible from the public domain, it is not intrusive to original fabric. Tiuna is of high integrity overall.

Comparative analysis

While Melbourne's 1880s land boom saw an extraordinary period of land speculation and residential growth across the city's inner suburbs, the suburb of Elwood was somewhat precluded from this developmental wave. Of the few attempted boom era estates in Elwood, only three had entirely filled out with housing by 1897. This comparative lack of boom era development in Elwood can be owed to the suburb's public transport, as well as the then prevailing misconception of Elwood as a polluted 'swampland' (Heritage Alliance 2005, 17). With this, late Victorian dwellings are less common in Elwood in comparison to the neighbouring suburb of St Kilda (Heritage Alliance 2005, 16).

The few boom era dwellings were successfully erected in Elwood comprised mansions and middle-class villas, situated on generously sized allotments and generally oriented towards the sea. These residences typically took advantage of the unobstructed views of the early, largely undeveloped landscape along the Esplanade, and were built in the popular and extravagant Italianate styles. A reflection of status and wealth, this style was defined by heavily embellished towers, large octagonal bay windows, and deep front porches and verandahs that were often positioned to maintain a strong visual relationship and presence within its setting. Ornamentation was generous yet tasteful, and typically comprised cast-iron elements and lacework, encaustic tiling, and moulded elements.

Tiuna is a two-storey mansion with a relatively modest massing. Key features of the Victorian Italianate style represented at Tiuna include the hipped roof with slate tiles, full run front porch with cast iron posts and lacework, sash windows, moulded brackets, and stucco finish. The central main entrance and flanking bay windows are also characteristic to the formal arrangement of single-fronted examples of the style. While it is a less ostentatious example of a boom era Victorian Italianate villa due to its restrained massing and considered use of detailing, it nevertheless exemplifies a picturesque elegance in terms of its seaside orientation, symmetrical composition, stucco finish and fine filigree detailing. Notably, more conservative examples of two-storey boom era Victorian Italianate residences with a similar restrained symmetrical massing in the City of Port Philip are comparatively rare. Further, examples that best compare typically comprise mid-Victorian era residences that were less ornamented than their late Victorian boom era successors, such as **Hartpur Mansion, 9 Milton Street, Elwood (Citation 2098)** and **Linden, 26 Acland Street, St Kilda (Citation 56)**. Other surviving boom era mansions within Elwood that share some features with Tiuna include:

- **Thalassa, 17 Byrne Avenue, Elwood (Contributory)**. Thalassa is another example of a grand seaside mansion constructed in Elwood during the 1880s land boom period that followed the gold

rush. The two-storey Victorian Italianate mansion draws notable comparisons in terms of its sea facing orientation, rendered façade, sash windows, cast iron lacework and overhanging hipped roof clad with slate tiles and supported by moulded brackets. Thalassa, however, is more complex in composition and features two storey projecting bays on its front façade and single storey projecting bays on its side elevations. It expresses more decorative features compared to Tiuna's restrained design and boasts a two storey wrap around verandah with iron posts and cast-iron lacework. The grounds of Thalassa have also undergone subdivision with the mansion being converted to flats during the interwar period. Due to the unsympathetic addition to Thalassa's northern elevation, Tiuna is considerably more intact.

- **Broad Hinton, 6 Burns Street, Elwood (Contributory).** Built in 1891, Broad Hinton compares to Tiuna as a two storey Victorian Italianate mansion building characterised by a hipped roof clad with slate tiles and supported by moulded brackets, profiled corbelled chimneys, rendered façade, sash windows, and cast-iron lacework. Unlike Tiuna, it is not a seaside mansion and includes an asymmetrical form, a two storey return verandah with cast iron lacework and two storey projecting bays on the front and side elevations. As with Thalassa, it similarly expresses more decorative features than Tiuna and is generally larger in size. Both Broad Hinton and Tiuna are highly intact and in good condition.

Assessment

This place has been assessed in accordance with the processes and guidelines outlined in the Australia ICOMOS *Charter for Places of Cultural Heritage Significance* (The Burra Charter) 2013, using the HERCON criteria.

Recommendations

Retain in the Heritage Overlay as a Significant place within the Glen Huntly and Ormond Road Precinct.

Primary source

Extent Heritage Pty Ltd, *Elwood Heritage Review*, prepared for City of Port Phillip, 2023.

Other studies

Andrew Ward & Associates, *City of Port Phillip Heritage Review*, prepared for City of Port Phillip, 1998.

Other images



Figure 3. Detail view of western elevation.



Figure 4. Detail view of front porch.



Figure 5. Detail view of chimney.



Figure 6. View of front wall and contemporary addition adjoining main residence to rear single-storey structure.

City of Port Phillip Heritage Review

Place name: Yarramundi
Other names: House

Citation No: 751



Address: 27 Ormond Esplanade, Elwood

Category: Residential: House

Style: Interwar: Arts and Crafts

Constructed: 1921

Designer: Matthew Sherlock

Amendment: TBA

Comment: Revised citation

Heritage Precinct: Elwood: Glen
Huntly Road & Ormond Road

Heritage Overlay: HO8

Graded as: Significant

Victorian Heritage Register: No

Significance

What is significant?

Yarramundi, designed and constructed by Matthew Sherlock in 1921 at 27 Ormond Esplanade, Elwood is significant. The original front and side boundary fence and rear carport also contributes to the significance of the place.

Alterations and additions are not significant.

How is it significant?

Yarramundi is of local aesthetic significance to the City of Port Phillip.

Why is it significant?

Yarramundi is of aesthetic significance as an intact and visually commanding Arts and Crafts attic villa. Imposing, eclectic and complex in form, composition and detailing, the substantial residence not only encompasses the key elements associated with the Arts and Crafts style, including gabled projections, prominent eaves with exposed rafter tails, roughcast walls, tapered verandah pylons and shingling, but is also distinguished by its incorporation Classical style motifs, including a Doric columned balcony and domineering symmetrical buttressed porch. The outcome is an exuberantly stylised house, which in combination with the original brick and render boundary fence and rear carport, form a salient and unique villa along the seaside. (Criterion E)

Thematic context

Victoria's framework of historical themes

6. Building towns, cities and the garden state: 6.3 Shaping the suburbs, 6.7 Making homes for Victorians

Port Phillip thematic environmental history

5. Buildings and cultural landscapes: 5.2 Shaping the suburbs (5.2.2 Private development), 5.3 Diverse Housing (5.3.3 Suburban bungalows)

History

Pre-colonial history

For thousands of years preceding European colonialism, the land and environmental surrounds of Elwood was home to the Yalukit Willam clan of the Boonwurrung language group, who occupied territory east of the Werribee River to St Kilda. With lands adjacent to the sea and in proximity to the neighbouring Elwood wetlands, this environment provided Traditional Owners with access to an abundance of resources, including freshwater vegetables, wildfowl and eels from the Elwood wetlands, as well as saltwater shellfish, fish and crustaceans from the reef. Meanwhile, the rocky headland of red, brown and yellow sandstone, now known as Point Ormond, was a prominent feature in the landscape that provided views across Port Phillip Bay (refer to Figure 1). Archaeological records indicate that the area of Point Ormond was an active campsite, with stone axes and bowl awls recovered in the area in the 1970s (Eidelson 2006, 42). A shell midden was also uncovered in close proximity to Point Ormond, suggesting that the Boon Wurrung people in the area cooked shellfish gathered from the reef (Ellender and Weaver 1994). The land on which the precinct would come to be located on is shown in Figure 1 as being lightly wooded, and pre-colonial ecological vegetation classes show the land being a mix of damp sands herb woodlands and grassy woodlands.

While the rich cultural heritage of Traditional Owners in Elwood continues to have a strong presence to this day, their lifestyle and lands were severely impacted following the onset of European colonisation, particularly after the arrival of the Glen Huntly emigrant ship in Port Phillip Bay in 1840 (Finn 1888, 596-597). The ship was carrying 157 Scottish passengers, with fifty suffering from Typhus fever. A makeshift quarantine settlement was immediately established adjacent to the shore on Point Ormond near to the precinct, then known as Little Red Bluff (Moore 1990). As shellfish harvests took place right alongside the station, superintendent Charles La Trobe ordered the expulsion of all Aboriginal camps from the area (Eidelson 2006, 42). La Trobe's actions formed merely one part of a wider colonial process of displacement and dispossession, which would have continued terrible ramifications for generations.



Figure 1. c.1864 illustration of Point Ormond and the coast looking towards St Kilda, representing a pre-developed landscape. Source: Clark, T. c.1864. Red Bluff Brighton (Point Ormond). Watercolour painting, accession no: H299. State Library of Victoria.

Contextual history

Elwood's first land sales took place until 1851, which saw the subdivision of land in both St Kilda and what was then known as 'North Elwood' into generous allotments (Surveyor General's Department 1851). Early developments on these allotments comprised a scattering of freestanding mansion estates, including the extant Elwood House at 30 & 30A Vautier Street, Elwood (c.1850s) (Heritage Alliance 2005, 12; Eidelson 2006). Erected on higher ground towards the Esplanade, these mansions solidified Elwood's southern fringe as a prestigious seaside location. Meanwhile, most of the present-day suburb to the north of Glen Huntly Road comprised a wetland known as the Elwood Swamp (Public Record Office of Victoria 1851). Deemed unsuitable for residential development, the wetland was soon transformed into a site for noxious trades required by European settlement, with a night soil depot established at Barkly Street in 1857, an open slaughter yard established in 1858 and an abattoir building erected in 1861 (see Figure 2) (Way Back When Consulting Historians 2021, 29-30).



Figure 2. 1851 map showing 'North Elwood' allotments south of the wetland, and Glen Huntly and Ormond Roads marked in red. Source: Surveyor General's Department, Port Phillip Branch. 1851. 'Village of Elsternwick.' Map. Citation no. VPRS 8168/P0002. Public Record Office Victoria.

The suburb underwent a period of change during the 1880s land boom, which not only spurred the subdivision of mansion estates and vacant land into suburban housing estates, but also encouraged the closure of noxious trade facilities and subsequent swamp reclamation works via the development of Elwood Canal by 1897 (The Caulfield and Elsternwick Leader 1889, 4). By 1908, the first land sales on what once comprised the wetlands had taken place, paving way for further urban growth. Notably, the construction of Elwood Canal, along with the opening of the Victorian Railways St Kilda to Brighton electric tramway line in 1906 (and the Glen Huntly tramway in 1915), spearheaded another development boom in Elwood during the first two decades of the twentieth century. More intense than its 1880s predecessor, this period saw the subdivision of remaining sparse mansion estates on what was then known as 'North Elwood' (see Figure 2), as well as rapid residential development on the reclaimed wetland and in the area south of Ormond Road (Heritage Alliance 2005, 21-23).

Following the 1905 completion of reclaiming the wetlands, and the expansion of the tramway networks soon after, land became more available and accessible. By the mid-1920s, the suburb had been transformed into a comfortable middle-class residential estate predominantly characterised by freestanding bungalows and villas. An established tramline on Glen Huntly Road and a fully developed landscape south of this arterial route can be seen in a c.1925 aerial photograph (refer Figure 3).



Figure 3. c.1925 photograph of Elwood looking southeast. Source: Charles Daniel Pratt. c.1925. *Elwood area on Port Phillip Bay*. Photograph. State Library of Victoria.

Yarramundi, 27 Ormond Esplanade, Elwood

Yarramundi at 27 Ormond Esplanade, Elwood, was constructed in 1921 to designs by builder and architect Matthew Sherlock. Constructed for T. M. Davie, the substantial freestanding villa was known as 'Yarramundi' by at least 1924 (The Argus 1924, 1; The Prahran Telegraph 1928, 6).

The residence was occupied by the Davie family until the death of Albert Hole Davie in 1956, marking an impressive decades long occupancy (The Argus 1956, 21). Following this period, ownership was transferred to David Watkins by 1960, E. V. Ireland by 1964 and then again to B. Matthews by 1974 (Sands & McDougall 1960-1974). The dwelling appears to have been used as flats during the 1960s, although it has

since been converted back into a house (St Kilda building register cards 1964; Sands and McDougall 1974). As of 2022, the property is in use as a private residential property.

References

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Way Back When Consulting Historians. 2021. 'Thematic Environmental History.' Unpublished report prepared for the City of Port Phillip. PDF file.

Description

Yarramundi is a substantial two-storey Arts and Crafts attic villa. The property is located on a corner allotment fronting Normandy Road to the east, and Ormond Esplanade, Elwood Beach and the bay to the south. The masonry residence is finished with a smooth white render, while its cross gable hipped roof projections are clad with a concrete Cordova profile tile. Two chimneys with an octagonal form and cap with dentils extend from the roof. The roof overhangs the main structure with timber lined eaves and exposed rafter tails.

The front façade is asymmetrical and layered with bay windows, porches, balconies and dormers. The central main entrance is set under a deep buttressed porch. This porch is a visually prominent feature and comprises wide arch fenestrations flanked with buttresses with a concrete breezeblock balustrade. An octagonal bay window is situated to the east of the porch and is detailed with a face clinker brick sill detail and timber shingle clad hood. Meanwhile, a projecting bay window with an overhanging open gable roof is located to the west of the front porch. It presents a similar brick sill and timber shingle hood detailing with additional timber brackets to the eaves as well as expressed timber moulding to the centre of the hood. A secondary entrance and raised open porch laid with rendered and painted brick is located to the west of the aforementioned projecting bay window.

The upper level of the front façade is visually dominated by a deep balcony partially glazed with a curved brick panel and squat pier balustrade. Grouped Doric columns support the timber lined ceiling and hipped roof above.

The eastern elevation fronting Normandy Road is primarily dominated by its open gable form. The ground level includes a narrow projecting section with interspaced casement windows with nib hoods and a half round window. The upper level includes a central triple sash window bank with diagonal leadlight glass. The windows on the eastern elevation feature face clinker brick sills with expressed brick brackets. The upper level terminates with a timber shingled face and includes a sill course with dentils.

The rear elevation is dominated by the steeply pitched gable roof with a small, centred projecting gable dormer. A recessed secondary entrance is framed by a smaller arched opening. A single-storey garage is located off the north elevation and comprises a half-timbered gable structure with a subtle catslide roof.

The residence is generously set back from Ormond Esplanade allowing for an open front yard. The street front boundary is demarcated by a rendered low brick wall with octagonal piers mirroring the chimney form. The wall includes sections of breezeblock and recessed brickwork patterning and a corner timber gate. A second timber gate is located along the Normandy Street front.

Known alterations to the property include:

- Façade of main residence and freestanding garage repainted.
- Some face brick detailing along the eastern elevation of main residence overpainted.
- Some face brick detailing along the eastern elevation of freestanding garage overpainted.
- Garage door replaced.
- Partial alteration to the front wall along Normandy Avenue to include a tall brick wall with car entrance gates (1980).
- Replacement of some windows with single pane glazing.
- Backyard mostly paved with brick.
- Minor accretions include new rainwater goods, and metal chimney pots.

Yarramundi is in good condition. While not without minor alterations, including new window glazing and the repainting of original face brick and timber elements, its overall form, scale and detailing is substantially intact. It is of high integrity overall.

Comparative analysis

Following the economic depression of the 1890s, there was concern that inner Melbourne was becoming overcrowded. Terrace houses fell out of favour, as they were perceived as being cold and dark with limited garden space. Instead, detached bungalows and villas became the most popular form of housing from the Federation/Edwardian period onward. Influenced by the Garden Suburb movements from overseas, these

freestanding suburban homes reflected the concept of one family, one, house, one garden, and became the ideal expression of urban living in the early twentieth century (Davison 2004, 171).

Although most Federation era bungalows in Elwood were initially designed in the Federation or Queen Anne style and characterised by picturesque asymmetrical forms, terracotta tiled roofs and embellishments including terracotta ridge capping, finials and fretted frieze panels, leadlight windows and red brickwork with flush joints, the freestanding bungalow eventually evolved into the Arts & Crafts and California bungalows of the early 1920s, which were primarily distinguished by their gabled roofs, verandah piers and balustrades, timber joinery and double hung or casement stained glass windows.

Yarramundi comprises an eclectic and visually commanding Arts and Crafts attic villa. Idiosyncratic and complex in its composition and detailing, it not only encompasses the key elements associated with the Arts and Crafts style, including gabled roof forms, prominent eaves with exposed rafter tails, roughcast walls, tapered verandah pylons and shingling, but it is also distinguished by its incorporation Classical style motifs, including a Doric columned balcony, and domineering symmetrical buttressed porch. While not unlike Sherlock's other interwar designs in the area, which are typically characterised by a profusion of bay windows, porches, balconies, and attic dormers, executed in an exuberant eclecticism combining Arts and Crafts, Classical, and Californian Bungalow influences, Yarramundi is set apart by its impressive scale and the aforementioned buttressed porch and Doric columned balcony. Comparable works by Sherlock within the municipality include:

- **18 Normandy Road, Elwood (Citation 747).** Constructed in 1920, 18 Normandy Road, Elwood compares to Yarramundi as a substantial Arts and Crafts attic villa characterised by an eclectic composition, exaggerated forms and bold detailing. As with Yarramundi, it features a prominent porch defined by a sweeping arch, profusion of exposed rafter tails, shingling, dramatic gabled roof forms and a deep front setback. Unlike Yarramundi's buttressed porch however, 18 Normandy Road, Elwood is instead distinguished by its attic storey dormer window and incorporation of California Bungalow as opposed to Classical influences.
- **12 Normandy Road, Elwood (Contributory).** Erected in 1917, 12 Normandy Road, Elwood comprises a freestanding attic bungalow defined by intersecting gabled roof forms. While it is substantially smaller in scale than Yarramundi and exhibits a greater deal of Federation style elements such as face red brick, it nevertheless shares with Yarramundi similarities in terms of its roughcast walls, central buttressed porch, shingling and bay windows. It is evidently less distinguished than Yarramundi and pales in comparison to its prominent scale, bold composition and eclectic detailing.
- **11 Tennyson Street, Elwood (Contributory).** Constructed in 1925, 11 Tennyson Street, Elwood comprises an Arts and Crafts style attic bungalow. While it is also substantially smaller than Yarramundi in terms of scale, it draws clear similarities in terms of its combination of hipped and gabled roof forms with overhanging eaves, bay windows, profusion of exposed rafter tails, deep front set back and distinct incorporation of face clinker brick detailing. Of the two, Yarramundi is noticeably more impressive in terms of its scale, dramatic proportions and stylistic dynamism.

Assessment

This place has been assessed in accordance with the processes and guidelines outlined in the Australia ICOMOS *Charter for Places of Cultural Heritage Significance* (The Burra Charter) 2013, using the HERCON criteria.

Recommendations

Retain in the Heritage Overlay as a Significant place within the Glen Huntly and Ormond Road Precinct. Designate outbuildings and front fence as not exempt under Clause 43.01-4.

Primary source

Extent Heritage Pty Ltd, *Elwood Heritage Review*, prepared for City of Port Phillip, 2023.

Other studies

Andrew Ward & Associates, *City of Port Phillip Heritage Review*, prepared for City of Port Phillip, 1998.

Other images



Figure 4. Detail view of front porch and bay window.



Figure 5. Detail view of east elevation fronting Normandy Road.



Figure 6. Detail view of verandah.



Figure 7. Detail view of Doric columned balcony.



Figure 8. View of eastern elevation fronting Normandy Road.



Figure 9. View of garage and wall extension.

City of Port Phillip Heritage Review

Place name: Salvation Army Citadel
Other names: -

Citation No: 313



Address: 17 Camden Street, Balaclava

Heritage Precinct: Not applicable

Category: Church

Heritage Overlay: HO72

Style: Victorian: Romanesque

Graded as: Significant

Constructed: 1892

Victorian Heritage Register: No

Designer: Unknown

Amendment: TBA

Comment: Revised citation

Significance

What is significant?

The Former Salvation Army Church, built in 1892, at 17 Camden Street, Balaclava is significant.

Alterations and additions are not significant.

How is it significant?

The Former Salvation Army Church is of local historical, aesthetic, and social significance to the City of Port Phillip.

Why is it significant?

The Former Salvation Army Church is historically significant as the first purpose-built Salvation Army building to be constructed in the City of Port Phillip. It was built in the late nineteenth century to further the cause of the Salvation Army, a non-conformist church with a strong commitment to welfare and social work. The Church forms a tangible link with the development of not only evangelical churches in the municipality but also with the working-class suburbs they served. (Criterion A)

The Former Salvation Army Church is of representative significance as an early, characteristic example of a Salvation Army building. The building is distinguished by its generous scale, symmetrical arrangement, distinctive tripartite division, gable form, central entrance door, restrained use of detailing, and hall like appearance. Its castellated parapet detailing is also of particular note and illustrates a principal element of the design of Army Architect Brigadier Saunders. (Criterion D)

The Former Salvation Army Church is of aesthetic significance as a relatively intact example of a late nineteenth century Salvation Army building constructed in the Victorian Romanesque style. It is distinguished by its symmetrical arrangement with a broad, front facing gable, tuckpointed red brick, front façade demarcated into three bays, hipped capped pilasters with cornice mouldings, castellated parapet central entrance door, paned arched windows and rendered detailing. These features, along with a narrow setback from the street, raised siting and front boundary fence contribute to the conventional architectural style of the Salvation Army. (Criterion E)

The Former Salvation Army Church is of social significance as a community meeting place for residents for over 100 years. Now occupied by the Ukrainian Orthodox Parish, it maintains its religious function and is readily recognisable within the municipality for its continued use as a church. (Criterion G)

Thematic context

Victoria's framework of historical themes

8. Building community life: 8.1 Maintaining spiritual life, 8.4 Forming community organisations

Port Phillip thematic environmental history

3. People: 3.5 Expressing identity and culture (3.5.1 Social clubs and meeting points)

History

Contextual history

The suburb of Balaclava (to the east of St Kilda) was remote from early settlement in the municipality and remained largely unchanged till the 1880s. Evidenced in the 1873 Vardy Plans, suburban development was predominantly to the west end of Carlisle Street due to the area's proximity to Balaclava Station (City of Port Phillip 2021, 197). During the peak of Melbourne's building boom in 1880s, almost all of the remaining land in Port Phillip was subdivided and offered for sale. Prosperity saw land speculation intensify across the suburbs during that period including Balaclava (Way Back When Consulting Historians 2021, 83-84).

In Balaclava, the mansion estates occupying the high ground on St Kilda hill contrasted with the modest working-class housing that mostly proliferated along the lower lying areas known as the 'Balaclava flats' (Way Back When Consulting Historians 2021, 90). Many of these houses were occupied by people employed by their wealthier neighbours. Balaclava Hotel (formerly Carlisle Hotel), one of the oldest hotels in the municipality, established in 1869 was a popular working-class pub for those residing in the area (The Balaclava Hotel 2021). Nightingale, Camden, Duke, Rosamund and Marlborough Streets are some of the areas with significant surviving examples of modest, timber worker's cottages now documented as heritage precincts in the municipality.

The Salvation Army began in England in 1868 and it was introduced to South Australia in 1880 and to Melbourne in 1882 (Lewis 1991, 12). Under the autocratic rule of William Booth as General Superintendent, the Army was determined 'not to be a church' and is identified as a separate Christian denomination (Lewis 1991, 12). Encouraged by several visits to Australia by General Booth in the 1890s the Salvation Army underwent a significant period of growth in the late nineteenth and early twentieth centuries, and by 1900 there were over 1300 Corps and outposts across Australia and New Zealand (Salvation Army). The Salvation Army has always been prominent in its role in the provision of welfare and in poorer suburbs was often the primary provider of relief.

Salvation Army Citadel, 17 Camden Street, St Kilda East

The Balaclava Corps of the Salvation Army was formed in 1889 although it was not until 1892 that a hall was constructed in Camden Street. The land was purchased for £298 and the construction of the building cost £603. Two memorial stones were laid on 16 November 1892 on the façade of the hall. One was laid by Peter Cousin and the other by Staff Captain Saunders. Inscribed in the stones was the following:

"This memorial stone was laid to the glory of God by Peter Cousin Esq. November 16th, 1892. Wm. Booth General. Thos. B. Coombs Commissioner."

Given Balaclava's clear working-class demographic by the late nineteenth century, it is perhaps unsurprising that the Salvation Army settled in the area given their fierce evangelism and drive for social welfare. The 1898 MMBW plan shows the presence of the Army Barracks on Camden Street along with a row of Victorian cottages present on the opposite side (MMBW 1897) (refer Figure 1).

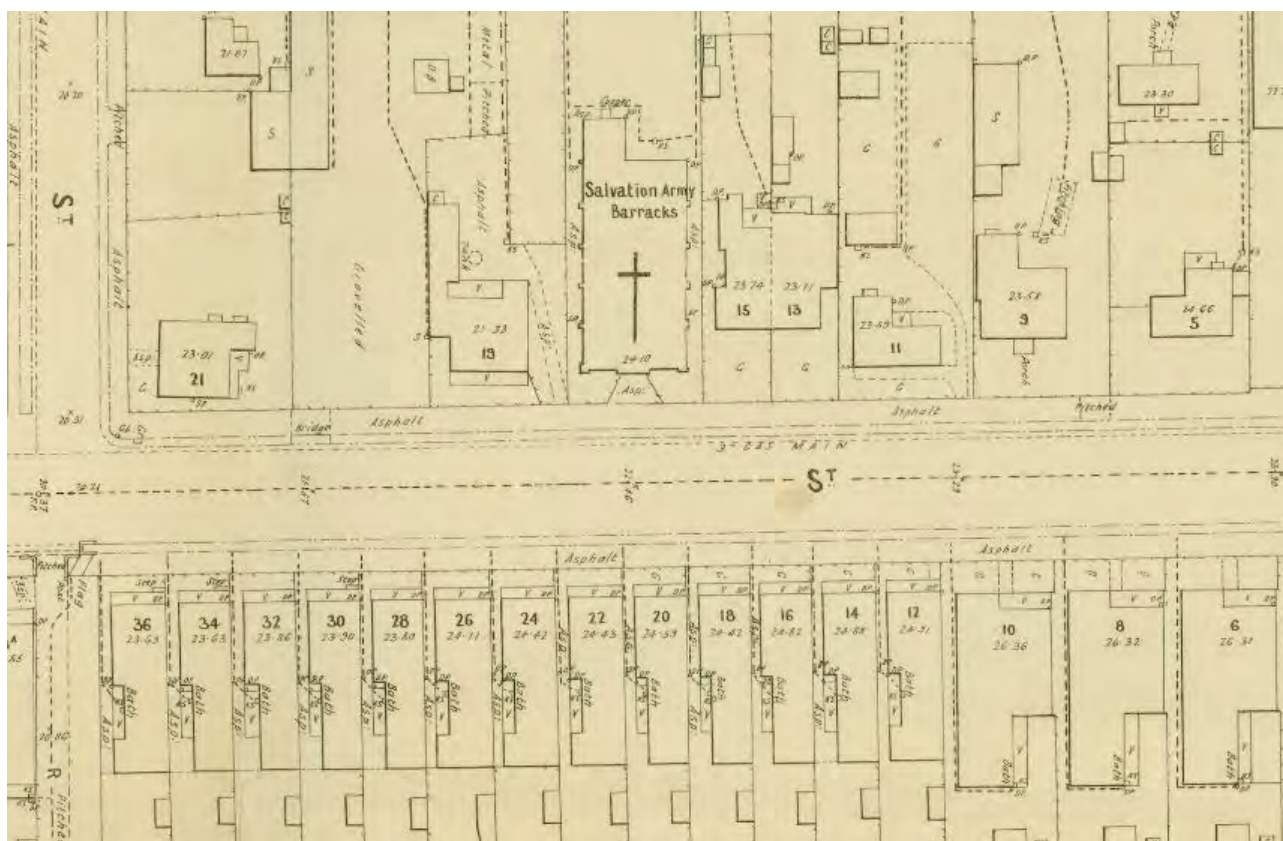


Figure 1. 1897 MMBW detail plan. Source: State Library of Victoria, Melbourne & Metropolitan Board of Works, detail plan no. 1424, 1897.

By 1935 a house at 52 Blessington Street, St Kilda, was left to the corps by a Mr Lyons and was used as officer's quarters. The hall was remodelled and renovated in 1939 and re-opened by Councillor Maroney from St Kilda City Council.

Over its occupation of the hall, Balaclava Corps was known for holding a variety of different events. These included weeklong annual harvest festivals which would feature several services on Sundays, open air meetings, Home League rallies and musical programs. These events were often held outside with hundreds of guests in attendance as well as members in uniform. The Corps also held annual fairs, self-denial drives, and Christmas carolling. Balaclava Corps celebrated its jubilee in 1939. In celebration the 'War Cry,' a monthly magazine by the Salvation Army, carried photographs of various groups, including the Corps Band, the Young People's Singing Company, the Sunbeam Brigade, the Home League, the Corps Cadet Brigade, and the Timbrel Brigade.

From this period onwards, the numbers of members began to gradually decline as a result of ageing membership. The Balaclava Corps of the Salvation Army held its final meeting on 4 January 1976 with sixty people in attendance.. The meeting was conducted by Colonel H. Preston and Colonel Allen Sharp, and Colonel Preston closed the door of the hall for the last time as a Salvation Army citadel.

Following this closure, the building was sold on 16 February 1976 to the local Ukrainian Orthodox parish. The hall continues to be used as a church and is known as the Parish of the Sacred Assumption of the Holy Virgin. The interior has been modified and decorated to suit this function.

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Description

The Salvation Army Citadel is a late nineteenth century church building constructed in the Victorian Romanesque style. The building presents a modest, domestic massing with an open gable form. The structure includes a single-storey skillion roof rear extension to the west. The roof is clad with corrugated sheet metal.

The red brick façade presents a balanced, symmetrical layout. It is contrasted with white rendered trim around the parapet and fenestration. The façade is visually demarcated into three bays by rendered pilasters with cornice mouldings. The central bay includes the main entrance doors with an arched hood mould broken by a recessed circular opening. A timber louvred half arched window sits above the circular opening. Situated above the main entrance is a memorial stone and die-cast Cyrillic script lettering.

The flanking bays feature single, recessed, fixed sixteen pane arched windows. The fenestration is detailed with an expressed sill and rendered architrave. The arched architrave is detailed with three, equally spaced key motifs featuring and incised texture finish. A memorial stone dating back to 1892 is situated at the base

of the right window. The façade is capped with a castellated parapet. The pilasters extend past the parapet with a hipped cap imitating the castellated form. Orthodox crosses top the flanking pilasters and the centre of the parapet. The parapet returns along the side elevations with a curved form. The side elevations are buttressed and feature a face red brick finish with simple, sixteen-pane rectangular windows.

The church has a narrow setback from the street. The front area is paved with concrete including the steps and landing to the main entrance. A concrete ramp is added along right window leading to the main entrance. Narrow lanes along the north and south elevation provide access to the rear courtyard of the church which has also been laid with concrete.

Known alterations to the property include:

- The single-storey rear skillion roof extension along the western elevation.
- Recladding of the roof with corrugated sheet metal.
- Relaying of the front area, front steps, and rear courtyard with concrete.
- Addition of the concrete ramp to the front façade.
- Alteration of the main entrance door presently consisting of a double timber sheeted door.
- Addition of the memorial stone and Cyrillic script above the main entrance, and Orthodox crosses to the parapet in association with the Ukrainian Orthodox parish.
- Addition of a metal bar across the centre of the parapet to support the cross structure.
- Addition of timber picket fences along the north and south lanes.
- Minor accretions include the addition of an electrical box to the front façade beside the right window and wall mounted light fixture above the main entrance.

There is minor damage and cracking to the brickwork and pointing. The white render shows some weathering and is stained, particularly along the parapet and windowsill. Overall, the church is in good condition and of high integrity.

Comparative analysis

The Salvation Army was first established in Australia in 1880 and produced a large number of buildings in the late nineteenth, early twentieth century. Despite some variation in design details, Salvation Army buildings demonstrated the same basic form of a gabled roofed rectangular hall, with a central door and symmetrical features, distinguished in type by size and relative amounts of austere embellishment (Muratore & Willis 2015, 65). The distinctive tripartite division was not about branding or identification but evolved mostly from their military ethos and practicality and the standardisation reflected their frugal nature (Muratore & Willis 2015, 81).

The Former Salvation Army Church at Balaclava was the first Army building to be constructed in the City of Port Phillip, and one of the few Army buildings constructed in Victoria in the late nineteenth century. The Former Salvation Army Church exhibits the typical features of a Salvation Army building along with the distinctive detail of a castellated parapet. This parapet detailing is also featured on the 1884 Salvation Army Barracks, 720 Brunswick Street North, North Fitzroy, the 1891 Former Salvation Army Barracks (Hall), 61 David Street, Preston (HO27) and the 1901 Salvation Army Training Garrison, 68-88 Victoria Parade, East Melbourne (VHR H0554). The Salvation Army Barracks (Hall) in Preston was the first suburban hall to use the fully castellated style from the design of Army Architect Brigadier Saunders and in turn served as the prototype for the Victoria Parade Salvation Army training college (Hermes, ID 65418).

The Former Salvation Army Church, Balaclava, in terms of historical development, can be compared to the Former Salvation Army Citadel, which forms the one other building in the City of Port Phillip associated with the Army:



- **Former Salvation Army Citadel, 232 Dorcas Street, South Melbourne (Citation I121).** Although built in the twentieth century and in the Edwardian style, the Former Salvation Army Citadel in South Melbourne is directly comparable to the Church as a Salvation Army building built in the municipality for the purpose of furthering the Army cause. Despite different architectural styles, key comparable features include a symmetrical hall like form with a broad, front facing gable, restrained use of detailing, castellated parapet, and a central entrance door. Both buildings also have rendered detailing contrasting the tuckpointed, face red brick used for the facades. Unlike the Church, the Citadel's front façade terminates as turrets at either end and the footprint of the building wholly occupies the property lot and has no setback from the street. The Citadel is substantially intact however no longer used as a religious facility.

In terms of aesthetic value, the Church can most readily be compared to other early Salvation Army buildings which lie outside of the municipality:

- **Salvation Army Citadel, 24-26 Victoria Street, Windsor (City of Stonnington HO113).** The Salvation Army Citadel in Windsor is the first building to be built by the Army outside of London and demonstrates the key features associated with Salvation Army buildings. Built in 1883, also in the Victorian Romanesque style, it draws notable comparison to the Church in terms of its symmetrical façade, hall like appearance stemming from its generous scale, a broad, front facing gable set between four square fronted piers, arched windows, and a central entrance doorway. The Windsor Citadel however lacks a setback from the street and is not a standalone structure. In conjunction with its neighbouring hall, it forms a conventional Salvation Army building complex. The Windsor Citadel is less intact having undergone several alterations over its lifetime including the replacement of its original brick finish with stucco render.
- **Salvation Army Hall, 256 Albert Street, Brunswick (City of Merri-bek HO253).** The Salvation Army Hall in Brunswick compares as an example of a late nineteenth century purpose-built Salvation Army building. As with the above two examples, it also shares with the Church a broad, front facing gable, generous scale, central entrance door, restrained use of detailing, symmetrical arrangement, and hall like appearance. Other similarities also include a deeper setback from the street, raised sitting and front boundary fence although these are more pronounced in case of the Hall. The Hall has undergone alterations since its construction and is moderately intact. While both structures still maintain their religious function, the Hall has notably continued its association with and use as a Salvation Army building.

Other comparable examples of Salvation Army buildings outside the municipality include:

- Salvation Army Hall and Sunday School, 710 High Street, Thornbury (Darebin City HO285).

Assessment

This place has been assessed in accordance with the processes and guidelines outlined in the Australia ICOMOS *Charter for Places of Cultural Heritage Significance* (The Burra Charter) 2013, using the HERCON criteria.

Recommendations

Retain in the Heritage Overlay as a Significant place with external paint controls and solar energy system controls.

Primary source

Extent Heritage Pty Ltd, *Elwood Heritage Review*, prepared for City of Port Phillip, 2023.



Other studies

Andrew Ward & Associates, *City of Port Phillip Heritage Review*, prepared for City of Port Phillip, 1998.

Other images





Figure 2. Oblique view of the front façade.



Figure 3. East facing overview of entrance door, setback and raised sitting.



Figure 4. Detail view of entrance door and arched window.



Figure 5. Detail view of castellated parapet.



Figure 6. Detail view of central bay opening and blind window.



Figure 7. Detail view of Orthodox cross and pilasters.



Figure 8. Detail view of 1892 memorial stone.



Figure 9. Detail view of Cyrillic script and memorial stone.

City of Port Phillip Heritage Review

Place name: Glenronald
Other names: Flats

Citation No: 895



Address: 75 Dickens Street, Elwood

Heritage Precinct: Not applicable

Category: Residential: Flats

Heritage Overlay: HO106

Style: Interwar: Spanish Mission

Graded as: Significant

Constructed: 1927

Victorian Heritage Register: No

Designer: J. E. Powell

Amendment: TBA

Comment: Revised citation

Significance

What is significant?

Glenronald, designed by J. E. Powell in 1927, at 75 Dickens Street, Elwood is significant. The original roughcast render front and side boundary fence also contributes to the significance of the place.

Alterations and additions are not significant.

How is it significant?

Glendronald is of local aesthetic significance to the City of Port Phillip.

Why is it significant?

Glenronald is of aesthetic significance as a fine and highly intact example of two storey Spanish Mission style flats. It is a visually distinct building due to its imposing corner siting and is distinguished by its elegant symmetrically arranged elevations, hipped roof clad in Marseille tiles and lined with timber eaves, barley twist columns, external staircases and arched forms decorated with face brick voussoirs. These features, along with its incorporation of eclectic detailing including a wrought iron balustrade and extruded window sills with patera mouldings combine to form an evocative and romantic flat design. (Criterion E)

Thematic context

Victoria's framework of historical themes

6. Building towns, cities, and the garden state: 6.3 Shaping the suburbs, 6.7 Making homes for Victorians

Port Phillip thematic environmental history

5. Buildings and cultural landscapes: 5.2 Shaping the suburbs (5.2.2 Private development), 5.3 Diverse Housing (5.3.5 Higher-density housing)

History

Pre-colonial history

For thousands of years preceding European colonialism, the land and environmental surrounds of Elwood was home to the Yalukit Willam clan of the Boonwurrung language group, who occupied territory east of the Werribee River to St Kilda. With lands adjacent to the sea and in proximity to the neighbouring Elwood wetlands, this environment provided Traditional Owners with access to an abundance of resources, including freshwater vegetables, wildfowl and eels from the Elwood wetlands, as well as saltwater shellfish, fish and crustaceans from the reef. Meanwhile, the rocky headland of red, brown and yellow sandstone, now known as Point Ormond, was a prominent feature in the landscape that provided views across Port Phillip Bay (refer to Figure 1). Archaeological records indicate that the area of Point Ormond was an active campsite, with stone axes and bowl awls recovered in the area in the 1970s (Eidelson 2006, 42). A shell midden was also uncovered in close proximity to Point Ormond, suggesting that the Boon Wurrung people in the area cooked shellfish gathered from the reef (Ellender and Weaver 1994). The land on which the precinct would come to be located on is shown in Figure 1 as being lightly wooded, and pre-colonial ecological vegetation classes show the land being a mix of damp sands herb woodlands and grassy woodlands.

While the rich cultural heritage of Traditional Owners in Elwood continues to have a strong presence to this day, their lifestyle and lands were severely impacted following the onset of European colonisation, particularly after the arrival of the Glen Huntly emigrant ship in Port Phillip Bay in 1840 (Finn 1888, 596-597). The ship was carrying 157 Scottish passengers, with fifty suffering from Typhus fever. A makeshift quarantine settlement was immediately established adjacent to the shore on Point Ormond near to the precinct, then known as Little Red Bluff (Moore 1990). As shellfish harvests took place right alongside the station, superintendent Charles La Trobe ordered the expulsion of all Aboriginal camps from the area (Eidelson 2006, 42). La Trobe's actions formed merely one part of a wider colonial process of displacement and dispossession, which would have continued terrible ramifications for generations.



Figure 1. c.1864 illustration of Point Ormond and the coast looking towards St Kilda, representing a pre-developed landscape. Source: Clark, T. c.1864. Red Bluff Brighton (Point Ormond). Watercolour painting, accession no: H299. State Library of Victoria.

Contextual history

Elwood's first land sales took place until 1851, which saw the subdivision of land in both St Kilda and what was then known as 'North Elwood' into generous allotments (Surveyor General's Department 1851). Early developments on these allotments comprised a scattering of freestanding mansion estates, including the extant Elwood House at 30 & 30A Vautier Street, Elwood (c.1850s) (Heritage Alliance 2005, 12; Eidelson 2006). Erected on higher ground towards the Esplanade, these mansions solidified Elwood's southern fringe as a prestigious seaside location. Meanwhile, most of the present day suburb to the north of Glen Huntly Road comprised a wetland known as the Elwood Swamp (Public Record Office of Victoria 1851). Deemed unsuitable for residential development, the wetland was soon transformed into a site for noxious trades required by European settlement, with a night soil depot established at Barkly Street in 1857, an open slaughter yard established in 1858 and an abattoir building erected in 1861 (see Figure 2) (Way Back When Consulting Historians 2021, 29-30).



Figure 2. 1851 map showing 'North Elwood' allotments south of the wetland, and Glen Huntly and Ormond Roads marked in red. Source: Surveyor General's Department, Port Phillip Branch. 1851. 'Village of Elsternwick.' Map. Citation no. VPRS 8168/P0002. Public Record Office Victoria.

The suburb underwent a period of change during the 1880s land boom, which not only spurred the subdivision of mansion estates and vacant land into suburban housing estates, but also encouraged the closure of noxious trade facilities and subsequent swamp reclamation works via the development of Elwood Canal by 1897 (The Caulfield and Elsternwick Leader 1889, 4). By 1908, the first land sales on what once comprised the wetlands had taken place, paving way for further urban growth. Notably, the construction of Elwood Canal, along with the opening of the Victorian Railways St Kilda to Brighton electric tramway line in 1906 (and the Glen Huntly tramway in 1915), spearheaded another development boom in Elwood during the first two decades of the twentieth century.

Subdivision of mansion estates and their conversion to boarding houses paved the way for high density living and, in turn, flat development. Initially appearing in Melbourne in 1906, flats slowly spread to the suburbs and appeared close to transport routes, particularly along or within walking distance of tram routes to facilitate easy travel to the city (Way Back When Consulting Historians 2021, 95). With its proximity to the beach and parklands, good public transport networks and seaside character, both the suburbs of Elwood and St Kilda became popular destinations for this type of housing stock, and by 1935, the St Kilda municipality contained over 2,800 flats in over 500 blocks by 1935 (Way Back When Consulting Historians 2021, 96). A further 2,000 flats were added by 1940; however, the onset of World War II slowed development. Nonetheless, by 1947 St Kilda contained 5,500 purpose-built flats, a quarter of all flats in Melbourne (Way Back When Consulting Historians 2021, 96).

Glenronald, 75 Dickens Street, Elwood

Glenronald flats were designed and constructed in 1927 by builder J. E. Powell (City of St Kilda Building Register). At the same time Powell also designed and built Mervyn Court to the rear of Glenronald. The design of the block of flats varies slightly from what was originally proposed in the drawings (refer **Error! Reference source not found.**). The as-built Dickens Street elevation exhibits revealed clinker brick panels and face brickwork voussoirs on the upper level of its projecting bay but lacks the raised arched pediment incorporated in the drawings. The window arrangement on the recessed bays also differs. The central projecting bay on the as-built eastern elevation comprises paired arched openings on the lower floor and similar narrower paired arched openings on the upper forming a closed roofed balcony on the upper floor, otherwise sketched differently in the proposed drawings.

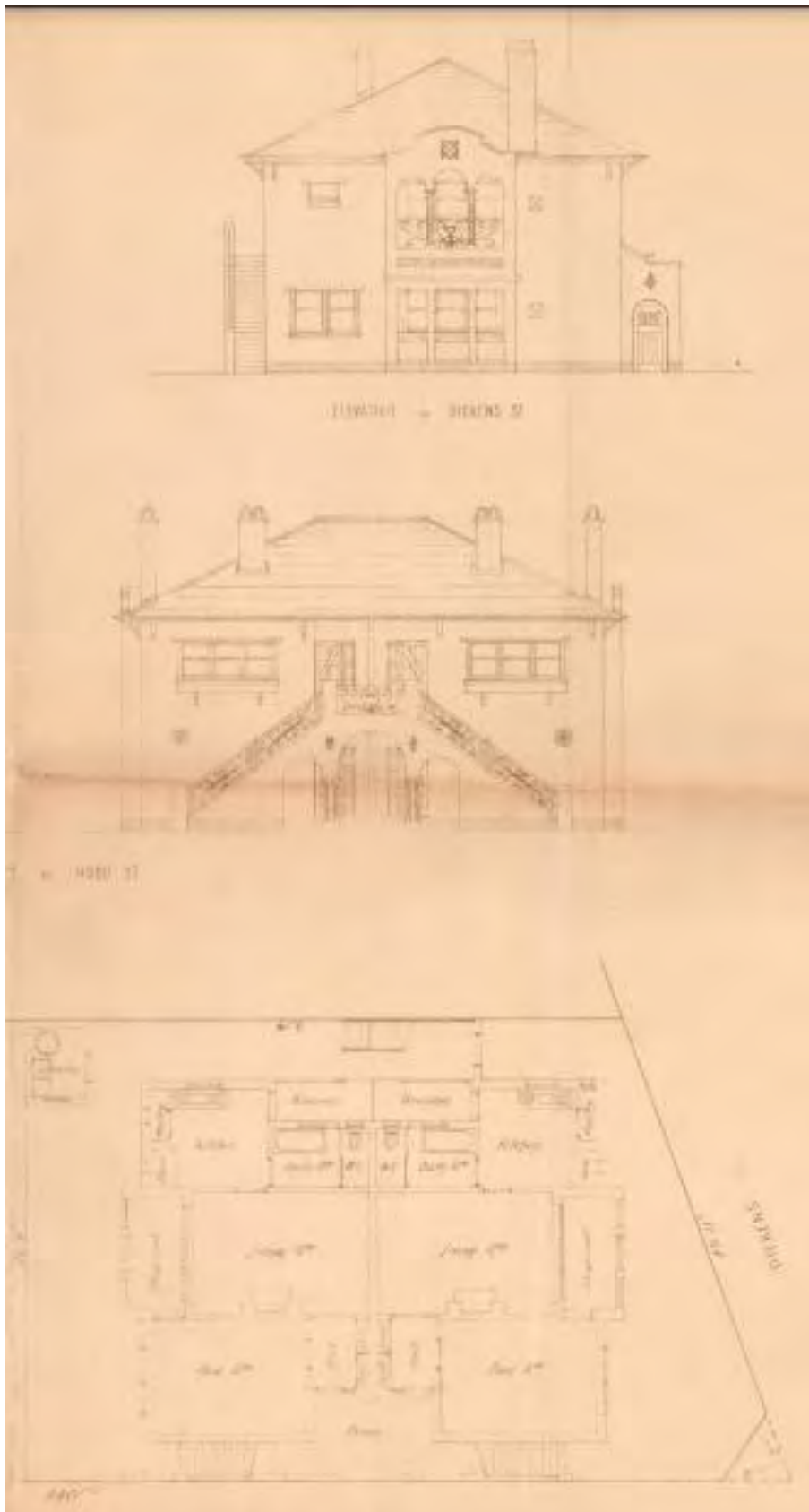


Figure 3. Two proposed block of flats Dickens Street and Hood Street, St Kilda. Source: J. E. Powell. n.d. Drawings of 75 Dickens Street and 9 Hood Street, Elwood. Council Records. City of Port Phillip.

A 1934 newspaper advertisement lists them as an investment under the property market section and describes the flats as 'modern and low rents due to deceased estate bargain' (The Argus 1934, 2).

J.E. Powell was one of several builder/designers, mainly of residential buildings, who were active in St Kilda and Elwood during the interwar period. Other known buildings by him include the Wimbledon Court flats at 14 Wimbledon Avenue, Elwood, which were built in 1929-30.

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Description

Glenronald is two-storey interwar flat building designed in the Spanish Mission style. It occupies a corner allotment fronting Dickens Street to the north and Hood Street to the east. The two street fronting elevations are distinguished by symmetrical elevations with repeated forms and detailing. The masonry structure is finished with a cream-coloured roughcast render punctuated by a face clinker brick string course at mid-wall height. The hipped roof is clad with terracotta Marseilles tiles and ridge capping with two rendered chimneys. The roof has deep flat timber lined eaves and quad gutters.

The northern elevation is divided into three bays. The projecting centred bay contains a two-level porch and balcony. The deep porch on the ground level has squared openings with timber French doors and sidelights occupying the entire wall. The upper level consists of a bank of three timber sash windows with revealed clinker brick panels beneath the sill. The windows are detailed with barley twist columns supporting a triple blind arch with face brickwork voussoirs. A name plate with incised lettering reading 'Glenronald' sits under the brick reveal course. The flanking bays contain pairs of boxed double timber sash windows with a moulded architrave. The windows include leadlight glass and an extruded planter box with paired moulded brackets and floral patera mouldings.

The eastern elevation fronting Hood Street is dominated by a central projecting bay with stairs that extend across the face of the flanking bays and have wrought iron and rendered balustrades. The ground level of the central bay consists of a deep-set porch with terrazzo flooring and two partially separated entrances. The paired arch opening is detailed with barley twist columns, face brick voussoirs, and a nameplate reading 'Glenronald'. The upper level of the central bay is accessed via the stairs. Its front face similarly features a paired but narrower arch fenestration with the same detailing as below and a face brick reveal panel as the balustrade. The ground level has a porthole window with a face brick edge to the right of the stairs and a small timber leadlight window to the left. At the first-floor level there are triple timber sash windows on either side of the central bay. The windows comprise a repeated leadlight upper pane and an extruded sill with the floral patera mouldings.

The apartment occupies the majority of the allotment with a narrow setback along Dickens Street. The Dickens Street front boundary is demarcated by a low masonry roughcast rendered wall with a rounded cap and interspaced with squat posts with a hipped cap. The wall addresses the corner allotment with a chamfered edge. The rear of the property includes a contemporary single storey garage addition, accessed via Hood Street.

Known alterations to the property include:

- Relandscaping to the rear.
- Addition of the single storey garage structure.
- Addition of a timber gate along the western elevation.
- Altered front entrance doors to the eastern elevation.
- Minor accretions including new rainwater goods and roof mounted antennas.

Glenronald is in good condition and is of high integrity overall.

Comparative analysis

By the late nineteenth century, architects in California recognised the value of their own historic surroundings and were inspired by the Spanish Colonial mission heritage of California and the Southwest. These West Coast architects launched the Mission Revival style, which was characterised by silhouetted shapes that mimicked the old missions, with large stucco surfaces, often punctuated by deep windows and door openings, exterior surfaces usually devoid of any ornamental detail, and gable and hips roofs with overhanging eaves and typically sheathed with red clay tile (National Park Service 2019).

In Victoria, the closely related Spanish Mission and Mediterranean styles were popular during the interwar period. Spanish Mission reflected the Californian ideal of Spanish style whilst the Mediterranean style, being more restrained and formal in appearance, more accurately represented the architecture of Spain and Italy (Apperly et al 1989, 172; Creative Victoria 2016). As in California, both the Spanish Mission and Mediterranean styles were particularly suited to St Kilda and Elwood's seaside location, and quickly became a popular style for flat development. Aesthetically, the massing and restrained character of the Mediterranean style underlines a relationship to the Georgian Revival. Balconies are common whilst deep porches shade entrance doors, lined eaves are more prominent, and the classical detailing tends to be more

playful than that of the Georgian style (Barrett 2021). Key details include pergolas, balconies, arcaded loggia and a formal entrance, with sidelights and highlights. On the other hand, the Spanish Mission style was more romantic and evocative in appearance, and typically distinguishable from the Mediterranean by its asymmetrical compositions, concentrations of elaborate ornamentation contrasted against plain surfaces, and twisted Baroque/barley twist columns.

Glenronald was constructed in 1927 to the design of J E Powell. While the flat presents a Mediterranean composition in terms of its restrained, symmetrically arranged façades, it exemplifies key elements of the more evocative Spanish Mission style in terms of its barley twist columns, external staircases and repeated arched forms decorated with face brick voussoirs. Additional ornamental features such as face brick panel and course reveals, and expressive window banks with moulded timber frames, rendered sills and balconettes, with delicate leadlight detailing further combine to create an elegant and romantic flat design.

Stylistically, Elwood's interwar flats exhibited many of the architectural styles that were fashionable during the time: Tudor Revival, Mediterranean, Spanish Mission (considered highly appropriate for Elwood's seaside position), Functionalist and hybrid combinations of the above (Heritage Alliance 2005, 27). Although quite different in style, interwar flats were united by their common type and scale (typically two to three storeys) and their palette of materials (rendered brick, face brick, terracotta tiles roofs, etc.) (Heritage Alliance 2005, 29). The only other comparable flat within the City of Port Philip designed by J. E. Powell is **Wimbledon Court, 14 Wimbledon Avenue, Elwood (Contributory)**. A contributory graded building within the St Kilda, Elwood, Balaclava, Ripponlea Precinct (HO7), Wimbledon Court comprises a 1930 single-fronted, two storey Mediterranean style apartment building defined by its strong symmetrical composition. It compares to Glenronald in terms of its deep recessed porches and verandahs, arched loggia openings, timber casement window banks, rendered finish, and hipped roof. However, as Wimbledon Court draws more strongly on Mediterranean antecedents, its ornamentation is comparably more subtle, being composed of a centred nameplate and concrete breezeblocks framing the verandah and entrance porch.

Other Spanish Mission style flat buildings within the City of Port Philip that Glenronald can be compared to include:

- **Los Angeles Court, 81A Spenser Street, St Kilda (Citation 13)**. Constructed in 1930, Los Angeles Court draws notable comparisons in terms of its almost identical Mediterranean derived symmetrical front façade layout with a projecting entrance porch bay flanked by external staircases. As with Glenronald, the front facade also features rendered stair detailing, barley twist columns, expressed lettering placement, and a central front porch. Other key analogous features include an overhanging hipped roof clad with terracotta tiles, rendered walls, and sash windows with expressed timber frames and a low front boundary wall along its northern elevation. Of the two, Los Angeles Court is a more impressive example of the style owing to its larger scale, and more decorative elements including precast shell mouldings, cross motif panels and more embellished window banks.
- **Southey Court, 41 Milton Street, Elwood (Citation 2064)**. Also built in the late 1920s, Southey Court compares as an interwar Spanish Mission style flat building with rendered elevations, overhanging hipped roof with terracotta tiles, sash windows with expressed timber frames, and detailing including cast cement lettering on the front façade. Its window bank alignment and leadlight detailing is almost identical to Glenronald, albeit with a simple architrave and sill detailing. As with Glenronald and Los Angeles Court, it is also distinguished by its prominent corner siting and resulting form, as seen in the projecting arched entrance bay with external staircase and use of repetitive arch forms.

While the highly expressive nature of the Spanish Mission style has resulted in a wide array of examples with varied forms and detailing, Glenronald, Los Angeles Court, and Southey Court present almost like-for-like comparable forms with similar detailing elements. They are all fine examples of highly intact Spanish Missions style flats that are distinguished by their site responsiveness and eclectic use of detailing.

Assessment

This place has been assessed in accordance with the processes and guidelines outlined in the Australia ICOMOS *Charter for Places of Cultural Heritage Significance* (The Burra Charter) 2013, using the HERCON criteria.

Recommendations

Retain in the Heritage Overlay as a Significant place with external paint controls and solar energy system controls. Designate front fence as not exempt under Clause 43.01-4.

Primary source

Extent Heritage Pty Ltd, *Elwood Heritage Review*, prepared for City of Port Phillip, 2023.

Other studies

Andrew Ward & Associates, *City of Port Phillip Heritage Review*, prepared for City of Port Phillip, 1998.

Other images



Figure 4. Oblique view of north and east facing façades of Glenronald.



Figure 5. West facing view of the front façade.



Figure 6. East facing oblique view of Glenronald.

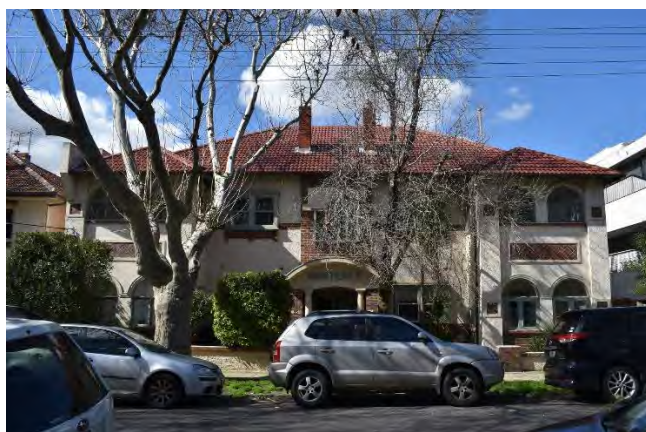


Figure 7. Detail view of the entrance porch and decorative features.

City of Port Phillip Heritage Review

Place name: Monterey
Other names: Flats

Citation No: 29



Address: 35 Docker Street, Elwood

Heritage Precinct: Not applicable

Category: Residential: Flats

Heritage Overlay: HO107

Style: Interwar: Spanish Mission

Graded as: Significant

Constructed: 1928

Victorian Heritage Register: No

Designer: J. R. & E. Secull

Amendment: TBA

Comment: Revised citation

Significance

What is significant?

Monterey, the flats designed and constructed by J. R. & E. Secull in 1928 at 35 Docker Street, Elwood is significant. The original brick and roughcast render front and side boundary fence also contribute to the significance of the place.

Alterations and additions are not significant.

How is it significant?

Monterey is of local aesthetic significance to the City of Port Phillip.

Why is it significant?

Monterey is of aesthetic significance as a fine example of a Spanish Mission style two storey interwar flat. Defined by the overhanging hipped roof clad with terracotta Cordova tiles, symmetrical front façade, projecting hipped bays and curved roof portico, the building presents as a visually imposing interwar flat along the residential streetscape. It is further distinguished by its fenestration and application of detailing including arch motifs, brick piers and Tuscan columns, sash windows with expressed timber frames, casement windows with arched fanlight and moulded architraves, decorative brickwork and cast cement lettering on the front façade. (Criterion E)

Thematic context

Victoria's framework of historical themes

6. Building towns, cities, and the garden state: 6.3 Shaping the suburbs, 6.7 Making homes for Victorians

Port Phillip thematic environmental history

5. Buildings and cultural landscapes: 5.2 Shaping the suburbs (5.2.2 Private development), 5.3 Diverse Housing (5.3.5 Higher-density housing)

History

Pre-colonial history

For thousands of years preceding European colonialism, the land and environmental surrounds of Elwood was home to the Yalukit Willam clan of the Boonwurrung language group, who occupied territory east of the Werribee River to St Kilda. With lands adjacent to the sea and in proximity to the neighbouring Elwood wetlands, this environment provided Traditional Owners with access to an abundance of resources, including freshwater vegetables, wildfowl and eels from the Elwood wetlands, as well as saltwater shellfish, fish and crustaceans from the reef. Meanwhile, the rocky headland of red, brown and yellow sandstone, now known as Point Ormond, was a prominent feature in the landscape that provided views across Port Phillip Bay (refer to Figure 1). Archaeological records indicate that the area of Point Ormond was an active campsite, with stone axes and bowl awls recovered in the area in the 1970s (Eidelson 2006, 42). A shell midden was also uncovered in close proximity to Point Ormond, suggesting that the Boon Wurrung people in the area cooked shellfish gathered from the reef (Ellender and Weaver 1994). The land on which the precinct would come to be located on is shown in Figure 1 as being lightly wooded, and pre-colonial ecological vegetation classes show the land being a mix of damp sands herb woodlands and grassy woodlands.

While the rich cultural heritage of Traditional Owners in Elwood continues to have a strong presence to this day, their lifestyle and lands were severely impacted following the onset of European colonisation, particularly after the arrival of the Glen Huntly emigrant ship in Port Phillip Bay in 1840 (Finn 1888, 596-597). The ship was carrying 157 Scottish passengers, with fifty suffering from Typhus fever. A makeshift quarantine settlement was immediately established adjacent to the shore on Point Ormond near to the precinct, then known as Little Red Bluff (Moore 1990). As shellfish harvests took place right alongside the station, superintendent Charles La Trobe ordered the expulsion of all Aboriginal camps from the area (Eidelson 2006, 42). La Trobe's actions formed merely one part of a wider colonial process of displacement and dispossession, which would have continued terrible ramifications for generations.



Figure 1. c.1864 illustration of Point Ormond and the coast looking towards St Kilda, representing a pre-developed landscape. Source: Clark, T. c.1864. Red Bluff Brighton (Point Ormond). Watercolour painting, accession no: H299. State Library of Victoria.

Contextual history

Elwood's first land sales took place until 1851, which saw the subdivision of land in both St Kilda and what was then known as 'North Elwood' into generous allotments (Surveyor General's Department 1851). Early developments on these allotments comprised a scattering of freestanding mansion estates, including the extant Elwood House at 30 & 30A Vautier Street, Elwood (c.1850s) (Heritage Alliance 2005, 12; Eidelson 2006). Erected on higher ground towards the Esplanade, these mansions solidified Elwood's southern fringe as a prestigious seaside location. Meanwhile, most of the present day suburb to the north of Glen Huntly Road comprised a wetland known as the Elwood Swamp (Public Record Office of Victoria 1851). Deemed unsuitable for residential development, the wetland was soon transformed into a site for noxious trades required by European settlement, with a night soil depot established at Barkly Street in 1857, an open slaughter yard established in 1858 and an abattoir building erected in 1861 (see Figure 2) (Way Back When Consulting Historians 2021, 29-30).



Figure 2. 1851 map showing 'North Elwood' allotments south of the wetland, and Glen Huntly and Ormond Roads marked in red. Source: Surveyor General's Department, Port Phillip Branch. 1851. 'Village of Elsternwick.' Map. Citation no. VPRS 8168/P0002. Public Record Office Victoria.

The suburb underwent a period of change during the 1880s land boom, which not only spurred the subdivision of mansion estates and vacant land into suburban housing estates, but also encouraged the closure of noxious trade facilities and subsequent swamp reclamation works via the development of the Elwood Canal by 1897 (The Caulfield and Elsternwick Leader 1889, 4). By 1908, the first land sales on what once comprised the wetlands had taken place, paving way for further urban growth. Notably, the construction of Elwood Canal, along with the opening of the Victorian Railways St Kilda to Brighton electric tramway line in 1906 (and the Glen Huntly tramway in 1915), spearheaded another development boom in Elwood during the first two decades of the twentieth century. More intense than its 1880s predecessor, this period saw the subdivision of remaining sparse mansion estates on what was then known as 'North Elwood' (see Figure 2), as well as rapid residential development on the reclaimed wetland and in the area south of Ormond Road (Heritage Alliance 2005, 21-23). Following the reclamation of the wetlands by 1905 and the expansion of the tramway networks soon after, more land became available and accessible. While newly erected building stock in the early twentieth century in Elwood predominantly comprised of freestanding middle-class bungalows, the area was also a popular location for residential flats. Initially appearing in Melbourne in 1906, flats slowly spread to the suburbs and appeared close to transport routes, particularly along or within walking distance of tram routes to facilitate easy travel to the city (Way Back When Consulting Historians 2021, 95). With its proximity to the beach and parklands, good public transport networks and seaside character, both the suburbs of Elwood and St Kilda became popular destinations for this type of housing stock. By the mid-1920s, Elwood had been transformed into a comfortable middle-class residential estate. An established tramline on Glen Huntly Road and a fully developed landscape south of this arterial route can be seen in a c.1925 aerial photograph (refer Figure 3). By 1935, the St Kilda municipality contained over 2,800 flats in over 500 blocks (Way Back When Consulting Historians 2021, 96). A further 2,000 flats were added by 1940; however, the onset of World War II slowed development. Nonetheless, by 1947 St Kilda contained 5,500 purpose-built flats, a quarter of all flats in Melbourne (Way Back When Consulting Historians 2021, 96).



Figure 3. c.1925 photograph of Elwood looking southeast. Source: Charles Daniel Pratt. c.1925. Elwood area on Port Phillip Bay. Photograph. State Library of Victoria.

Monterey Flats, 35 Docker Street, Elwood

During the 1851 Crown land sales, J. G. Vautier purchased Sections 12 and 13 in what was then known as 'North Elwood'. Each portion had an area of eight acres and ran from Ormond Road to Ormond Esplanade. The land was subsequently subdivided as the 'Elwood Hill Estate' comprising sixty residential lots and two newly formed streets presently known as Vautier and Docker Streets respectively (Heritage Alliance 2005, 11). Parallel to the streets were lanes that provided access to the rear of each allotment.

At the time, the area was mostly isolated due to wetlands to the east and north (refer Figure 2). It was thus only sparsely populated until early twentieth century swamp reclamation works. In 1920, Annie Hansen owned a house with land at 37 Docker Street. By 1926, the property had been subdivided and the land was rated separately from the house. It had a frontage of 60 feet and an NAV of £54. In 1927, Mrs. Hansen sold the land to Elsie Julia Levy of Elwood.

Monterey, comprising eight four-room flats, was designed and constructed by John R. & E. Secull in 1928 for Elsie Levy. . At the end of 1928, six of the flats were occupied, including one by the owner, and the NAVs ranged from £78 to £110. They were fully leased at that time to Charles Tomkins (manager), Robert Green (clerk), John Flintoff (investor), Walter Balleine (salesman), Norman Potts (manager), George Barrow (theatre employee), Peter Nisbet (sales organiser) and Arthur Barrows (engraver). Between two and three people lived in each flat.

Several repairs and minor alterations were carried out to the flats over the course of the twentieth century, including an extension to the garage of flat 6, and the addition of a brick sun room to the same flat in 1958. Notably, the building suffered serious fire damage in early 1977 (City of St Kilda Building Register). It was subsequently restored in March 1977 with several alterations (see Description).

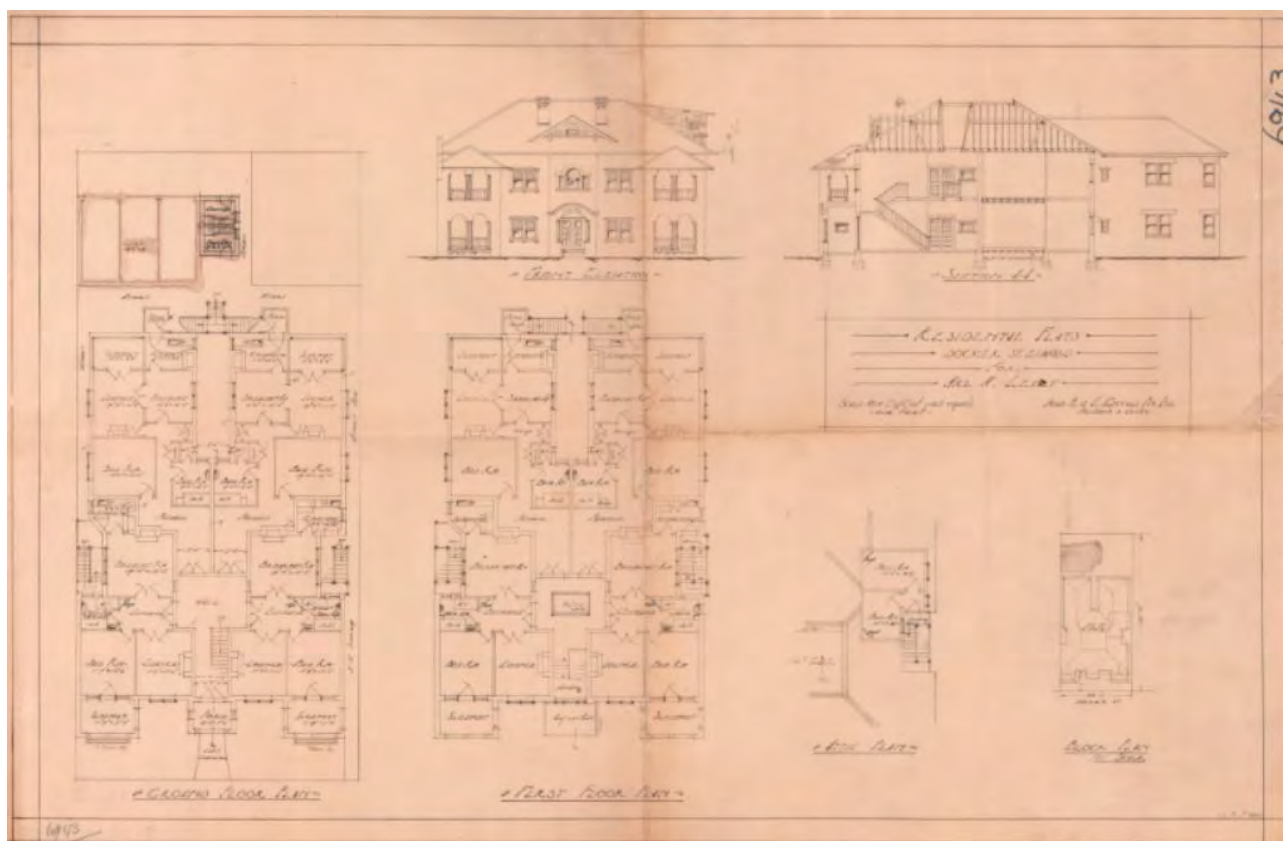


Figure 4. Residential flats Docker Street, Elwood for Mrs M. Levy. Source: John R. & E. Secull Pty Ltd. 1927. Drawings of 35 Docker Street, Elwood. Council Records. City of Port Phillip.

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Description

Monterey is a two-storey interwar era apartment block with Spanish Mission style influences. The apartment fronts Docker Street to the northwest and a bluestone cobbled laneway to the southeast. The structure presents a modest massing with a domestic scale and a hipped roof clad with terracotta Cordova tiles. Two centred red brick chimneys with two terracotta pots along the front roof face. The roof overhangs the main structure with exposed rafter tails.

The front façade presents a balanced and symmetrical layout, visually demarcated into three bays. It is finished with a white roughcast render, contrasted with tuck pointed, face clinker brick elements employed at the dado, sill course, windowsills, and decorative reveal nogging with a zig zag running bond.



The central bay is recessed and houses the curved roof portico supported on face brick piers with Tuscan ordered columns. The portico features expressed rendered lettering reading 'Monterey'. The face clinker brick continues above the portico over a centred Palladian window bank featuring leadlight textured glass with a shield motif. Flanking the portico within the central bay on both levels are double sash window banks with leadlight glass within an expressed painted timber frame. The window feature windowsills constructed of face clinker brickwork laid in a sailor coarse and header laid bricks imitating brackets.

Projecting hipped bays flank the wider central bay. Each bay features arched two casement windows with an arched fanlight and moulded architraves on both levels. The windows include a simple face brick sill. The main section of the bays is finished with a smooth stucco in contrast to the roughcast render.

The southwest elevation is finished with a roughcast render and includes casement and sash windows of varying sizes. It includes a re-constructed external timber stairwell leading to a third-storey extension, partially clad with timber weatherboards and a skillion roof. Meanwhile, the northeast elevation consists of face red brick with a rendered return section from along the front façade. The return features an exposed diamond shaped clinker brick reveal at the mid-level and a projecting corbel. The rear of the property includes a concrete laid parking area and a single-storey brick garage with a skillion roof.

The apartment is set back from the street, allowing for a narrow front garden. The garden is laid with aggregate and some individual plantings including mature yuccas and a deciduous tree beside the entrance portico. Concrete laid paths lead to the main entrance and along the side elevations. The street front boundary is demarcated by a low roughcast rendered brick wall with a face clinker brick cap and squat piers.

Known alterations to the property include:

- Recladding of some sections of the main roof with corrugated sheet metal, including over the third storey extension. Reclad sections are largely not visible from the public domain.
- Sash window timber frames painted.
- Relandscaping of the front garden including addition of the concrete laid pathway.
- Addition of a concrete laid parking area and single-storey brick garage to the rear.
- Minor accretions include the replacement of gutters and downpipes, addition of vent pipes and arials to the roof, and other wall mounted pipes and ducting.

Monterey is in good condition. The building was affected by a fire in 1977 and was subsequently repaired. However, the extent of the damage and repair was not documented and the extent of change to the building as a result of the fire is unknown. While the building's fenestration, form, detailing and roof elements differ to the original plan dating from 1927, differences in elements likely represent historical variation during the construction process, rather than works that occurred post 1977, as they are in keeping with materials, form and design cues from the interwar era. The alteration of elements of designs from plans to as-built was also relatively common during this period and is also evidenced at Glenrondal, 75 Dickens Street, Elwood (PPHR Citation 895) and Kingsley Court, 4-6 Kingsley Street, Elwood (PPHR Citation 2042). In this context, the building is considered to be relatively intact including its original massing, form and detailing. Elements that are likely to be original include the chimneys, face brick dado and brick reveal panelling.

Comparative analysis

Stylistically, Elwood's interwar flats exhibited many of the architectural styles that were fashionable during the time: Tudor Revival, Mediterranean, Spanish Mission (considered highly appropriate for Elwood's seaside position), Functionalist and hybrid combinations of the above (Heritage Alliance 2005, 27). Although quite different in style, interwar flats were united by their common type and scale (typically two to three

storeys) and their palette of materials (rendered brick, face brick, terracotta tiles roofs, etc.) (Heritage Alliance 2005, 29).

By the late nineteenth century, architects in California recognised the value of their own historic surroundings and were inspired by the Spanish Colonial mission heritage of California and the Southwest. These West Coast architects launched the Mission Revival style, which was characterised by silhouetted shapes that mimicked the old missions, with large stucco surfaces, often punctuated by deep windows and door openings, exterior surface usually devoid of any ornamental detail and gable and hips roofs with overhanging eaves and typically sheathed with red clay tile (National Park Service 2019).

In Victoria, both Spanish Mission and Mediterranean styles were popular during the interwar period. Spanish Mission reflected the Californian ideal of Spanish style whilst the Mediterranean style represented more accurately the architecture of Spain and Italy (Creative Victoria 2016). As in California, the style was particularly suited to St Kilda and Elwood's seaside location, and quickly became a popular style for flat development. Aesthetically, the massing and restrained character of the style underlines a relationship to the Georgian Revival. Balconies are common, deep porches shade entrance doors and the eaves lines are more prominent, and the classical detailing tends to be more playful than that of the Georgian style (Barrett 2021). Typical details include pergolas, balconies, arcaded loggia and a formal entrance, with sidelights and highlights, while Tuscan columns appear in verandahs and porches. Although Monterey has been substantially altered, it evidently retains some of these distinct Spanish Mission style features, including a formal entrance, prominent eave lines, projecting bays and hipped roofs clad with terracotta tiling.

J. R. & E. Seccull were a prominent building firm that constructed many houses and flats in St Kilda and Elwood during the interwar period. They also acted as developers, purchasing land and buildings flats, often for family members (RBA Conservation Architects 2022, 6). They built many blocks of flats including all four flats at the intersection of Broadway and Shelley Street – 26, 41 & 43 Shelley Street and 84 Broadway – during the period from 1926-30. Similar to designers and builders of the time, their buildings expressed combinations of styles popular at the time including Arts & Crafts, Mediterranean, Spanish Mission, Georgian Revival and Moderne. Other comparable buildings constructed by J. R. & E. Seccull within the City of Port Phillip include:

- **St Catien, 28 Shelley Street, Elwood (Contributory).** St Catien, constructed in 1927, comprises two-storey interwar flats exhibiting an eclectic mixture of stylistic features including Arts & Crafts and Mediterranean. Its key comparable attributes include a symmetrical front façade, projecting hipped bays, hipped roof with overhanging eaves and exposed rafter tails, use of brick and render, a formal entrance treatment, fenestration arrangement, and general massing, form, and setback. Monterey expresses a stricter adherence to the Spanish Mission style and is therefore more cohesive in appearance when compared to the amalgamation of styles exhibited at St Catien.
- **St Moritz, 84 Broadway, Elwood (Contributory).** The two-storey interwar flat block, St Moritz, demonstrates a combination of Arts & Crafts and Mediterranean styles. Constructed in 1926, it compares with Monterey in terms of its symmetrical front façade, projecting hipped bays, hipped roof with overhanging eaves and exposed rafter tails, fenestration arrangement, and general massing, form, and setback. Although St Moritz retains its balconies, it is overall less impressive due to overpainting and loss of elements due to ad hoc alterations and additions to the front façade.

Other Spanish Mission style flat buildings within the City of Port Phillip that Monterey can be compared to include:

- **Los Angeles Court, 81A Spenser Street, St Kilda (Citation 13).** Constructed in 1930, Los Angeles Court draws notable comparisons with Monterey in terms of their symmetrical front façade, overhanging hipped roof clad with terracotta tiles, rendered façades, sash windows with expressed timber frames, and cast cement lettering on the front façade. In the case of Los Angeles Court, it has a visually imposing central elevated porch in the form of an arched loggia with an entryway below. The porch is approached by external staircases on each side and, unlike Monterey,

the building design includes a corner siting and twisted Baroque columns. It also lacks clinker brick decorative elements.

Monterey is a fine and visually distinct example of an interwar Spanish Mission style flat building. As the above comparative analysis demonstrates, not only is it a more distinguished example of J. R. & E. Seccull's work but it also rivals other examples of similar structures within the municipality.

Assessment

This place has been assessed in accordance with the processes and guidelines outlined in the Australia ICOMOS *Charter for Places of Cultural Heritage Significance* (The Burra Charter) 2013, using the HERCON criteria.

Recommendations

Retain in the Heritage Overlay as a Significant place with external paint controls and solar energy system controls. Designate front fence as not exempt under Clause 43.01-4.

Primary source

Extent Heritage Pty Ltd, *Elwood Heritage Review*, prepared for City of Port Phillip, 2023.

Other studies

Andrew Ward & Associates, *City of Port Phillip Heritage Review*, prepared for City of Port Phillip, 1998.

Other images

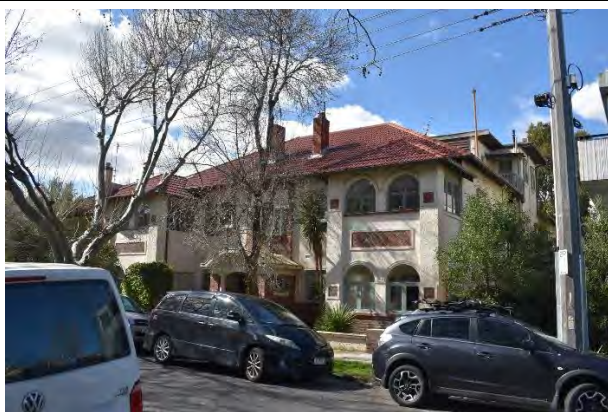


Figure 5. West facing oblique view of Monterey.



Figure 6. Northwest facing view of front façade.



Figure 7. Detail view of curved roof portico support by Tuscan columns.



Figure 8. Detail view of sash windows and central Palladian window.



Figure 9. Detail view of casement windows.



Figure 10. View of external timber staircase to the side and third storey extension.

City of Port Phillip Heritage Review

Place name: Kingsley Court
Other names: Flats

Citation No: 2042



Address: 4-6 Kingsley Street, Elwood

Heritage Precinct: None

Category: Residential: Flats

Heritage Overlay: HO175

Style: Interwar: Old English

Graded as: Significant

Constructed: 1934-35

Victorian Heritage Register: No

Designer: Harry J. Little

Amendment: TBA

Comment: Revised citation

Significance

What is significant?

Kingsley Court, designed by Harry J Little FVSA, 1934-1935, at 4-6 Kingsley Street, Elwood is significant. The original front boundary brick fence also contributes to the significance of the place.

Alterations and additions are not significant.

How is it significant?

Kingsley Court is of local aesthetic significance to the City of Port Phillip.

Why is it significant?

Kingsley Court is of local aesthetic significance as a highly intact and distinct Interwar Old English flat building with Georgian Revival style influences. Visually imposing in scale, the two-storey flat building is primarily distinguished by its two identical, mirror image block of flats separated by a central driveway and linked by an ornamental Tudor style archway. This striking composition, along with its Old English style exposed clinker brick dado, brick arched entrance, decorative soldier brick courses above lintels and recessed brick panels in a nogging pattern, and Georgian Revival derived hipped roof, porch columns and rendered chimney combine to form a distinctive apartment complex that demonstrates experimentation with the fashionable revival styles of the interwar period. (Criterion E)

Thematic context

Victoria's framework of historical themes

6. Building towns, cities and the garden state: 6.3 Shaping the suburbs, 6.7 Making homes for Victorians

Port Phillip thematic environmental history

5. Buildings and cultural landscapes: 5.2 Shaping the suburbs (5.2.2 Private development), 5.3 Diverse Housing (5.3.5 Higher-density housing: Flats and high-rises)

History

Pre-colonial history

For thousands of years preceding European colonialism, the land and environmental surrounds of Elwood was home to the Yalukit Willam clan of the Boonwurrung language group, who occupied territory east of the Werribee River to St Kilda. With lands adjacent to the sea and in proximity to the neighbouring Elwood wetlands, this environment provided Traditional Owners with access to an abundance of resources, including freshwater vegetables, wildfowl and eels from the Elwood wetlands, as well as saltwater shellfish, fish and crustaceans from the reef. Meanwhile, the rocky headland of red, brown and yellow sandstone, now known as Point Ormond, was a prominent feature in the landscape that provided views across Port Phillip Bay (refer to Figure 1). Archaeological records indicate that the area of Point Ormond was an active campsite, with stone axes and bowl awls recovered in the area in the 1970s (Eidelson 2006, 42). A shell midden was also uncovered in close proximity to Point Ormond, suggesting that the Boon Wurrung people in the area cooked shellfish gathered from the reef (Ellender and Weaver 1994). The land on which the precinct would come to be located on is shown in Figure 1 as being lightly wooded, and pre-colonial ecological vegetation classes show the land being a mix of damp sands herb woodlands and grassy woodlands.

While the rich cultural heritage of Traditional Owners in Elwood continues to have a strong presence to this day, their lifestyle and lands were severely impacted following the onset of European colonisation, particularly after the arrival of the Glen Huntly emigrant ship in Port Phillip Bay in 1840 (Finn 1888, 596-597). The ship was carrying 157 Scottish passengers, with fifty suffering from Typhus fever. A makeshift quarantine settlement was immediately established adjacent to the shore on Point Ormond near to the precinct, then known as Little Red Bluff (Moore 1990). As shellfish harvests took place right alongside the station, superintendent Charles La Trobe ordered the expulsion of all Aboriginal camps from the area (Eidelson 2006, 42). La Trobe's actions formed merely one part of a wider colonial process of displacement and dispossession, which would have continued terrible ramifications for generations.



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Contextual history

Elwood's first land sales took place until 1851, which saw the subdivision of land in both St Kilda and what was then known as 'North Elwood' into generous allotments (Surveyor General's Department 1851). Early developments on these allotments comprised a scattering of freestanding mansion estates, including the extant Elwood House at 30 & 30A Vautier Street, Elwood (c.1850s) (Heritage Alliance 2005, 12; Eidelson 2006). Erected on higher ground towards the Esplanade, these mansions solidified Elwood's southern fringe as a prestigious seaside location. Meanwhile, most of the present day suburb to the north of Glen Huntly Road comprised a wetland known as the Elwood Swamp (Public Record Office of Victoria 1851). Deemed unsuitable for residential development, the wetland was soon transformed into a site for noxious trades required by European settlement, with a night soil depot established at Barkly Street in 1857, an open slaughter yard established in 1858 and an abattoir building erected in 1861 (see Figure 2) (Way Back When Consulting Historians 2021, 29-30).

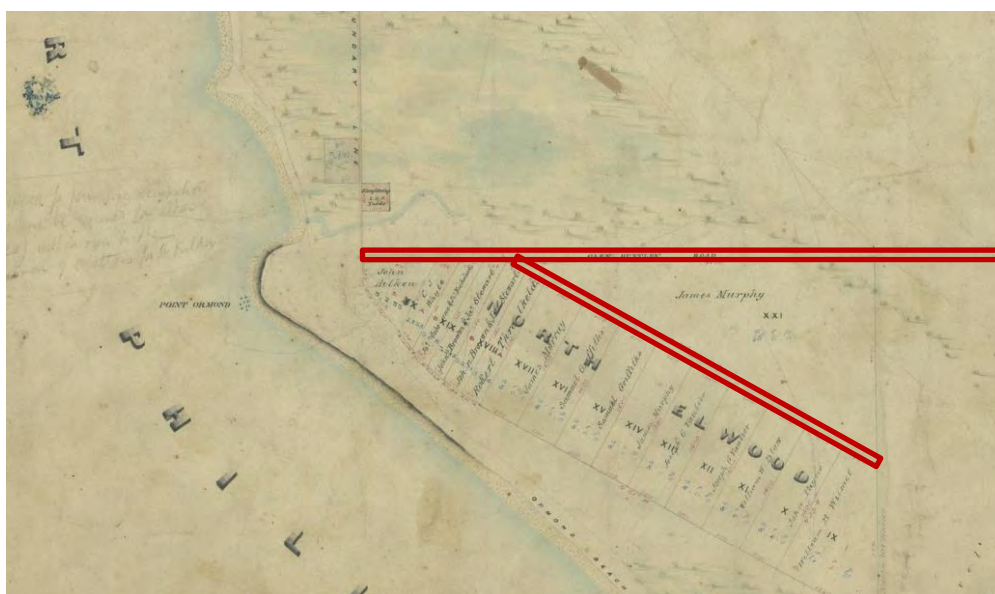


Figure 2. 1851 map showing 'North Elwood' allotments south of the wetland, and Glen Huntly and Ormond Roads marked in red. Source: Surveyor General's Department, Port Phillip Branch. 1851. 'Village of Elsternwick.' Map. Citation no. VPRS 8168/P0002. Public Record Office Victoria.

The suburb underwent a period of change during the 1880s land boom, which not only spurred the subdivision of mansion estates and vacant land into suburban housing estates, but also encouraged the closure of noxious trade facilities and subsequent swamp reclamation works via the development of the Elwood Canal by 1897 (The Caulfield and Elsternwick Leader 1889, 4). By 1908, the first land sales on what once comprised the wetlands had taken place, paving way for further urban growth. Notably, the construction of Elwood Canal, along with the opening of the Victorian Railways St Kilda to Brighton electric tramway line in 1906 (and the Glen Huntly tramway in 1915), spearheaded another development boom in Elwood during the first two decades of the twentieth century. More intense than its 1880s predecessor, this period saw the subdivision of remaining sparse mansion estates on what was then known as 'North Elwood' (see Figure 2), as well as rapid residential development on the reclaimed wetland and in the area south of Ormond Road (Heritage Alliance 2005, 21-23).

Following the reclamation of the wetlands by 1905 and the expansion of the tramway networks soon after, more land became available and accessible. While newly erected building stock in the early twentieth century in Elwood predominantly comprised of freestanding middle-class bungalows, the area was also a popular location for residential flats. Initially appearing in Melbourne in 1906, flats slowly spread to the suburbs and appeared close to transport routes, particularly along or within walking distance of tram routes to facilitate easy travel to the city (City of Port Phillip 2021, 95). With its proximity to the beach and parklands, good public transport networks and seaside character, both the suburbs of Elwood and St Kilda became popular destinations for this type of housing stock. By the mid-1920s, Elwood had been transformed into a comfortable middle-class residential estate. An established tramline on Glen Huntly Road and a fully developed landscape south of this arterial route can be seen in a c.1925 aerial photograph (refer Figure 3). By 1935, despite a slowing of development due to the Great Depression, the St Kilda municipality contained over 2,800 flats in over 500 blocks (Way Back When Consulting Historians 2021, 96). A further 2,000 flats were added by 1940; however, the onset of World War II slowed development. Nonetheless, by 1947 St Kilda contained 5,500 purpose-built flats, a quarter of all flats in Melbourne (Way Back When Consulting Historians 2021, 96).

Many of the purpose-built residential flats in Elwood were built in fashionable interwar styles, such as the Old English style Hartpury Court at 9-11 Milton Street, Elwood (1923, H0767) and the Moderne style Windermere Flats at 49 Broadway, Elwood (1936, H0911).



Figure 3. c.1925 photograph of Elwood looking southeast. Source: Charles Daniel Pratt. c.1925. Elwood area on Port Phillip Bay. Photograph. State Library of Victoria.

Kingsley Court

Kingsley Street was created between 1888 and 1892 as part of the 'Kingsley Estate' subdivision (Heritage Alliance, 2005, 15; The Prahran Telegraph 1892, 2). 4-6 Kingsley Street was excluded from the Kingsley Estate, being independently owned by resident Helen Day since 1881 and later sold to P. E. Dehnert in 1910 (Certificate of Title 3423/402).

Charles E. Miller purchased Dehnert's holding in 1924, subdivided it in 1928 and built the Kingsley Court flats according to plans by architect Harry J Little in 1934 (Certificate of Title 3439/668; City of St Kilda Building Register)(refer Figure 4 & Figure 5). The design of the block of flats varies slightly from the proposed plans and the key differences include:

- Addition of a recessed brick feature on the exterior of the chimney (facing the central driveway).
- Absence of detailing above the arched entrance.
- Absence of a soldier or 'on edge' course of bricks above the exposed brick dado.
- Absence of detailing on the balcony baluster.
- Absence of the Kingsley Street facade window shutters.
- Absence of granolithic paving.

It is unclear whether these features from the plan have been altered and/or removed since the building was erected, or were never implemented in the first place. The flats were offered for lease from August 1934 (The Argus 22 August 1934, 18) and in a September advertisement were described as 'Beaut. New mod. Flats. Kingsley Court, Kingsley st., Elwood; separate ent., texture walls; tinted, tiled bathrooms, H. W. free, sunrooms, garbage chutes, food server, garages, mod. rent' (The Argus 29 September 1934, 15).



Figure 4. Proposed brick and tile roof flats at Kingsley Street, Elwood for C. E. Miller Esq (plans, elevation and section). Source: Harry J Little. n.d. Drawings of 4-6 Kingsley Street, Elwood. Council Records. City of Port Phillip.

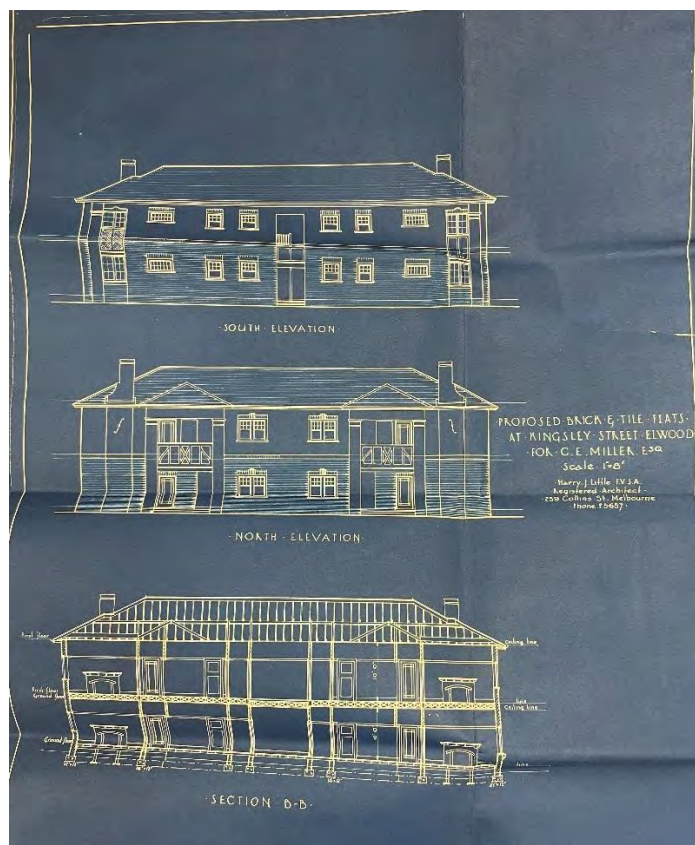


Figure 5. Proposed brick and tile roof flats at Kingsley Street, Elwood for C. E. Miller Esq (elevations and section). Source: Harry J Little. n.d. Drawings of 4-6 Kingsley Street, Elwood. Council Records. City of Port Phillip.

In 1935, Miller sold Kingsley Court to investors Gershen and Rose Hinda Hyman (Certificate of Title 5989/739). Following their deaths, the property was offered at an executor's auction in 1967 and was described as:

'Kingsley Court 6 Kingsley Street, Elwood

Outstanding position close Beach and Ormond Rd. shops. BLOCK OF EIGHT FLATS. Each with entrance hall, 2 bedrooms, lounge room, kitchen, bathroom. Six brick garages and two laundries. GROSS RETURN \$6198.40 p.a. Land abt. 80ft x 133ft.' (Australian Jewish News 1968, 22)

In 1992, 6 Kingsley Street was subdivided into sixteen lots including a common property lot that comprised the laundries and garages. The property still operates as a complex of eight flats.

Harry J Little

Harry John Little was born on 8 December 1897 at Albert Park and reported having a Bachelors Degree in Architecture and a Certificate of Architecture from Melbourne Technical College (NAA n.d.) He was married the same year that Kingsley Court was built and was living there with his wife in 1942 when he enlisted for World War II. Being immediately discharged as being unfit, Little's career doesn't appear to have been adversely impacted by his military service. From at least 1923, Little was working as a professional architect from Northcote Avenue in Caulfield, and the following year from Collins Street Melbourne where he continued to practice until at least 1956 (The Argus 1923, 27; The Argus, 1924, 10; The Age 1940, 10; The Herald 1941, 6). By 1953, Little had established offices in Wangaratta and Shepparton, where he took over the practice of Frank Vibert around 1947 and in 1950 was engaged by Shepparton Council to prepare subdivision plans for the 'unsubdivided' areas of the city and layout plans for

the civic centre including locating the war memorial (Shepparton Advertiser 1953, 12; Shepparton Advertiser 17 Feb 1950, 9; Shepparton Advertiser 16 Jun 1950, 5).

Whilst practising in Melbourne, Little undertook domestic, industrial and commercial work from alterations to new builds across a variety of suburbs and also took on rural work particularly in the Riverina where he practised regularly. Little's work included several hotels and community buildings including the Wangaratta Club and Kyabram Infant Welfare and Pre-School Centre (The Argus 1955, 13; The Age 14 Feb 1939, 7; The Age 28 Jan 1939, 16; The Argus 24 Nov 1934, 12; The Argus 1956, 33) and he was the honorary architect for Mooroopna hospital from 1947 (Shepparton Advertiser 1947, 7).

Little's most notable surviving building is likely the Collingwood United Masonic Temple (Yarra City HO10) described as "...a bold and somewhat eclectic composition of Classical Revival Arts and Crafts elements, typical of inter-War public buildings..." (VHD). Little does not appear to have been bound by a particular style imperative; three hotel projects from 1940 and 1941 for example, the Deniliquin Central Hotel (1940), Barooga Hotel (1940) and Tattersalls Hotel rebuild (1941) are quite distinctive with different interwar design elements dominating each build.

In 1962, Harry Little designed a house on the banks of the Yarra River described in 2021 as a '...single-storey, freestanding residence...(with) stilts, (aluminium) windows and a butterfly wing-shaped layout...; illustrating his readiness to explore new ideas and trends across the span of his career. In 1963, Little was made a fellow of the Royal Victorian and Royal Australian Institutes of Architects (The Age 1963, 7) but no further details of Little's professional and personal life are available (Gattermayr S, 2021; The Age 1968, 23; PROV, 1995). During Little's career he was an Associate of the Royal Australian Institute of Architects (House Committee Victorian branch 1948-49), Associate member Planning Institute of Australia, member Panel of Planners, Tasmania and member of the Council of Royal Victorian Institute of Architects for which he was the honorary secretary in 1939-40 (House Committee of the Victorian Branch in 1948-49) (Council of the Royal Australian Institute of Architects Year Book 1948-49, 9; R.V.I.A. 1939-40).

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Description

4-6 Kingsley Street, Elwood consists of a pair of two-storey Interwar block of flats in the Old English style with influences of Georgian Revival. The flats present a simple, rectilinear footprint with mirrored detailing and fenestration. The flats are closely spaced, forming a central cobbled driveway leading to a parking area, garage shed, and outbuilding (formerly laundry) located to the rear of the property. The masonry buildings present face polychrome clinker brickwork, laid with a stretcher bond on the ground level. The upper level is finished with a cream-coloured stucco render. The hipped roofs are clad with terracotta Marseilles tiles and ridge capping with timber lined eaves. Two simple rendered brick chimneys extend from the inward roof face of each building.

The Kingsley Street façades are mirrored and include two banks of multi-paned sash and sliding windows on each level with a face thin brick lintel, laid with a soldier bond. The windows on the outer banks are connected with a panel of chequered thin brick nogging.

The inner facing elevations overlooking the central driveway include the main access stairs to the apartments. The stairwells lead to two projecting entrance foyers on each building punctuating the elevation. The chimney breasts are expressed along the elevation and are detailed with a reveal panel and thin brick chequered nogging. The driveway entrance is defined by a face brick gateway connecting the two buildings. It features a rendered Tudor arch form along the inner side of the opening and expressed lettering reading 'Kingsley Court' above.

The outward facing elevations includes a number of various sized windows with similar detailing to the front facades. The chequered nogging panel is repeated along the corner window banks. The ground level consists of face red brick.

The apartments are set back from the street allowing for a narrow front garden. The street front boundary is defined by a low, face clinker brick fence laid with a stretcher bond and a header laid coping which complements the materiality and detailing of the main structures. The fence is recessed inward, flanking the entrance to the driveway with two squat piers. Behind the front fence is the original tall Privet hedge and the garden spaces are planted with ornamental shrubs. A semi-mature Jacaranda (*Jacaranda mimisofolia*) is planted in the garden bed to the right.

Known alterations and additions to the building include:

- Replacement of the original windows to sleeping porches and bedrooms, along the front and side elevations.
- Replacement of garage doors with roller doors.
- Alteration of the laundry located on the northwest boundary and removal of the laundry located on the southwest boundary.
- Paved parking area to the rear of the property.

- Metal gates added to the access lanes to the sides of the buildings.
- Minor accretions include replaced gutters and downpipes, and wall mounted conduits.

The most visible alteration remains the replaced windows. However, the original form, materiality and detailing of the apartment buildings are largely intact. The property is in good condition and is considered to be of high integrity.

Comparative analysis

The design of Kingsley Court chiefly presents as interwar Old English style with Georgian Revival influences and speaks to the popularity of fashionable revival architectural styles and their hybrid combinations that dominated the 1920s and 1930s. Otherwise referred to as Tudor, Interwar Old English has its roots in the English Arts and Crafts movement of the mid to late nineteenth century. Typically defined by the use of red or clinker brick, modelled chimneys and steeply pitched roofs with terracotta tiles, the style not only evoked the 'Home country' in the British Empire, but also conveyed a sense of wealth and social status through its associations with the manor. Kingsley Court presents as a later example of the Old English style where the detailing is simplified and applied more as surface decoration with the occasional elaborate design element such as the Tudor arch gateway employed at Kingsley Court. The Old English style was one of the most popular used for flats in St Kilda and Elwood, and effectively added prestige and identity to this typology. The Georgian Revival influence is presented in the form of its rectilinear massing, low hipped roof with boxed eaves and multi-paned double hung windows. Other comparable examples of Interwar Old English flats within the City of Port Phillip include:

- **Farmado Flats, 4A Meredith Street, Elwood (Citation 2061).** Contemporary to Kingsley Court, these flats are distinguished by its brickwork detail, similar but more elaborate than that at Kingsley Court. Designed by James H. Wardrop, the flats are comparable to Kingsley Court with their use of red clinker bricks against a contrasting light-coloured render, tiled roof and symmetrical arrangement of the fenestration and building wings either side of an arched entrance are common to both buildings. The Farmado Flats however have modest chimneys, an arched doorway rather than arched entrance to open space and a distinctive staggered combination gable and hipped roof facade to Meredith Street. Slight differences aside, the two flats are otherwise typical later examples of Old English style flats with simplified brickwork detailing with the occasional elaborate design element.
- **Hartpury Court, 9-11 Milton Street, Elwood (Citation 381).** Designed by Arthur W. Plaisted, Hartpury Court is not only an early example of the style but also one of the best examples of flats designed in the Old English style. In particular it compares to Kingsley Court with its clinker brick detailing against a light render, low front brick fence and tall chimneys. The timbered 'tudoresque' panelling foreshadows the detailed brick panelling used at both Kingsley Court and the Farmado Flats, and the arched entrance at both properties are modest reflections of Hartpury Courts hipped entrance pavilion. Although a garage is included in the extensive Hartpury Court facilities, it is believed to have been erected after the initial development in response to the increased availability of cars during the interwar period.
- **Devon Court, 45-47 Chapel Street, St Kilda (Citation 460).** Devon court is a two storey interwar flat complex designed in the Art Deco Style. Similar to Kingsley Court, it comprises two mirror image blocks of flats separated by a central driveway with garages to the rear. Both sites demonstrate a rectilinear form, substantial massing, low hipped roofs with terracotta tiles, timber boxed eaves, and the use of red clinker brick against lighter render along with similar street front set back and siting. Devon Court features balconies and stairwell towers with glass block panels influenced by the Art Deco style, whilst Kingsley Court features Old English style detailing with a brick, rectilinear entrance archway and brickwork detailing and panelling.

Little's designs typically incorporated elements of several interwar styles. Arguably his most notable surviving architectural work, the Collingwood United Masonic Temple at Abbotsford, has been described as a '...bold and somewhat eclectic composition of Classical Revival Arts and Crafts elements typical of

many inter-war public buildings...' (Allom and Lovell, 1998). As a whole, the design and detailing of Kingsley Court does not fully encompass any particular style. However, the Tudor arch gateway, red clinker brick and decorative brick panels are characteristically interwar Old English and the recessed entrance porch with balconette and hipped roof with boxed eaves suggest Georgian Revival influences.

Both Kingsley Court and the Collingwood United Masonic Temple are substantially intact reflections of a transitional period of architectural design between the wars where designers responded to changes in lifestyle and a broad range of international and local influences by exploring different combinations of stylistic elements to create unique properties that exhibit elements of playful creativity in their distinctive facades.

Assessment

This place has been assessed in accordance with the processes and guidelines outlined in the Australia ICOMOS *Charter for Places of Cultural Heritage Significance* (The Burra Charter) 2013, using the HERCON criteria.

Recommendations

Retain in the Heritage Overlay as a Significant place with external paint controls and solar energy system controls. Designate front fence as not exempt under Clause 43.01-4.

Primary source

Extent Heritage Pty Ltd, *Elwood Heritage Review*, prepared for City of Port Phillip, 2023.

Other studies

Andrew Ward & Associates, *City of Port Phillip Heritage Review*, prepared for City of Port Phillip, 1998.

Other images



Figure 6. South-east facing view from Kingsley Street.



Figure 7. South-east facing view from Kingsley Street detail of entrance flanked either side by a low brick fence and garages to the rear.



Figure 8. East facing oblique view from Kingsley Street.



Figure 9. North facing oblique view from Kingsley Street.



Figure 10. South-east facing view from Kingsley Street detail fenestration, basket weave brick panels and dado, upper storey 6 Kingsley Court.



Figure 11. North facing view detail fenestration, basket weave brick panels and dado 4 Kingsley Court.

City of Port Phillip Heritage Review

Place name: St Columba's Catholic Church Complex
Other names: St Columba's Roman Catholic School. Presbytery

Citation No: 1988



Address: 26 Glen Huntly Road, Elwood

Category: Religion: Church, School and Presbytery

Style: Federation/Edwardian, Interwar: Romanesque, Moderne

Constructed: 1918, 1923 & 1937 (School); 1929 (Church); 1921 & 1936 (Presbytery)

Designer: Kempson & Conolly (School), Schreiber & Jorgensen (1923 School additions), W.P. Conolly (1937 School additions), A. A. Fritsch (Church), W. M. Kelly (Presbytery) and S. A. Scott (1936 Presbytery additions)

Amendment: TBA

Comment: Revised citation

Heritage Precinct: Not applicable

Heritage Overlay: HO219

Graded as: Significant

Victorian Heritage Register: No

Significance

What is significant?

St Columba's Catholic Church complex at 26 Glen Huntly Road, Elwood is significant. The 1929 church building designed by A. A. Fritsch is significant, while the 1918 school building designed by Kempson & Conolly with 1923 additions designed by Schreiber and Jorgensen and 1937 additions designed by W.P. Conolly, as well as the 1921 Presbytery designed and built by W. M. Kelly with 1935-36 additions designed by S. A. Scott, contribute to the significance of the place.

Later alterations and additions to the buildings and other buildings on the site are not significant.

How is it significant?

St Columba's Catholic Church complex is of local historical, aesthetic and social significance to the City of Port Phillip.

Why is it significant?

St Columba's Catholic Church complex is historically significant as evidence of the growth of Elwood during the interwar period, which resulted in the need for new and larger churches and schools to serve the growing congregations of the Catholic Church. The original 1918 school illustrates the importance placed upon education by the Catholic diocese in Victoria and is associated with the significant development of Catholic educational facilities in the early twentieth century. The subsequent development of the more ornate and larger church building in 1929, and the additions to the original school in 1923 and 1937, speaks to the congregation's ongoing expansion into the 1920s and 30s. (Criterion A)

The 1929 St Columba's Catholic Church building is of aesthetic significance as a fine example of a Romanesque Revival style ecclesiastical building. Defined by its contrasting red brick and white render, prominent bell tower, gabled roof, stained-glass windows and striking use of round arches on fenestration, lintels and dentils, the building comprises an articulated and well-composed church building within the streetscape. It is further distinguished by its monumental character and landmark appearance derived from its heavy massing and corner siting, the latter of which is further accentuated by the complementary 1918 school building (with 1923 and 1937 additions) along its western elevation. (Criterion E)

St Columba's Catholic Church complex is of social significance as a Catholic Parish centre comprising church, school and presbytery that has served the local Catholic community for over 100 years. (Criterion G)

Thematic context

Victoria's framework of historical themes

8. Building community life: 8.1 Maintaining spiritual life, 8.2 Educating people

Port Phillip thematic environmental history

8.1 Spiritual life, 8.2 Educating (8.2.1 Schools)

History

Pre-colonial history

For thousands of years preceding European colonialism, the land and environmental surrounds of Elwood was home to the Yalukit Willam clan of the Boonwurrung language group, who occupied territory east of the Werribee River to St Kilda. With lands adjacent to the sea and in proximity to the neighbouring Elwood wetlands, this environment provided Traditional Owners with access to an abundance of resources, including freshwater vegetables, wildfowl and eels from the Elwood wetlands, as well as saltwater shellfish, fish and crustaceans from the reef. Meanwhile, the rocky headland of red, brown and yellow sandstone, now known as Point Ormond, was a prominent feature in the landscape that provided views across Port Phillip Bay (refer to Figure 1). Archaeological records indicate that the area of Point Ormond was an active campsite, with stone axes and bowl awls recovered in the area in the 1970s (Eidelson 2006, 42). A shell midden was also uncovered in close proximity to Point Ormond, suggesting that the Boon Wurrung people in the area cooked shellfish gathered from the reef (Ellender and Weaver 1994). The land on which the precinct would come to be located on is shown in Figure 1 as being lightly

wooded, and pre-colonial ecological vegetation classes show the land being a mix of damp sands herb woodlands and grassy woodlands.

While the rich cultural heritage of Traditional Owners in Elwood continues to have a strong presence to this day, their lifestyle and lands were severely impacted following the onset of European colonisation, particularly after the arrival of the Glen Huntly emigrant ship in Port Phillip Bay in 1840 (Finn 1888, 596-597). The ship was carrying 157 Scottish passengers, with fifty suffering from Typhus fever. A makeshift quarantine settlement was immediately established adjacent to the shore on Point Ormond near to the precinct, then known as Little Red Bluff (Moore 1990). As shellfish harvests took place right alongside the station, superintendent Charles La Trobe ordered the expulsion of all Aboriginal camps from the area (Eidelson 2006, 42). La Trobe's actions formed merely one part of a wider colonial process of displacement and dispossession, which would have continued terrible ramifications for generations.



Figure 1. c.1864 illustration of Point Ormond and the coast looking towards St Kilda, representing a pre-developed landscape. Source: Clark, T. c.1864. Red Bluff Brighton (Point Ormond). Watercolour painting, accession no: H299. State Library of Victoria.

Contextual history

Elwood's first land sales took place until 1851, which saw the subdivision of land in both St Kilda and what was then known as 'North Elwood' into generous allotments (Surveyor General's Department 1851). Early developments on these allotments comprised a scattering of freestanding mansion estates, including the extant Elwood House at 30 & 30A Vautier Street, Elwood (c.1850s) (Heritage Alliance 2005, 12; Eidelson 2006). Erected on higher ground towards the Esplanade, these mansions solidified Elwood's southern fringe as a prestigious seaside location. Meanwhile, most of the present day suburb to the north of Glen Huntly Road comprised a wetland known as the Elwood Swamp (Public Record Office of Victoria 1851). Deemed unsuitable for residential development, the wetland was soon transformed into a site for noxious trades required by European settlement, with a night soil depot established at Barkly Street in 1857, an open slaughter yard established in 1858 and an abattoir building erected in 1861 (see Figure 2) (Way Back When Consulting Historians 2021, 29-30). During this early period, the site of the present-day St Columba's Church Complex comprised allotment 19 (Surveyor General's Department 1851).

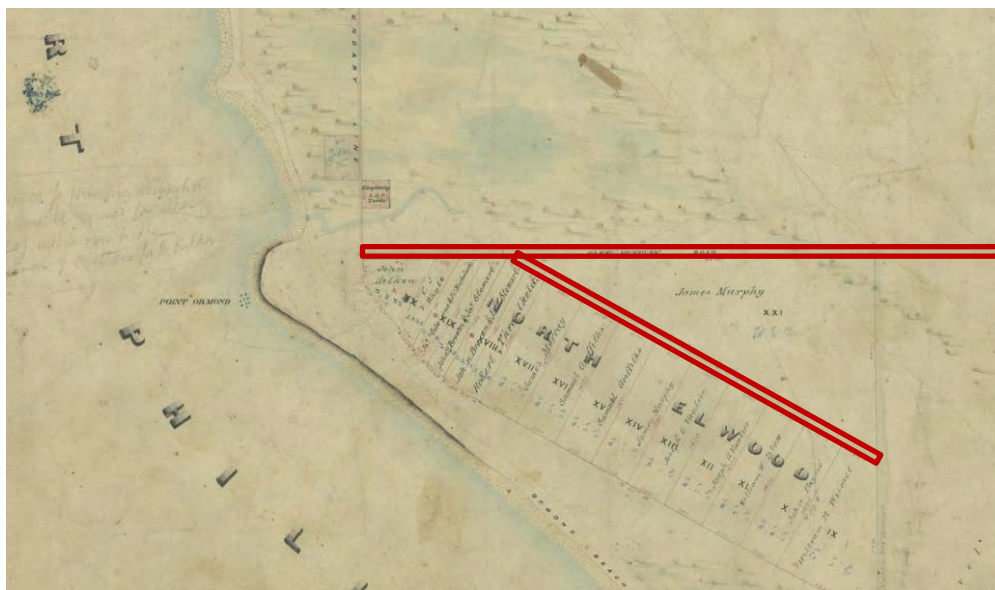


Figure 2. 1851 map showing 'North Elwood' allotments south of the wetland, and Glen Huntly and Ormond Roads marked in red. Source: Surveyor General's Department, Port Phillip Branch. 1851. 'Village of Elsternwick.' Map. Citation no. VPRS 8168/P0002. Public Record Office Victoria.

The suburb underwent a period of change during the 1880s land boom, which not only spurred the subdivision of mansion estates and vacant land into suburban housing estates, but also encouraged the closure of noxious trade facilities and subsequent swamp reclamation works via the development of the Elwood Canal by 1897 (The Caulfield and Elsternwick Leader 1889, 4). By 1908, the first land sales on what once comprised the wetlands had taken place, paving way for further urban growth. Notably, the construction of Elwood Canal, along with the opening of the Victorian Railways St Kilda to Brighton electric tramway line in 1906 (and the Glen Huntly tramway in 1915), spearheaded another development boom in Elwood during the first two decades of the twentieth century. More intense than its 1880s predecessor, this period saw the subdivision of remaining sparse mansion estates on what was then known as 'North Elwood' (see Figure 2), as well as rapid residential development on the reclaimed wetland and in the area south of Ormond Road (Heritage Alliance 2005, 21-23).

Following the 1905 completion of reclaiming the wetlands, and the expansion of the tramway networks soon after, more land became available and accessible. Notably, increased residential settlement across the wider suburb during this period prompted the expansion of associated infrastructure, including civic, religious and educational buildings. Normandy Road was subdivided for development in 1914 and the Roman Catholic congregation subsequently acquired a site where a combined church and school was opened in 1918 (Heritage Alliance 2005, 23).

At the time, the Roman Catholic Church was the second largest denomination in Victoria. While the first Catholic parish in St Kilda and Prahran, St Mary's, was established in 1853, subsequent parishes, including the Sacred Heart Parish in 1887, and the Holy Angels Parish in 1912, were established in West St Kilda and Balaclava respectively following the growth of the church within the municipality. Following with this trend, the St Columba's Parish was subsequently founded in Elwood in 1918 during the residential boom era (City of Port Phillip 2021, 160). The Catholic Church had long provided its own schools alongside the State education system, and between 1887 and 1907, it had reportedly spent over £500,000 on parish schools and other educational buildings (Bourke 1988, 161-162). With this, the growth of the Catholic Church not only saw the establishment of several prominent church buildings within the municipality, but also several associated educational buildings.

St Columba's Roman Catholic Church complex

The following history has been adapted from *The Spirit of St Kilda: Places of Worship in St Kilda* edited by Vida Horn (2003) and is augmented by additional research undertaken by Extent Heritage.

St Columba's Church School was opened and blessed by Archbishop Mannix on 28 April 1918 in the presence of 3000 people. This one-storey building, designed by Kempson & Conolly, was originally used as both a school and a church (refer Figure 3). To purchase the land, a fair was held by the Sacred Heart congregation in September 1914. The land cost £1439 and the building cost £1740. The school opened in June 1918 and had 150 pupils. The original teachers were sisters of the Presentation Order (Tribune 1918, 6). Mother Anthony was the first principal and Sisters Angela and Bernadette the first teachers. The building underwent works in 1967 where a second storey classroom addition was carried out by McCarthy & Collins Architects (refer Figure 4).

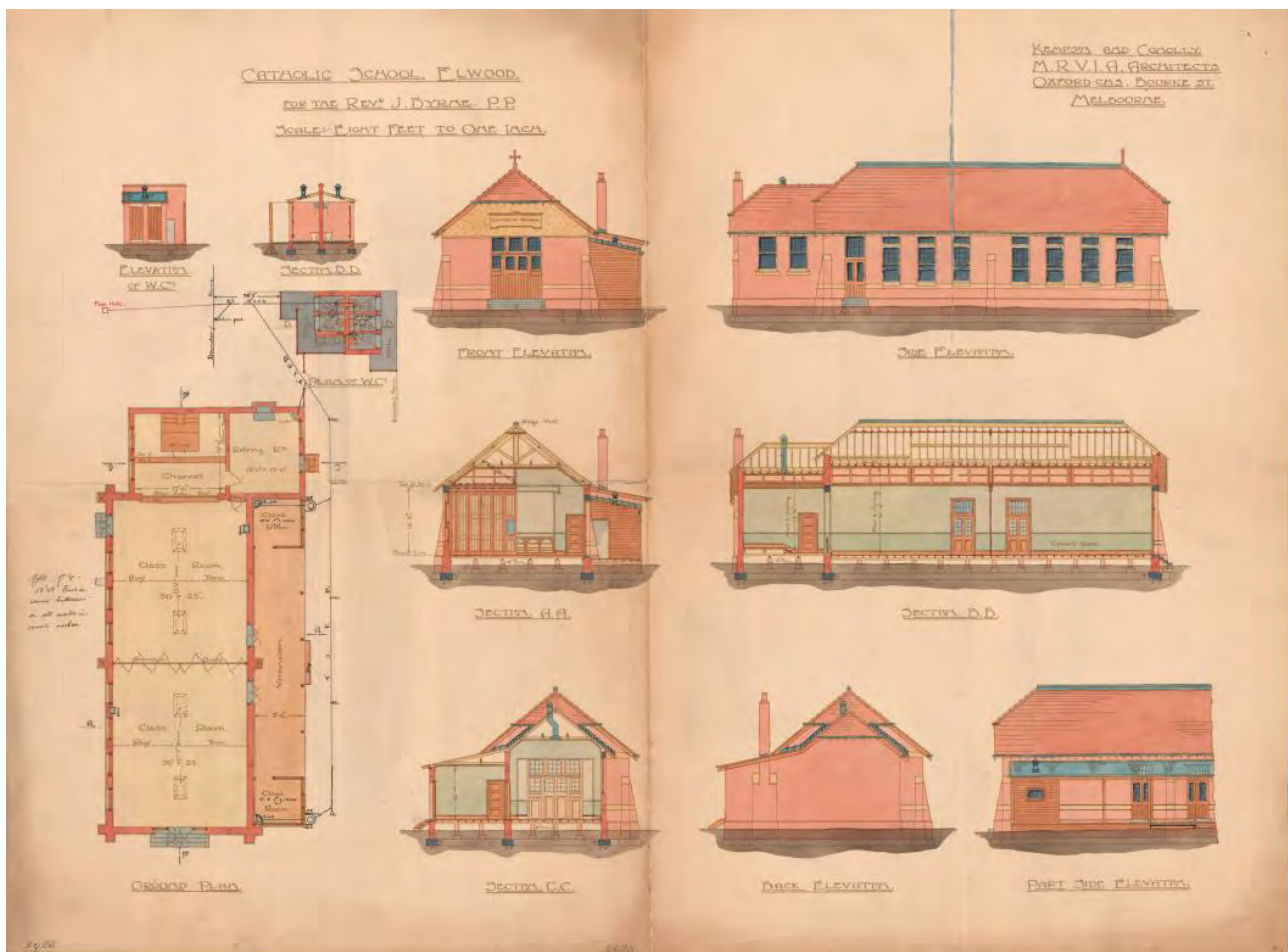


Figure 3. Catholic School, Elwood for the Rev J. Byrne P.P. Source: Kempson & Conolly. n.d. Drawings of 24 Glen Huntly Road, Elwood. Council Records. City of Port Phillip.

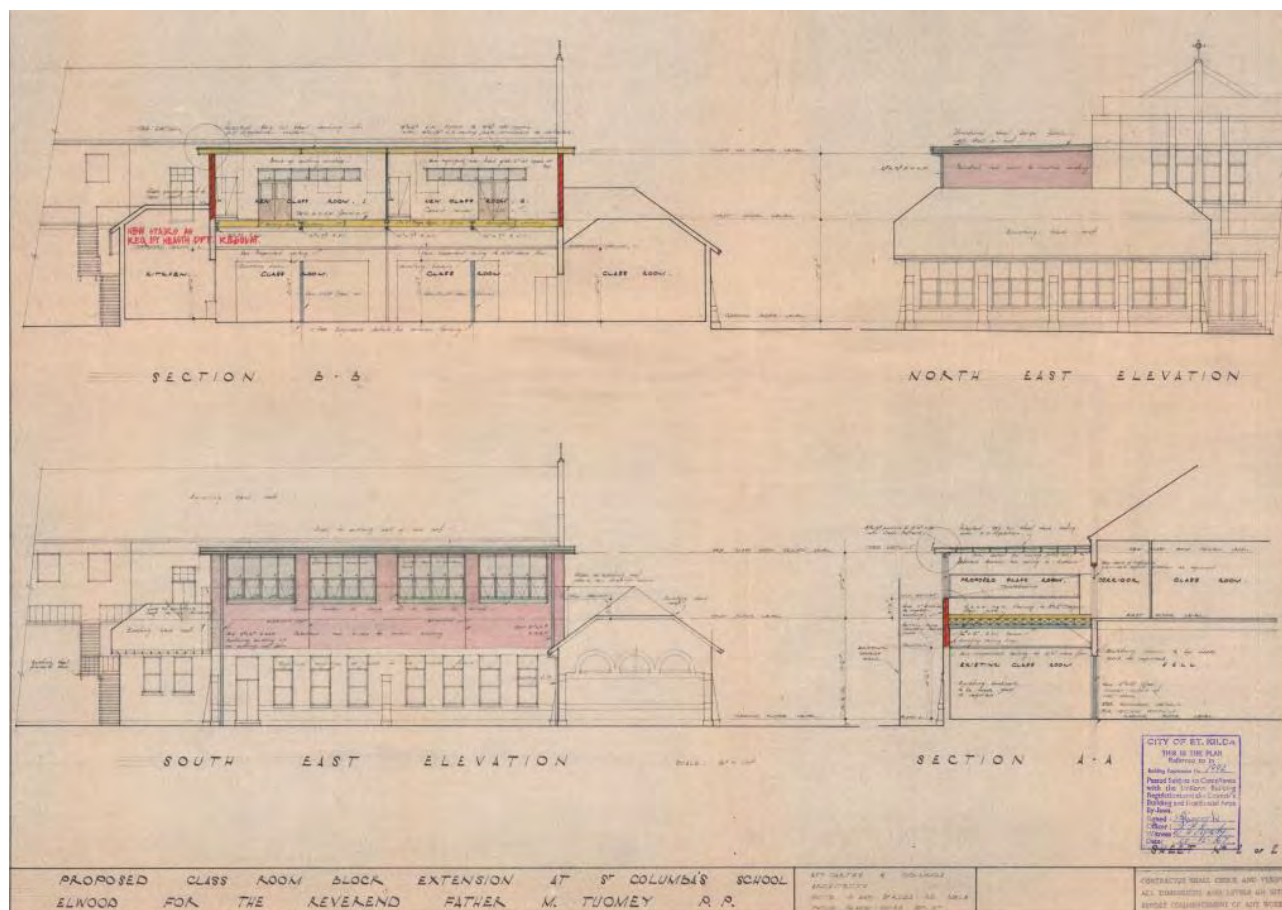


Figure 4. Proposed classroom block extension at St. Columba's School, Elwood for the Reverend Father M. Tuomey P.P. Source: McCarthy & Collins. 1967. Drawings of 24 Glen Huntly Road, Elwood. Council Records. City of Port Phillip.

The first Mass at St Columba's was held on 5 May 1918 by Father J. Byrne. The priests from Sacred Heart attended until it became a separate parish in 1919 and its first parish priest, the Reverend Jerome McCarthy, was appointed. The sanctuary within the original building was a raised proscenium which was curtained off during school times. The school desks also served as pews, and it was the job of the senior boys each Friday afternoon to organise them for the weekend church services. During the Depression the sisters taught pupils to Grade 9 because many children could not afford to go on to secondary school. Notably, a presbytery adjoining the existing church school building was established in 1921 for MacCarthy (Advocate 1921, 14). Consisting of eight living rooms, this building was built and designed by W. M. Kelly of Gardenvale (City of St Kilda Building Register; Advocate 1921, 11). Alterations and additions were carried out to the presbytery in 1936 by architect S. A. Scott and builder J. H. Johnson (City of St Kilda Building Register). The plans indicate that an additional floor with bedrooms, maids' rooms, study and sleep out was added at the time to accommodate the growing parish that now had two priests instead of one (refer Figure 5) (Advocate 1936, 18).



Figure 5. Proposed alterations and additions at the Presbytery, Normanby Road, Elwood. Source: S. A. Scott. 1935. Drawings of 2 Normanby Road, Elwood. Council Records. City of Port Phillip.

Reverend Michael McKenna became the parish priest on 6 January 1922 and immediately began raising funds to build a church next to the school following the ongoing expansion of the congregation. His leadership also saw substantial additions to the original 1918 church school building in 1923. Architects Schreiber and Jorgensen carried out the works which included the addition of a one storey brick building that housed new classrooms, adjoining the original school structure to the south (refer Figure 6). A newspaper article provides a depiction of the church school building following these works (Advocate 1923, 16; Advocate 1923, 2):

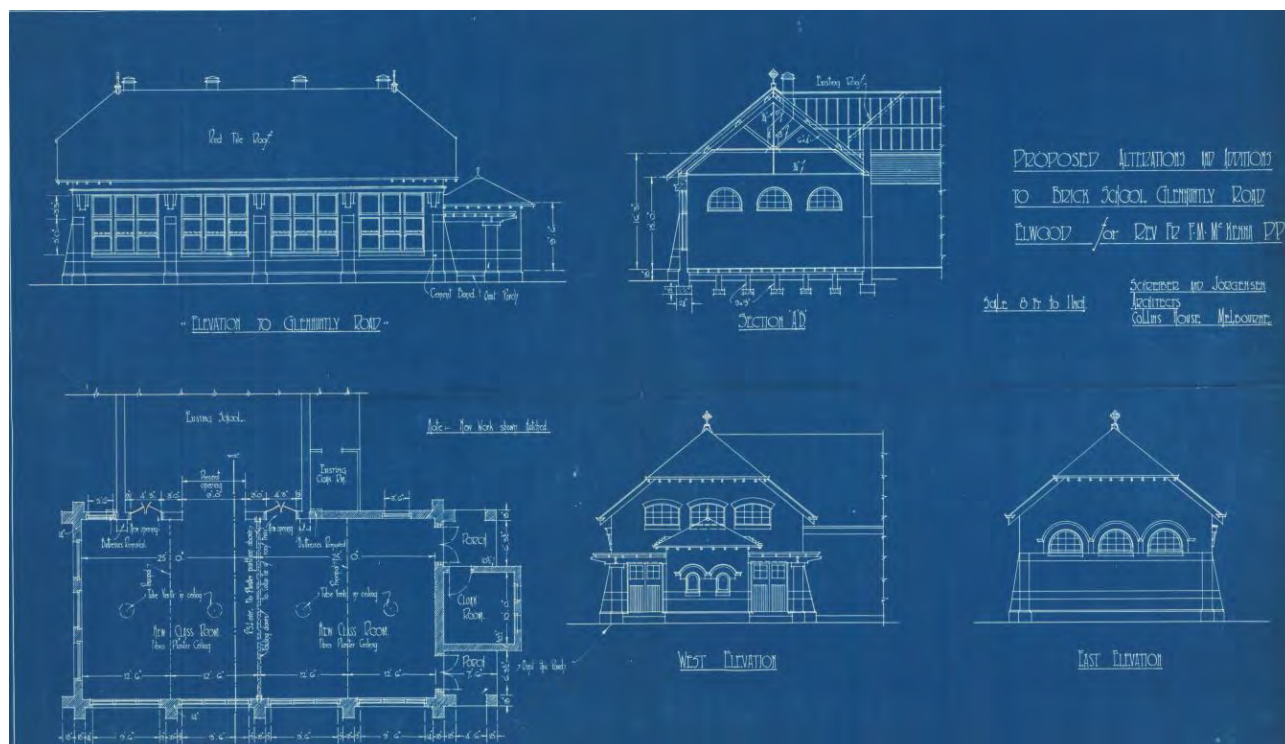


Figure 6. Proposed alterations and additions to brick school, Glen Huntly Road, Elwood for Rev Fr F. M. McKenna P.P. Source: Schreiber & Jorgensen. n.d. Drawings of 24 Glen Huntly Road, Elwood. Council Records. City of Port Phillip.

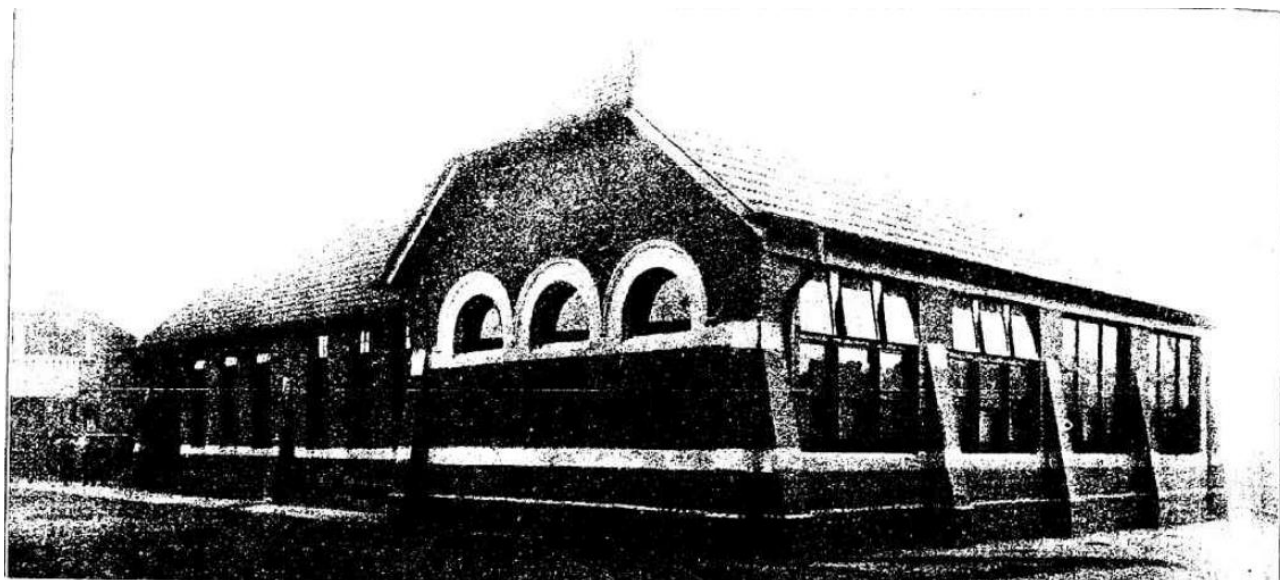


Figure 7. 1923 view of school church building following additions. Source: Advocate. 1923. 'St Columba's, Elwood.' 21 June 1923.

By 1924, the money had been raised to construct a larger church building, and its foundation stone was subsequently laid on 12 May 1929. The architect was Augustus Andrew Fritsch (1866-1933) who prepared the plans in 1928 and the builders were the Reynolds Brothers (refer Figure 8). The church was completed on 8 December 1929. Archbishop Cattaneo attended with Archbishop Mannix. The red brick Romanesque church, designed to accommodate 700 people, had cost £12,516 and gifts valued at £3553 had been donated, including stained-glass windows, the pulpit and altars.

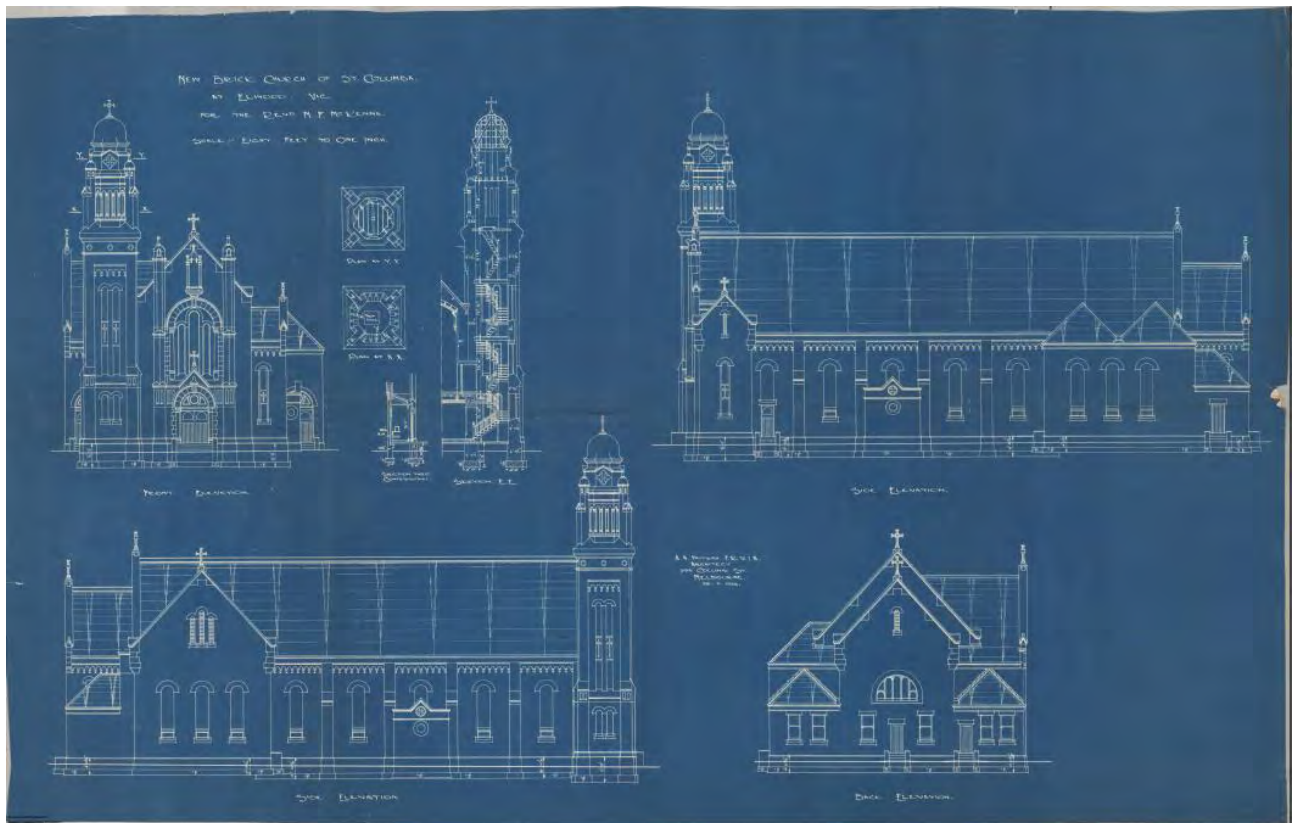


Figure 8. New brick church of St. Columba's at Elwood, Vic., for the Rev M. F. McKenna (section and elevations). Source: A. A. Fritsch. 1928. Drawings of 26 Glen Huntly Road, Elwood. Council Records. City of Port Phillip.



Figure 9. 1929 view of the newly erected church building. Source: Advocate. 1929. 'Elwood's Beautiful New Church.' 12 December 1929.

Reverend McKenna's successor was Dr Francis Greenan, who bought adjoining land and continued expanding facilities for the school. A parish hall with three classrooms and a teachers' room at the rear of the 1918 and 1923 school building was completed in 1937 (refer Figure 10). The hall was designed by architect W. P. Conolly the contractor was J. H. Johnson (City of St Kilda Building Register). Tennis courts were also built at this time. It was part of Father Greenan's vision of providing a centre for the children of St Columba's during their leisure time where activities could be provided in a Catholic environment. Physical education, indoor sports and dancing classes have been held in the hall and there were various sporting teams associated with the St Columba's Church.

During World War II, the hall was taken over by the Army and was also used as a post office for a time. During this time, the children were taught in the tennis pavilion, which was later demolished, and a replacement built. The children regained the use of their school in 1943. Over the years, dances, card parties and concerts were other popular activities held in the hall.

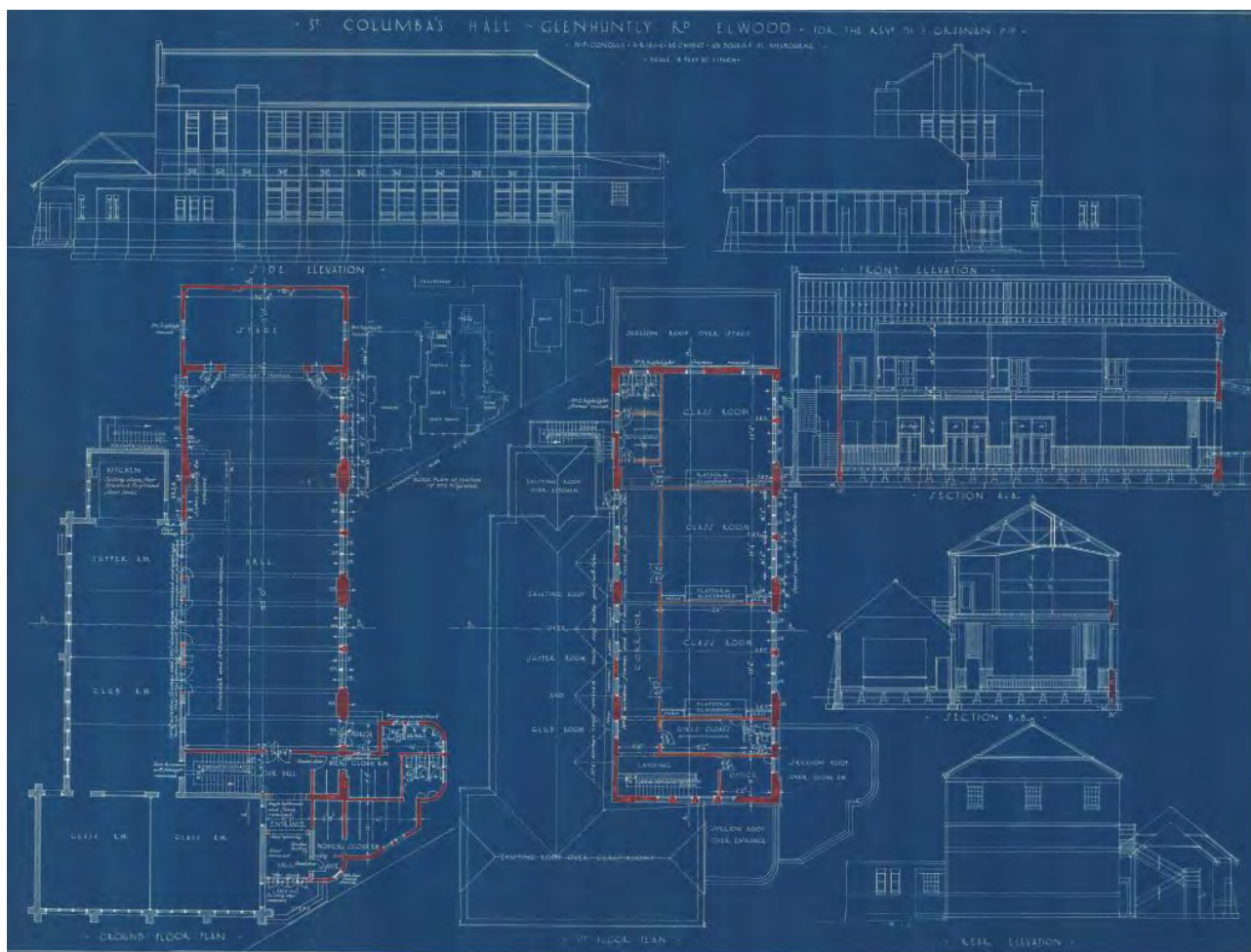


Figure 10. St Columba's Hall, Glen Huntly Road, Elwood for the Rev Dr F. Greenan P.P. Source: W. P. Conolly. n.d. Drawings of 24 Glen Huntly Road, Elwood. Council Records. City of Port Phillip.

After the war, the school remained small with composite grades from Prep to Grade 8 taught by five teachers. In line with government policies, this was reduced to teaching to Grade 6 by 1966. To mark the golden jubilee of the school another two rooms were added. In 1974, the long association of the Sisters of the Presentation Order with the school ended, and Dawn Keogh became the first lay principal. This was followed by Loris Stone, who oversaw extensions to the school, including a library, which opened in 1983.

Reverend Father Des Jenkins arrived in the parish in 1978 and served until 1996. During his time in the parish, the presbytery and the church were refurbished and extensions to the school were undertaken.



Figure 11. St Columba's Roman Catholic Church c.1929-1954. Source: Rose Stereograph Co. c.1920-1954. St Columbas R. C. Church, Elwood, Vic. Photograph. In Rose postcard collection of negatives. Accession No: H32492/7936. State Library of Victoria.
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Description

St Columba's Catholic Church Complex comprises the school buildings, church and presbytery, all located at the western corner of Glen Huntly Road and Normandy Road. The main church building was constructed in 1929. The original school building (then used as school and church) was constructed in 1918 with existing additions constructed in 1923 and 1934. It presents an overall similar materiality to the main church consisting of face red brick with rendered banding and detailing creating a visually unified group of buildings. The complex includes a presbytery, located to the rear of the church building, at 2 Normandy Road. Constructed in 1921, the presbytery underwent alterations and additions in 1936. Along with the 1934 school building extension, it represents the interwar development and expansion of the St Columba's Catholic Church and school complex. The site has since undergone contemporary additions and alterations and landscaping to support its continued use.

St Columba's Catholic School

The altered 1918 school building, situated between the church and the 1923 and 1934 school additions, presents as a two-storey red brick structure with a skillion roof. The eastern elevation of the ground floor is divided into two bays, demarcated by buttresses. It features equally distanced fenestration on each bay comprising of double hung sash windows and a single doorway towards the southern end. The eastern

elevation of the upper floor features four equidistant window banks. The western elevation of the building abuts the 1934 school hall.

The 1923 single-storey addition, situated south of the 1918 school building, presents a simple gable form with a jerkinhead profiled roof clad with terracotta Marseilles tiles (designed to match the original 1918 school building, now altered). The roof overhangs the structure with exposed rafter tails. The north elevation includes a group of four window banks, each with three timber sash windows with top lights. The windows are separated into bays by buttresses. The raised main entrance is situated off the western elevation within the 1934 addition presenting a stepped façade with rounded edges. The materiality and rendered banding are continued across the façade.

The main section of the 1934 addition consists of a two-storey structure situated behind the 1918 and 1923 school building and entrance foyer. The façade presents a bank of four sash windows set between engaged piers leading to a rendered horizontal panel with banding featuring expressed rendered lettering reading 'St Columba's'. The engaged piers extend above the lettering capped with an expressed chevron form, emphasised by a pedimented parapet. The parapet is topped with a precast cross finial.

The side elevations include single, recessed timber sash windows with top lights. The rendered sill course forms part of the windowsills and lintels across the facades. A contemporary two-storey extension clad with Custom Orb panelling abuts the north western elevation of the 1930s extension. The western extent of the school grounds includes contemporary landscaping with paved sports courts, open areas and shelter structures. The sports courts extend to the south with access to Wilton Grove and Taggart Lane.

The northern boundary of the school is demarcated with a bluestone block garden bed with chain wire fencing towards the west along the sports courts.

Known alterations to the original school building and 1930s extension include:

- Removal of western verandah of the original school building (1934).
- Single storey extension above the original school building (1967).
- The two-storey contemporary extension along the north western and south western elevation of the 1934 school hall.
- A single-storey skillion roof extension between the school buildings and the church.
- Addition of a single-storey weatherboard structure to the north western extent of the school grounds.
- Addition of chain wire fencing along the boundary with Glen Huntly and Wilton Grove.
- Aluminium glazing to the main entrance doors and metal balustrades to the front steps.
- Replacement metal ridge capping on the roof of the original school building.
- Wall mounted signages along the main entrance.
- Contemporary relandscaping of the school grounds including the sports courts, paved areas, shelter structure and chain wire fencing.
- Minor accretions include wall mounted vents and services, HVAC, and rainwater goods.

The St Columba's School complex is in good condition.. Contemporary alterations mainly the relandscaping and two-storey extension remain highly visible from the public domain against the original school structures. It is therefore considered to be of moderate integrity overall.

St Columba's Catholic Church

St Columba's Catholic Church is an interwar Romanesque style church. It occupies a corner allotment bounded by Glen Huntly Road to the north and Normandy Road to the east. The church is largely

symmetrical in plan with the narthex fronting Glen Huntly Road. The bell tower is positioned at the northeast corner, addressing the junction position of the church. The roof of the church is clad with slate tiling. The transept facing Normandy Road features a single open gable form and roof while the opposite transept includes a double hipped roof. The masonry structure features face red brick laid with a stretcher bond, contrasted by stucco dressing emphasising fenestration features, decorative elements and the bell tower.

The front façade presents a stepped form leading up to the bell tower. The main entrance is slightly raised and set between rounded pilasters with a stylised capital and imitation quoining. The entrance includes a tympanum featuring a detailed cast panel and arch with keystone. The entrance parapet is detailed with paired, recessed arch topped panels with a centred pediment. A group of three, round headed windows with stained glass extend above the doorway pediment. It features similar detailing to the main entrance and is flanked by engaged piers topped with cupolas set against an open gable parapet. A Marian shrine extends above the round headed window archway and keystone.

The bell tower includes similar fenestration and rendered detailing. Each face of the bell tower features paired narrow windows, emphasising the verticality of the façade. The windows include a rendered arch lintel and sill. The upper windows include a rendered panel with a recessed cross and moulded arch dentils under to the rendered level course leading to the belfry. The belfry is flanked with stepped corner buttresses framing narrow, round headed fenestrations defined by pilasters leading. The bell tower is capped with a metal clad cupola and metal cross finial.

A projecting open gable façade tower extends to the right of the main entrance and façade. It features similar window detailing and moulded arch dentils. The rendered open gable parapet includes a centred timber louvred vent window and moulded corbel.

The side elevations include single, rounded head fixed windows with a rendered arch lintel. The windows are separated into bays by buttresses. Arched moulded dentils connected to the cornice sit between the buttresses and above the upper windows on the bell tower.

The south eastern transept fronting Normandy Road includes a group of three stained glass windows. Timber louvred vents repeat the triple round headed fenestration form is repeated above the windows. It includes double timber doors with an arched leadlight fanlight accessed via a concrete ramp. The doors sit under an arched lunette with a pre-cast shield moulding. The south eastern elevation also includes a chapel extension along the side aisle. It features porthole windows and a simple flat balustrade with a centred pediment and pre-cast cross moulding.

The rear elevation features an arched window with tracery. The main open gable building is flanked by single-storey hipped roof sections with timber sash windows. The rear of the church opens onto a concrete laid parking area shared with the school.

The church is set back from the street allowing for an open forecourt laid with concrete. The forecourt includes two concrete block edged, in ground garden beds planted with semi-mature trees and shrubs.

Internally the church includes a choir gallery located above the narthex detailed with a panelled balustrade. The nave features a barrel-vaulted ceiling with a frieze supported by figures. The vault is divided by transverse bands decorated with foliated panelling. The walls behind the main altar are faced in a low, blind arcade.

Known alterations to the church include:

- New slate tile roof cladding.
- Relandscaping of the church grounds including the addition of the rear parking area and concrete laid forecourt.
- Addition of a metal balustrade to the front entrance steps.

- Addition of a concrete ramp and metal balustrade to the transept entrance along Normandy Road.
- Wall mounted signages to the front façade of the church.
- Minor accretions include new downpipes and rainwater heads, wall mounted lighting and vents.

The St Columba's Catholic Church is in good condition although there is some slight weathering evident at some windowsills and rendered sections. It is considered to be of high integrity overall. Major alterations including the roof recladding is sympathetic to the original fabric and minor accretions remain largely recessive.

St Columba's Catholic Presbytery

The presbytery is located to the rear of the main church, fronting Normandy Street to the south east. The interwar building designed in the Moderne style comprises a two-storey masonry structure finished with an off-white stucco. It presents a rectilinear footprint and massing with a symmetrically arranged front façade. It is topped with a hipped roof clad with terracotta Marseilles tiles and ridge capping. Four, rendered chimneys extend from the roof. The roof overhangs the presbytery with timber lined eaves.

The front façade features a centred projecting bay. The bay houses the entrance portico with a centred entrance door with sidelights and top light panelling. The portico is defined by the rendered brick balustrade wall and piers with distinctive stepped shoulders. The upper level includes a centred window bank and side windows that have been altered with new glazing. Topping the bay is a face brick reveal panelling with herringbone laid nogging.

The flanking bays to the front façade include a bank of triple timber sash windows on both levels and on either side of the centred bay. The sash windows feature a multi-paned top sash and are set within expressed timber architraves with two pairs of moulded brackets. The front façade is topped by a raised flat parapet. The eaves return along the edge of the front façade but are broken to accommodate the parapet. The parapet is further raised along the centred bay with subtle stepped ends and a small centred gabled point.

The side elevations include simple paired and single windows neatly arranged along the elevation. A rear hipped roof bay extends from the rear elevation. The rear of the property includes a freestanding gable roofed structure and skillion roofed carport.

The presbytery presents a deep setback from the street allowing for an extensive front yard that has been used as off-street parking. The front yard has recently been relandscaped with the relaying of the driveway and pathway. The street front boundary is demarcated by a low face blond brick fence laid with a stretcher bond, with squat piers. The wall features glazed clinker plinth stretcher brick along a centred course, top course and pier capping.

Known alterations to the presbytery include:

- Addition to the rear garage (1954).
- Replacement of the upper level windows with contemporary steel framed awning windows at the central bay.
- Addition of the rear single-storey gabled roof structure (2010).
- Relaying of the driveway and pathway with concrete (2021).
- Minor accretions include new rainwater goods, wall mounted services and vents, HVAC units to the side elevations and front façade window, and security grill to the front door.

The presbytery is in good condition. The original structure dates to 1921 with a second storey added in 1936. The resulting two storey building reflects the original footprint and form within its two storey

massing. It is likely that the existing detailing and materiality of the Moderne style was introduced to the presbytery in 1936. The main alterations visible from the public domain are the replaced upper level windows. The presbytery is otherwise highly intact and of high integrity.

Comparative analysis

The St Columba's Catholic Church complex is a prominent, impressive, and well-kept Catholic Parish centre which includes various intact buildings including church, school and presbytery. The Roman Catholic Church was the second largest denomination in Victoria in the nineteenth century and remained so until 1971, when it became the largest. While the first Catholic parish in St Kilda and Prahran, St Mary's, was established in 1853, subsequent parishes, including the Sacred Heart Parish in 1887, and the Holy Angels Parish in 1912, were established in West St Kilda and Balaclava respectively following the growth of the church within the municipality. Following with this trend, the St Columba's Parish was subsequently founded in Elwood in 1918 (Way Back When Consulting Historians 2021, 160).

The St Columba's Catholic Church complex comprises a highly intact and fine example of a Romanesque Revival style church. Defined by its red brick and white and/or cream render, heavy massing, prominent bell tower, gabled roof, stained-glass windows and striking use of round arches on fenestration, lintels and dentils, the building comprises an articulated and well-composed landmark ecclesiastical building along the streetscape. It is complemented by the neighbouring St Columba's school, which similarly adopts red face brick with rendered banding and detailing, as well as a monumental character derived from its heavy massing. While this earlier school building is not without alterations and additions, it nevertheless forms a cohesive whole alongside the later church building. The two-storey presbytery, although located to the rear of the church, maintains design continuity with its cream render and Moderne stylistic features.

The Romanesque style prevailed throughout medieval Europe immediately prior to the Gothic. Defined by its robust and imposing character, the style is typified by the use of rounded arches on fenestration, in the arcading of naves, and for various decorative purposes, as well as large towers, thick walls, red brick relieved by render and stone, and small windows. Its popularisation in Australia during the 1890s and first few decades of the twentieth century coincided with the zenith of craft brickwork in the country and provided a modern alternative to the then dominant Gothic style that was being used on ecclesiastical buildings (East 2016, 32). As Van Breman has pointed out, the style's associations with authority, security and permanence due to its monumental and bold character rendered it particularly suitable to large public and ecclesiastical buildings (Van Breman 1988, 76).

As a twentieth century church complex in the Romanesque style, St Columba's compares well with St Colman's Catholic Church and School (1929, Citation 2441) and Our Lady of Mount Carmel Catholic Church complex, Middle Park (1929, Citation 1120), as follows:

- Mount Carmel Church and Hall, 216 Richardson Street, Middle Park (Citation 1120).**
 The Mount Carmel Church and Hall complex comprises an 1890 church building with substantial 1927 Romanesque style extensions and alterations (also designed by A. A. Fristch), as well as a complementary interwar hall building with Art Nouveau influences. The church building compares well to the St Columba's Catholic Church building due to its monumental and articulated character, and key analogous features across both sites include their intersecting gabled forms, corner siting, application of rounded arches, and distinct face red brickwork. Although the Mount Carmel church is more impressive in terms of its prominent scale, mosaic detailing and ornate central entrance door featuring a multifoil arch, it lacks the well-resolved application of contrasting face brick and render detailing demonstrated at the St Columba's Catholic Church building. As with the St Columba's Church complex, the Mount Carmel complex similarly features a complementary building that enhances the site's landmark character along the streetscape. Unlike Mount Carmel, St Columba's maintains its original presbytery building which was constructed in 1921 (with 1936 alterations and additions).

- **St Colman's Catholic Church and School, 291 Carlisle Street, Balaclava (Citation 2441).** As with Mount Carmel Church, the St Colman's Catholic Church building is comparatively larger in scale and massing than the St Columba's Catholic Church building. Primarily defined by its gabled rectilinear form, its composition is however less complex than the St Columba's Catholic Church building. Comparative Romanesque style features across the church buildings include red face brick relieved by render and stone, round arches and lintels, stained-glass windows and prominent corner siting. Its adjacent school building is more elaborate than the St Columba's School building, however it has similarly undergone several alterations and additions including a visible rear extension and the removal of original windows. St Colman's does not include an original presbytery building such as contained at St Columba's. Like St Columba's, St Colman's is representative of a Catholic parish centre comprising various buildings and has social value as a place that has served the community for almost 100 years.

Other Romanesque churches within the municipality also include:

- Catholic Church of Our Lady of the Assumption, 77 Park Street, South Melbourne (Citation 2382), constructed in 1928 to designs by W.P. Conolly.
- Former Baptist Church, 16 Crimea Street, St Kilda (Citation 86), constructed in 1876 to designs by Thomas Matthews.

Assessment

This place has been assessed in accordance with the processes and guidelines outlined in the Australia ICOMOS *Charter for Places of Cultural Heritage Significance* (The Burra Charter) 2013, using the HERCON criteria.

Recommendations

Retain in the Heritage Overlay as a Significant place, with external paint controls, internal alteration controls and solar energy system controls.

Primary source

Extent Heritage Pty Ltd, *Elwood Heritage Review*, prepared for City of Port Phillip, 2023.

Other studies

Andrew Ward & Associates, *City of Port Phillip Heritage Review*, prepared for City of Port Phillip, 1998.

Other images



Figure 12. South-east view of church building.



Figure 13. South facing view of school building



Figure 14. North facing view of rear and side elevation of church building.

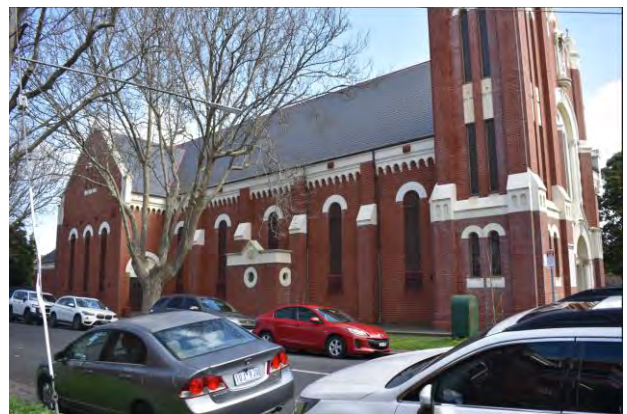


Figure 15. North-east facing view of side elevation.



Figure 16. Detail view of gable end of school building.



Figure 17. Detail view of side elevation fenestration of church building.

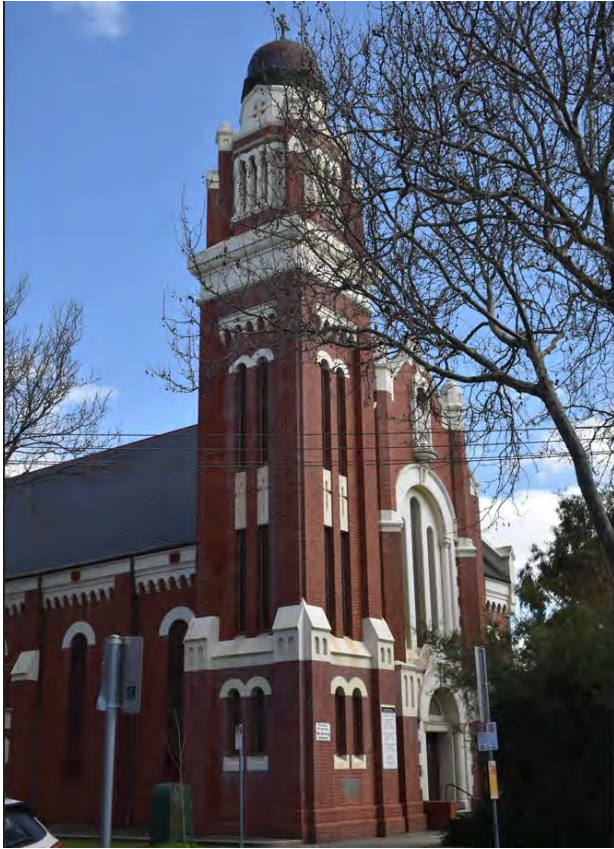


Figure 18. Detail view of church building tower.



Figure 19. Detail view of central main entrance door.



Figure 20. Detail view of central stained-glass round headed windows.

City of Port Phillip Heritage Review

Place name: Kingsley
Other names: Rydal, Elwood Community House

Citation No: 2



Address: 87 Tennyson Street, Elwood

Category: Residential: House
(now Community House)

Style: Late Victorian/Federation

Constructed: c.1880-1882, 1904 (southeast gable addition)

Designer: Unknown (c.1880-82), E. J. Clements (1904)

Amendment: TBA

Comment: Revised citation

Heritage Precinct: Not applicable

Heritage Overlay: HO270

Graded as: Significant

Victorian Heritage Register: No

Significance

What is significant?

The house known as Kingsley, constructed in c.1881 at 87 Tennyson Street, Elwood, is significant. Federation era alterations and additions to the dwelling, along with the mature early twentieth century Norfolk Island Pine (*Araucaria heterophylla*) and sweetgum (*Liquidambar*) trees situated in the front garden are contributory.

Later alterations and additions are not significant.

How is it significant?

Kingsley is of local historical and aesthetic significance to the City of Port Phillip.

Why is it significant?

Kingsley is of historical significance as a surviving Victorian era villa constructed in c.1880-1882. It is one of the few remaining houses in Elwood built prior to the 1880s land boom period, which saw the subdivision of large mid-Victorian estates and the attempted development of middle-class villa estates in Elwood. Kingsley therefore provides evidence of this in-between phase of residential development that occurred in

the suburb post the 1850-60s building of mansion estates and prior to the late nineteenth century land boom period. (Criterion A)

Kingsley is of aesthetic significance as a distinct late Victorian cottage with early twentieth century additions. Although modest in terms of ornamentation, it maintains a strong and unique presence in the streetscape owing to its deep setback, mature trees, and retention of key Victorian era features including its concave verandah with cast iron lacework, corbelled chimneys, incised ashlar timber block cladding along the façade, gabled roof forms, scalloped fascia, and timber framed sash windows. Federation era alterations and additions including the projecting gable extension and mature Norfolk Island Pine (*Araucaria heterophylla*) and sweetgum (*Liquidambar*) in the front garden comprise early fabric that contribute to the property's picturesque appearance. (Criterion E)

Thematic context

Victoria's framework of historical themes

6. Building towns, cities and the garden state: 6.3 Shaping the suburbs, 6.7 Making homes for Victorians

Port Phillip thematic environmental history

5. Buildings and cultural landscapes: 5.2 Shaping the suburbs (5.2.2 Private development), 5.3 Diverse Housing (5.3.1 Workers and artisan housing), 8.2 Community Life (8.2.2 Kindergartens and community education)

History

Pre-colonial history

For thousands of years preceding European colonialism, the land and environmental surrounds of Elwood was home to the Yalukit Willam clan of the Boonwurrung language group, who occupied territory east of the Werribee River to St Kilda. With lands adjacent to the sea and in proximity to the neighbouring Elwood wetlands, this environment provided Traditional Owners with access to an abundance of resources, including freshwater vegetables, wildfowl and eels from the Elwood wetlands, as well as saltwater shellfish, fish and crustaceans from the reef. Meanwhile, the rocky headland of red, brown and yellow sandstone, now known as Point Ormond, was a prominent feature in the landscape that provided views across Port Phillip Bay (refer to Figure 1). Archaeological records indicate that the area of Point Ormond was an active campsite, with stone axes and bowl awls recovered in the area in the 1970s (Eidelson 2006, 42). A shell midden was also uncovered in close proximity to Point Ormond, suggesting that the Boon Wurrung people in the area cooked shellfish gathered from the reef (Ellender and Weaver 1994). The land on which the precinct would come to be located on is shown in Figure 1 as being lightly wooded, and pre-colonial ecological vegetation classes show the land being a mix of damp sands herb woodlands and grassy woodlands.

While the rich cultural heritage of Traditional Owners in Elwood continues to have a strong presence to this day, their lifestyle and lands were severely impacted following the onset of European colonisation, particularly after the arrival of the Glen Huntly emigrant ship in Port Phillip Bay in 1840 (Finn 1888, 596-597). The ship was carrying 157 Scottish passengers, with fifty suffering from Typhus fever. A makeshift quarantine settlement was immediately established adjacent to the shore on Point Ormond near to the precinct, then known as Little Red Bluff (Moore 1990). As shellfish harvests took place right alongside the station, superintendent Charles La Trobe ordered the expulsion of all Aboriginal camps from the area (Eidelson 2006, 42). La Trobe's actions formed merely one part of a wider colonial process of displacement and dispossession, which would have continued terrible ramifications for generations.



Figure 1. c.1864 illustration of Point Ormond and the coast looking towards St Kilda, representing a pre-developed landscape. Source: Clark, T. c.1864. Red Bluff Brighton (Point Ormond). Watercolour painting, accession no: H299. State Library of Victoria.

Contextual history

Elwood's first land sales took place until 1851, which saw the subdivision of land in both St Kilda and what was then known as 'North Elwood' into generous allotments (Surveyor General's Department 1851). Early developments on these allotments comprised a scattering of freestanding mansion estates, including the extant Elwood House at 30 & 30A Vautier Street, Elwood (c.1850s) (Heritage Alliance 2005, 12; Eidelson 2006). Erected on higher ground towards the Esplanade, these mansions solidified Elwood's southern fringe as a prestigious seaside location. Meanwhile, most of the present day suburb to the north of Glen Huntly Road comprised a wetland known as the Elwood Swamp (Public Record Office of Victoria 1851). Deemed unsuitable for residential development, the wetland was soon transformed into a site for noxious trades required by European settlement, with a night soil depot established at Barkly Street in 1857, an open slaughter yard established in 1858 and an abattoir building erected in 1861 (see Figure 2) (Way Back When Consulting Historians 2021, 29-30).

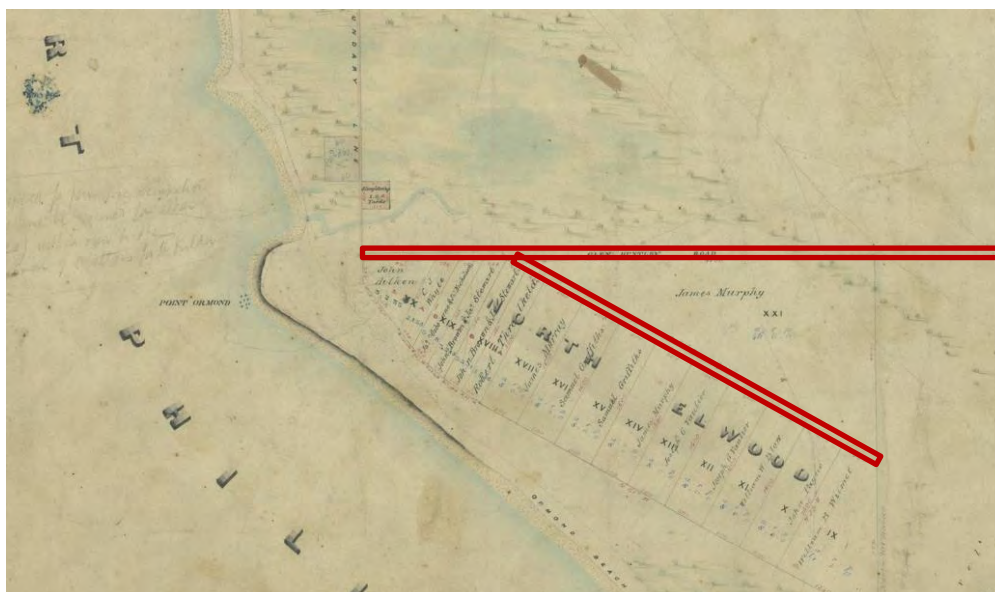


Figure 2. 1851 map showing 'North Elwood' allotments south of the wetland, and Glen Huntly and Ormond Roads marked in red. Source: Surveyor General's Department, Port Phillip Branch. 1851. 'Village of Elsterwick.' Map. Citation no. VPRS 8168/P0002. Public Record Office Victoria.

A relatively small number of villas were built during the period between the 1850-60s mansion estates and prosperous 1880s land boom period. The suburb underwent a period of change during the land boom, which not only spurred the subdivision of mansion estates and vacant land into suburban housing estates, but also encouraged the closure of noxious trade facilities and subsequent swamp reclamation works via the development of the Elwood Canal by 1897 (The Caulfield and Elsternwick Leader 1889, 4). Housing estates however, failed due to the 1890s economic depression, lack of public transport and the hovering misconception that Elwood was a polluted 'swampland' (Way Back When Consulting Historians 2021, 84) (Heritage Alliance 2005, 16-17).

Intense residential development in the suburb only truly took off in the early twentieth century following the completion of Elwood Canal in 1897 and the opening of the Victorian Railways St Kilda to Brighton electric tramway line in 1906 (and the Glen Huntly tramway in 1915). By 1908, the first land sales on what once comprised the wetlands had taken place, paving way for further urban growth. More intense than its 1880s predecessor, this period saw the subdivision of remaining sparse mansion estates in Elwood, as well as rapid residential development on the reclaimed wetland and in area south of Ormond Road (Heritage Alliance 2005, 21-23).

Kingsley

The land at 87 Tennyson Street, Elwood once formed part of Crown Land portion 120A (formerly 120D). James Barwick acquired the land before 1859 by which time a six room timber dwelling is believed to have been erected on the property. This dwelling was occupied by carpenter Thomas Fiskén by 1861 (Hermann 2019, 3). By 1869, Fiskén had acquired Crown Land Portion 120A and applied to bring the land under the transfer of land statute in January of that year (The Argus 1869, 7).

Fiskén's widow Christian remained at the property, described as including a three room timber house, until the whole of Crown Portion 120A was sold to John Mudie in 1873 (Borough of St Kilda 1873; Certificate of Title 587/281). Mudie had apparently moved in a year earlier when the property was described as a nine room timber house, although by 1873/74, the house was rented out to widow Margaret Richardson (Borough of St Kilda 1873 and 1874; City of St Kilda 1874; Vardy c.1873). The building appears to have been known by this time as Grasmere and was described as a seven room wood house in 1874 (The August 1874, 1). Grasmere was located just to the south of the site of the present house at 87 Tennyson Street.



Figure 3. c.1873. Plan of Part of Crown Portion 120A outlined with red dotted lines. Only the neighbouring Grasmere (now demolished) was recorded on the property at this time. Source: Vardy J B S, c.1873. Plan of the Borough of St Kilda, Index South West sheets 10-22, St Kilda Historical Society, <https://stkildahistory.org.au/our-collection/resources/vardy-plans>.

In 1875, Margaret Donaldson took over responsibility for the rates at Grasmere from Margaret Richardson but they both likely remained living at the property (Borough of St Kilda 1875). Margaret Donaldson is likely to be Catherine Donaldson, a sister to Margaret Richardson, and was known to be living in Tennyson Street in 1876 and who purchased the land adjacent to Grasmere when that property was subdivided for further development between 1880 and 1881 (The Argus 1888, 8; The Telegraph, St Kilda, Prahran and South Yarra Guardian 1876, 5; Certificate of Title 587/281).

On 7 June 1880, Margaret/Catherine Donaldson appears to have been still residing at Grasmere (Borough of St Kilda 1880). Between this date and January 1882, the original section of the house at 87 Tennyson Street was erected on that part of Crown Portion 120A purchased by Catherine Donaldson. Then known as Rydal, a second freestanding four room timber house known as Wyndcote was subsequently erected to the rear by the 23rd of December 1886.

In 1890, Donaldson sold both houses to Hugh Gillies (Borough of St Kilda 1888 - 1890; Certificate of Title 1298/410, The Argus 1891, 2). Not quite three months after his purchase, Hugh Gillies died and the property was described as, 1 acre 3 roods and 24 and 9/10 perches with frontage to Tennyson and Mitford Streets and with a small dwelling and separate residence known as Rydall (Supreme Court of Victoria 1890).

Gillie's executors did not dispose of the property until December 1897 when it was sold to Thomas Edward Arnfield. In late 1896, the cottages were described as, 'Rydal., Containing five rooms, kitchen, bath, wash-house, storeroom, together with galvanised iron stables, coachhouse, and man's room...Wyndcote., containing five rooms, kitchen, washhouse, bath. & c...' (The Argus 1896, 2).

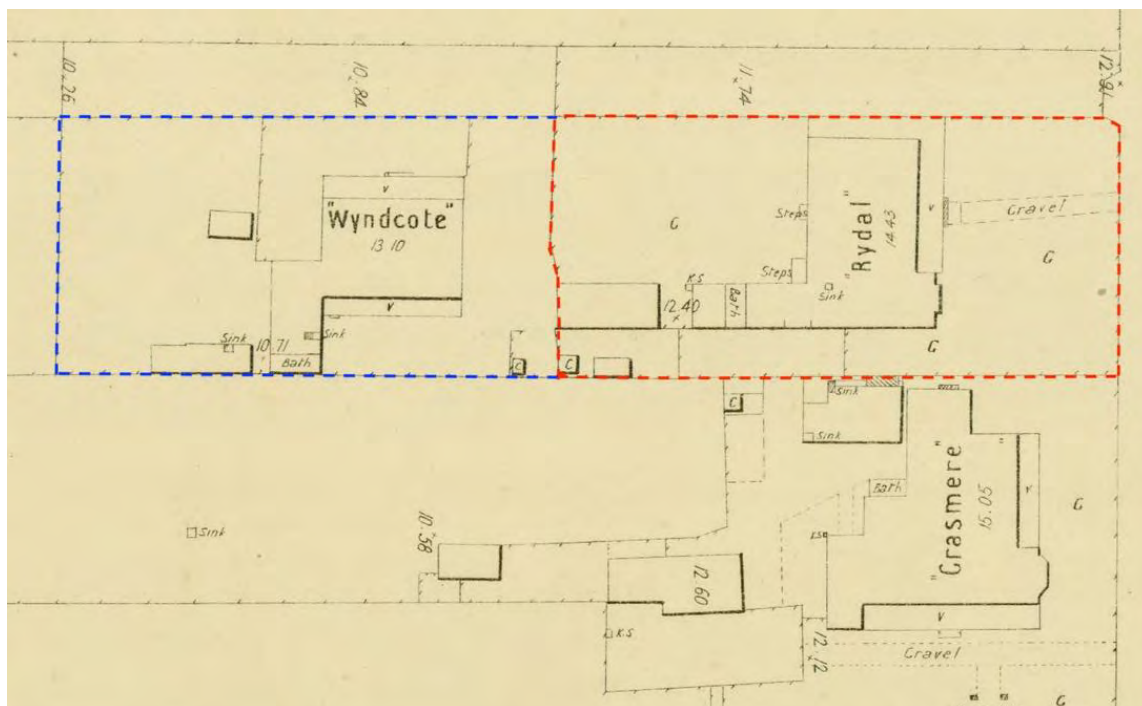


Figure 4. 1905 Plan (detail) showing plan of 87 Tennyson Street Elwood and neighbouring Grasmere. The boundaries of Wyndcote are highlighted with a blue dotted line and the boundaries of Rydal including the common boundary with Rydal are highlighted with a red dotted line. Source: State Library of Victoria, Melbourne Metropolitan Board of Works, detail plan no. 1400, 1905.

The Wordsworth inspired names of the houses Rydall and Wyndcote appear to have been changed to Kingsley and Glenfell respectively by Mrs Caroline Love after she took possession of the property in 1904 (Land Victoria 2674/667). Soon after taking possession of the property the projecting gabled extension to the south-east elevation of Kingsley was constructed in 1904 by builder E. J. Clements for John Love, Catherine's husband (City of St Kilda Building Register) (refer Figure 4).

Love subdivided the property creating individual titles for Kingsley, Wyndcote and the remaining land to the rear of the block and all three of the allotments were then conveyed to the Standard Mutual Buildings Society (SMBS) (Certificate of Title 2674/667). Kingsley and Wyndcote were known at this time as 97 and 97a Tennyson Street respectively. Frederic Klawns and Frederick Peebles acquired Kingsley from the SMBS in 1913 and sold it to Ellen Durston in 1915. The property was leased by Durston to Eve Emily Goldsworthy until she purchased it in 1928, taking out a mortgage with her brothers on the same day she acquired the property. The brothers were paid back by Eve's daughter and son-in-law Arthur Watson when they took over the property in 1946 (Certificate of Title 3251/187). Between 1905 and 1945, a gabled extension was added to the rear north-west corner of Kingsley (refer Figure 5). The large Norfolk Island Pine (*Araucaria heterophylla*) situated at the front of the property was reportedly acquired by young Eva Goldsworthy from a World War I fundraiser held at Luna Park (Hermann 2019, 20).



Figure 5. Extract from c. 1970 aerial photograph of Elwood showing 87 Tennyson Street outlined in red. Source: Photographer unknown. c.1970. Historic Aerial Photography – 1930s-1990s. Photograph. Landata.

In 1927, experienced knitters were being sought for a clothes manufacturing business operating from 97 Tennyson Street (known by 1930 as 87 Tennyson Street) and by 1939 this business, known as Kingsley Knitting Co., was being operated at the premises by Eva Emily Goldsworthy and her daughter Eva Watson. Eva's husband, with another investor, acquired Kingsley Knitting Co. in 1939 creating Kingsley Knitting Co. Pty Ltd and the knitting company was still in operation, from Kingsley, in 1953 (The Argus 1953, 28). Kingsley was transferred to Eva Watson as sole proprietor in 1952 and she held the title until her death in 1969 (Certificate of Title 5424/664).



Figure 6. Undated image (possibly after 1945 as the verandah has lost its striped paintwork) showing north-east elevation of Kingsley with concrete bordered garden beds and path, box bay window on projecting gable, chimney pot on north east elevation chimney and typically Edwardian terracotta ridge and finial. Source: Hermann, I. D. 2019. *Kingsley: Our House & Home*. Elwood: Elwood and St Kilda Neighbourhood Learning Centre Inc.

More than fifty years of Goldsworthy family occupation of Kingsley ended in 1978 when Eva and Arthur's son sold the property to Brian and Jillian Roberts (Certificate of Title 5424/664). Albert Bond acquired Kingsley from the Robert family in 1980 and after a failed flat development application, he sold the property and the adjoining old Wyndcote/Glenfell property at 85 Tennyson Street to the City of St Kilda in 1982. The City of St Kilda demolished the Wyndcote house at 85 (97a) Tennyson Street and, following lobbying from the community, retained Kingsley to be used as a community neighbourhood house from 1982 (Certificate of Title 5424/664; Hermann 2019, 52-53).

Alterations and a rear extension to Kingsley were undertaken in 1992 and 1998 respectively, and the dwelling has since remained in use as a community facility. More recently, it has been in used as the Elwood/St Kilda Neighbourhood Learning Centre Inc (Hermann 2019, 52-57 and 65). House plans from 1977 and 1992 also illustrate the changes made to facilitate the use of the house as a community facility (refer Figure 7).

Kingsley is currently occupied by the Elwood/St Kilda Neighbourhood Learning Centre Inc.



Figure 7. Plans 1977 (l) and 1992 (r) (detail) showing almost identical features and configuration across this time. Source: Hermann, I. D. 2019. *Kingsley; Our House & Home*. Elwood: Elwood and St Kilda Neighbourhood Learning Centre Inc.

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Vardy J B S, c.1873. Plan of the Borough of St Kilda, Plan South West 17, St Kilda Historical Society,

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Description

Kingsley is a single-storey former residence dating from the late Victorian period. The original Victorian structure fronts Tennyson Street with a rear Federation era addition to its south. Additional rear modern additions have been since added to expand the former residence towards the west.

The original Victorian section presents a double-fronted façade form. The external cladding including the square edged timber weatherboard and imitation Ashlar boards to the front facade are finished with a light-yellow paint. The original section presents a cross-gabled roof, which along with the rest of the roof structure, is clad with red corrugated sheet metal. Tall, rendered chimneys with a bracketed cornice extend from the roof.

The front façade features a return verandah which is clad with concave corrugated sheet metal sheeting with an alternating white and green colour scheme and is supported on timber posts with a balustrade painted dark red with cast iron valances and lacework painted dark green. The front facade includes a central main door, flanked by single sash windows with a moulded architrave. The open gable facing north has fretted bargeboards. The projecting open gable to the front façade features half-timbered detailing. flanked by the verandah it includes a centred bay window. The window is sheltered under a corrugated metal hood with timber brackets.

The Federation era addition extends along the southern side of the, aligned with the projecting gable bay of the original Victorian residence. The Victorian and Federation era sections have since been subsumed to its rear by modern extensions with a skillion and gabled roof.

Kingsley is set back from the street allowing for a wide front garden. The front boundary has a low masonry wall with piers clad with flagstone. The wall includes a wide opening allowing for a red brick paved pathway leading to the front verandah and main entrance. A second opening provides vehicular access with aggregate paved driveway along the northern boundary. The driveway includes an extended parking area along the front façade. The front garden space contains two mature trees: a Norfolk Island Pine (*Araucaria heterophylla*) and Sweetgum (*Liquidambar*) dating back to the early twentieth century.

The structure is located on a long allotment extending west from Tennyson Street. The rear of the allotment is shared with the Elwood Community House Reserve. Known alterations to the main structure include:

- Early additions to the main former residence including the projecting southwest open gable between 1905-45.
 - Alterations and a rear extension in 1992 and 1998.
 - Removal of terracotta crested roof tiling, ramshorn finials, and chimney pots.
 - Addition of the face brick chimney along the south roof face of the open gable.
 - Subsequent replacement of roof and verandah cladding.
-

- Addition of security grills to the windows and screens to the front door.
- Removal of concrete edge garden beds, early ornamental planting, and timber picket front fence at the front of the property.
- Addition of landscape features including new front boundary wall, contemporary bench seating on a concrete slab, new brick paved footpath, aggregate laid driveway and parking area.
- Minor accretions including new rainwater goods and contemporary signage along the street front boundary.

Kingsley is in good condition and is of moderate integrity overall.

Comparative analysis

There was a building slump in between the mansion estates of the 1850-60s and the boom period of the late nineteenth century. Having been constructed in 1880-82, Kingsley forms part of a small number of villas built during this time. Late nineteenth century housing is otherwise mainly associated with the prosperous boom period, when the suburb began, once again, to flourish as a prestigious address (Heritage Alliance 2005, 13).

Kingsley comprises a Victorian timber building with a distinctive turn of the century timber extension of Federation design. Although some features of both design periods have been modified, including the verandah posts and ridge capping, they overall retain sufficient integrity to clearly describe the original design character of the main building components. Comparable Victorian era dwellings with a gabled roof and bargeboards includes the three Victorian cottages at **1-5 Bell Street, Ripponlea (c.1888) (Citation 2346)**, the Victorian villa at **2 Hotham Grove, Ripponlea (1889) (Citation 2331)**, the single Victorian dwelling at **324 Esplanade East, Port Melbourne (1876) (Citation 2411)**, and the Christ Church vicarage at **14 Acland Street, St Kilda (1884) (H0996)**. The design of the bargeboards varies at each site with 324 Esplanade East exhibiting a scalloped form similar to Kingsley, albeit more detailed.

Comparable Victorian era dwellings with contributory Federation era alterations in the municipality include:

- **101 Spring Street Port Melbourne (Citation 685)**. A substantial and highly intact example of a hybrid Victorian era building with an early nineteenth century projecting street facing gable wing extension incorporated in a manner similar to that added at 87 Tennyson Street. Whilst the Tennyson Street property illustrates the two distinct styles of the original building and extension, the substantial changes made to the Victorian era building at Spring Street create a more cohesive hybrid design across the two structures. Remaining Victorian features at both properties include an iron lace verandah frieze, concave verandah roof profile and Federation moulded chimneys with pots. Edwardian style terracotta ridge capping is used as a linking tool between eras at both properties and at the substantially more ornate Spring Street property timber finials, leadlight window panes, projecting half-timbered gable ends and box bay windows are also used to connect the different phases of house design. A Federation style hood protects the projecting gable wing box bay window at both properties. Whilst less aesthetically pleasing as an integrated design, the slightly disjointed assemblage of design elements at the Tennyson Street property are clearly legible and illustrative of some distinct design features characteristic of the Victorian and Federation eras.

Assessment

This place has been assessed in accordance with the processes and guidelines outlined in the Australia ICOMOS *Charter for Places of Cultural Heritage Significance* (The Burra Charter) 2013, using the HERCON criteria.

Recommendations

Retain in the Heritage Overlay as a Significant place with external paint controls and solar energy system controls. Apply tree controls in relation to the mature Norfolk Island Pine (*Araucaria heteriophylla*) and sweetgum (*Liquidambar*) trees.

Primary source

Extent Heritage Pty Ltd, *Elwood Heritage Review*, prepared for City of Port Phillip, 2023.

Other studies

Andrew Ward & Associates, *City of Port Phillip Heritage Review*, prepared for City of Port Phillip, 1998.

Other images



Figure 8. North-East facing view from Tennyson Street.



Figure 9. North-east facing oblique view from Tennyson Street.

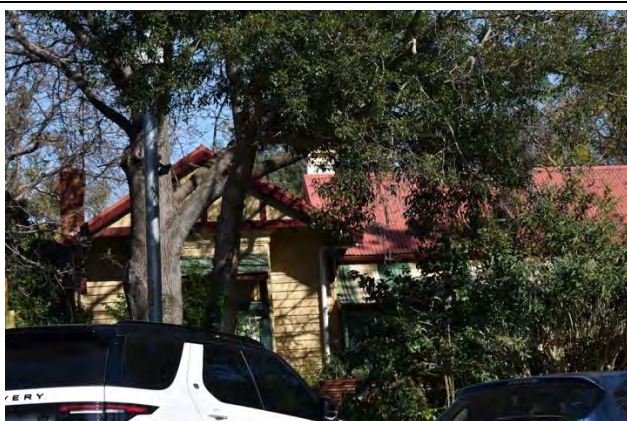


Figure 10. North-east facing view from Tennyson Street showing early twentieth century street facing gable extension in Federation style.



Figure 11. North facing view from property car park.



Figure 12. View of mature Norfolk Island Pine (*Araucaria heteriophylla*) tree from Tennyson Street.



Figure 13. View of mature sweetgum (*Liquidambar*) tree from Tennyson Street.

City of Port Phillip Heritage Review

Place name: Leslieville
Other names: Lorenzo, House

Citation No: 937



Address: 109 Tennyson Street, Elwood

Heritage Precinct: Not applicable

Category: Residential: House

Heritage Overlay: HO271

Style: Interwar: Californian Bungalow

Graded as: Significant

Constructed: 1915-16

Victorian Heritage Register: No

Designer: Unknown

Amendment: TBA

Comment: Revised citation

Significance

What is significant?

Leslieville (later called Lorenzo) constructed in 1916 at 109 Tennyson Street, Elwood is significant. Alterations and additions, including the rear extension and front boundary wall, are not significant.

How is it significant?

Leslieville at 109 Tennyson Street, Elwood is of local representative significance to the City of Port Phillip.

Why is it significant?

Leslieville is of representative significance as a substantially intact and characteristic example of an interwar Californian Bungalow. The building not only retains a high degree of integrity with a strict adherence to its American architectural design roots but also demonstrates key architectural features of the early Californian Bungalow style in the inner suburbs. These features include simple form and massing, low pitched gable roof clad with terracotta Marseille tiles and ridge capping, overhanging eaves, roughcast render, porch with sturdy, roughcast piers, and double hung windows with multipaned upper sashes. These features, along with the prominent corner siting on a garden allotment, illustrate principal elements of bungalows built in the interwar period in the municipality. (Criterion D)

Thematic context

Victoria's framework of historical themes

6. Building towns, cities, and the garden state: 6.3 Shaping the suburbs, 6.7 Making homes for Victorians

Port Phillip thematic environmental history

5. Buildings and cultural landscapes: 5.2 Shaping the suburbs (5.2.2 Private development), 5.3 Diverse Housing (5.3.3 Suburban bungalows)

History

Pre-colonial history

For thousands of years preceding European colonialism, the land and environmental surrounds of Elwood was home to the Yalukit Willam clan of the Boonwurrung language group, who occupied territory east of the Werribee River to St Kilda. With lands adjacent to the sea and in proximity to the neighbouring Elwood wetlands, this environment provided Traditional Owners with access to an abundance of resources, including freshwater vegetables, wildfowl and eels from the Elwood wetlands, as well as saltwater shellfish, fish and crustaceans from the reef. Meanwhile, the rocky headland of red, brown and yellow sandstone, now known as Point Ormond, was a prominent feature in the landscape that provided views across Port Phillip Bay (refer to Figure 1). Archaeological records indicate that the area of Point Ormond was an active campsite, with stone axes and bowl awls recovered in the area in the 1970s (Eidelson 2006, 42). A shell midden was also uncovered in close proximity to Point Ormond, suggesting that the Boon Wurrung people in the area cooked shellfish gathered from the reef (Ellender and Weaver 1994). The land on which the precinct would come to be located on is shown in Figure 1 as being lightly wooded, and pre-colonial ecological vegetation classes show the land being a mix of damp sands herb woodlands and grassy woodlands.

While the rich cultural heritage of Traditional Owners in Elwood continues to have a strong presence to this day, their lifestyle and lands were severely impacted following the onset of European colonisation, particularly after the arrival of the Glen Huntly emigrant ship in Port Phillip Bay in 1840 (Finn 1888, 596-597). The ship was carrying 157 Scottish passengers, with fifty suffering from Typhus fever. A makeshift quarantine settlement was immediately established adjacent to the shore on Point Ormond near to the precinct, then known as Little Red Bluff (Moore 1990). As shellfish harvests took place right alongside the station, superintendent Charles La Trobe ordered the expulsion of all Aboriginal camps from the area (Eidelson 2006, 42). La Trobe's actions formed merely one part of a wider colonial process of displacement and dispossession, which would have continued terrible ramifications for generations.



Figure 1. c.1864 illustration of Point Ormond and the coast looking towards St Kilda, representing a pre-developed landscape. Source: Clark, T. c.1864. Red Bluff Brighton (Point Ormond). Watercolour painting, accession no: H299. State Library of Victoria.

Contextual history

Elwood's first land sales took place until 1851, which saw the subdivision of land in both St Kilda and what was then known as 'North Elwood' into generous allotments (Surveyor General's Department 1851). Early developments on these allotments comprised a scattering of freestanding mansion estates, including the extant Elwood House at 30 & 30A Vautier Street, Elwood (c.1850s) (Heritage Alliance 2005, 12; Eidelson 2006). Erected on higher ground towards the Esplanade, these mansions solidified Elwood's southern fringe as a prestigious seaside location. Meanwhile, most of the present day suburb to the north of Glen Huntly Road comprised a wetland known as the Elwood Swamp (Public Record Office of Victoria 1851). Deemed unsuitable for residential development, the wetland was soon transformed into a site for noxious trades required by European settlement, with a night soil depot established at Barkly Street in 1857, an open slaughter yard established in 1858 and an abattoir building erected in 1861 (see Figure 2) (Way Back When Consulting Historians 2021, 29-30).

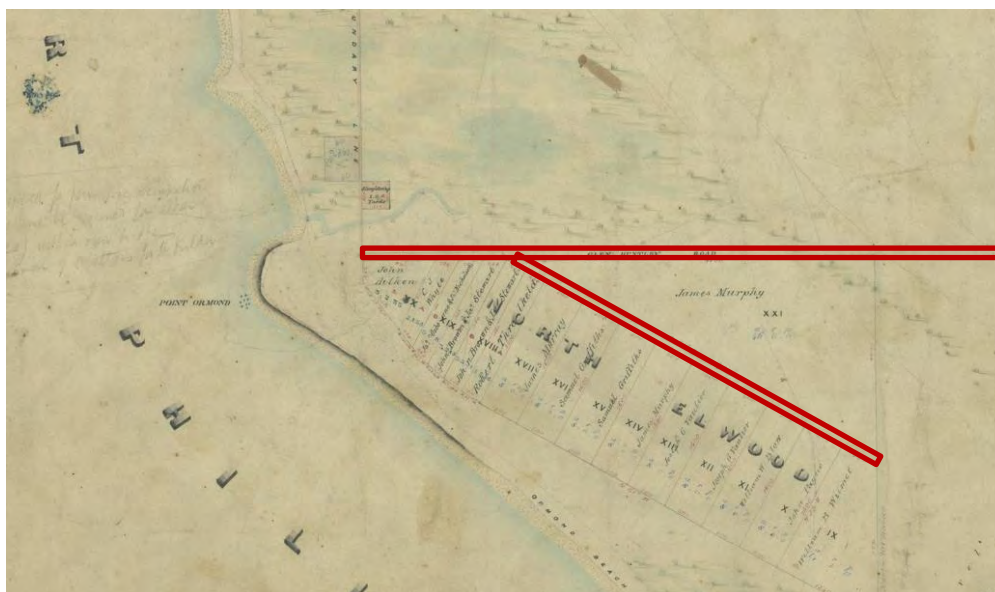


Figure 2. 1851 map showing 'North Elwood' allotments south of the wetland, and Glen Huntly and Ormond Roads marked in red. Source: Surveyor General's Department, Port Phillip Branch. 1851. 'Village of Elsternwick.' Map. Citation no. VPRS 8168/P0002. Public Record Office Victoria.

The suburb underwent a period of change during the 1880s land boom, which not only spurred the subdivision of mansion estates and vacant land into suburban housing estates, but also encouraged the closure of noxious trade facilities and subsequent swamp reclamation works via the development of the Elwood Canal by 1897 (The Caulfield and Elsternwick Leader 1889, 4). By 1908, the first land sales on what once comprised the wetlands had taken place, paving way for further urban growth. Notably, the construction of Elwood Canal, along with the opening of the Victorian Railways St Kilda to Brighton electric tramway line in 1906 (and the Glen Huntly tramway in 1915), spearheaded another development boom in Elwood during the first two decades of the twentieth century. More intense than its 1880s predecessor, this period saw the subdivision of remaining sparse mansion estates on what was then known as 'North Elwood' (see Figure 2), as well as rapid residential development on the reclaimed wetland and in the area south of Ormond Road (Heritage Alliance 2005, 21-23).

109 Tennyson Street, Elwood

109 Tennyson Street, Elwood, at the southern corner of Tennyson Street and Austin Avenue, was created as part of a 38 lot subdivision, gazetted in August 1914, of land extending between Tennyson and Mitford streets. Austin Avenue was also created as a result of this subdivision.



Figure 3. Lot 3 on Plan of Subdivision no. 6447, Crown Portion 125, lodged at St Kilda Parish of Prahran County of Bourke. Source: Office of Titles. Certificate of Title, vol. 3922, fol. 784248. Landata.

Leslie Fallon, a draper, first purchased Lot 3 in the subdivision on the south corner of Tennyson Street and Austin Avenue in October 1915 (refer Figure 3). Fallon, who had previously been living in Mitford Street, St Kilda, immediately took out a mortgage, presumably to finance construction of the house, which was built by L. English (City of St Kilda Building Register). Fallon named the property 'Leslieville' and the birth of a daughter at the address indicates the house had been completed by January 1916 (The Age 1916, 5). At the time, the street infrastructure was a work in progress. A newspaper article reported that the drainage from the front of the property down to Glenhuntly Road was an open earth drain, two feet wide and a 'quagmire' (Prahran Chronicle 1917, 5).

William Shaw, a baker, purchased the house in 1923, followed by Annie Ross de Brotherton in 1925 (Certificate of Title 3922/784248). Brotherton renamed the house 'Lorenzo'. The newspaper listed several details in the auction advertisement:

'Californian brick bungalow...fine double gable bungalow appearance, grey tile roof, wide hall, double doors to sitting room, thence to dining room, three bedrooms...vestibule, back verandah, garage...lovely lawns and gardens' (The Herald 1926, 15)

The property was acquired by widow Lucie Burslem in 1929, followed by Kenneth Burslem (a bank official) before accountant Vivian Fulford purchased it in 1959 (Certificate of Title 3922/784248). The property remains in use as a residence today.

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Description

Leslieville (also known as Lorenzo), is an early example of a single storey California Bungalow, which is situated on a corner allotment fronting Tennyson Street with a side boundary to Austin Avenue. Characteristic of the style it has a simple form and massing defined by low pitched, wide gable roofs. The masonry brick walls are finished with an off-white roughcast render and weatherboard cladding along the open gables, and the roof is clad with terracotta Marseilles tiles and ridge capping. Several roughcast rendered chimneys of varied heights extend from the roof. Deep overhanging eaves over the gables are lined with timber.

The front façade to Tennyson Street presents a double fronted form. It is defined by a projecting porch gable with wide roughcast piers. Simple timber brackets support the deep, overhanging eaves. The front porch is lined with timber floorboards. Within the porch, the main entrance is recessed and consists of a glazed door and sidelights with an ornate leadlight and frosted glass detailing. The porch also includes a second set of French doors with similarly detailed glazing and a secondary side entrance to a bedroom. A projecting bay window is located beside the front porch.

The side elevation to Austin Avenue presents a symmetrical open gable form with asymmetrical fenestration. This includes a centred circular bay window with seven sash windows and a multipaned leadlight upper sash. The bay is protected under a skillion awning clad with corrugated sheet metal. A single recessed sash window is located beside the bay window and a timber louvred vent window is located above.

A two-storey contemporary addition abuts the original structure to the rear and occupies most of the backyard. It presents a contradicting rectilinear form with vertically emphasised windows and skillion roof. A projecting cantilevered awning, glass balustrade and balcony, and garage frames the street facing elevation.

The original structure, with its approximately square footprint, occupies the centre of the allotment allowing for a wide front yard and backyard. The street front boundary along Tennyson Street consists of a low timber panel fence, backed by a tall hedge wall. The Austin Avenue front is demarcated by a low bagged brick wall with a corner timber gate. The wall is further raised towards the rear with a concrete breezeblock cap and recent fibro panelling.

Known alterations to the house include:

- Free-standing structure to the rear demolished.
- Addition of new timber floorboards to the front porch.
- Addition of the two-storey rear extension (2009).
- Minor accretions include wall mounted conduits and services.

Several damaged elements can be identified at Leslieville. This includes the timber lined eaves and the bay window skillion awning along the northern elevation. Window frames along the northern elevation also appear to be weathered. The projecting open gable roof over the porch is missing roof tiles and gutter sections. The original structure at 109 Tennyson Street is in fair condition.

The original structure's form and detailing appear largely intact. With regards to fencing, a low timber panel fence has been added to the Tennyson Street frontage, and a brick fence with breezeblocks to the Austin Avenue frontage with a section of the fence raised with fibro panelling. The two-storey addition, although to the rear, is highly visible when viewed from Austin Avenue, but less visible from Tennyson Street. Overall, Leslieville is considered to be of moderate integrity.

Comparative analysis

The bungalow was the most popular form of housing in Australia in the twentieth century (Ruwolt 2020). Detached bungalows became the prominent type of housing from the Federation/Edwardian period onward. The Federation-era bungalows evolved into the Arts & Crafts and California bungalows of the early 1920s (City of Port Phillip 2021, 91).

The Californian Bungalow was amongst the earliest of the twentieth century bungalow styles. Arts and Crafts details were combined with Hispanic ideas and ornamentation to create the classic California Bungalow (Ruwolt 2020). Its key characteristic features included gable roofs, shingled or half-timbered gable, heavy piers to porch, broad open eaves, exposed roof rafters unglazed terracotta or cement tiled roof, and roughcast or river pebbles (Bryce Raworth 1991, 11).

As an early example of the style, built in 1916, Leslieville at 109 Tennyson Street is notable for its adherence to its American architectural roots emphasised by its low pitch and deep overhanging eaves of the dominant gabled roof forms. The modest form and restrained composition are representative of the early construction date and the very beginnings of the Californian Bungalow style in the inner suburbs. Other examples constructed later, exhibit more pronounced Arts and Crafts and Japanese influences including finer detailing and sweeping horizontal elements.

Leslieville property can therefore be compared to the following known Californian Bungalows in the municipality:

- **House, 217 Alma Road, St Kilda East (Citation 22).** Constructed in 1918-19, 217 Alma Road compares as another example of an early interwar Californian Bungalow. Key comparable features include a low pitch, open gable form, rendered walls, roof clad with terracotta tiles, a front window bay, a front porch balanced on substantial piers, and double hung windows with glazing bars in the upper sashes. Although the house also boasts Arts and Crafts and Japanese influences along with a stylistic flat porch roof feature, it nevertheless shares similarities with Leslieville in scale, material, and detailing.
- **House, 311 Orrong Road, St Kilda East (Citation 46).** The bungalow at 311 Orrong Road was constructed in 1920 and is a Californian Bungalow with Arts and Crafts and Japanese influences. Its overall composition is more detailed and complex than Leslieville, however key analogous features include a terracotta tiled roof, rendered walls, open gable form, gable vent windows, bay windows, double hung windows with glazing bars in the upper sashes and front porches with heavyset piers. Of particular note at 311 Orrong Road is the porch flat roof that extends across the face of the gable end and an original front fence.
- **Houses, 86 & 88 Mitford Street, Elwood (Citations 2071 & 2072).** The pair of bungalows at 86 and 88 Mitford Street are a case study in the difference between a Californian Bungalow with Japanese influences and an Arts and Crafts style bungalow. 86 Mitford Street compares well with Leslieville as a Californian Bungalow constructed around 1920, drawing similarities in terms of its open gable form, front porch balanced on piers, terracotta roof tiles and double hung windows with glazing bars in the upper sashes. Similar to the examples above, 86 Mitford Street also exhibits a flat roof porch along with exquisite detailing and fine articulation of brickwork.

Assessment

This place has been assessed in accordance with the processes and guidelines outlined in the Australia ICOMOS *Charter for Places of Cultural Heritage Significance* (The Burra Charter) 2013, using the HERCON criteria.

Recommendations

Retain in the Heritage Overlay as a Significant place with external paint controls and solar energy system controls.

Primary source

Extent Heritage Pty Ltd, *Elwood Heritage Review*, prepared for City of Port Phillip, 2023.

Other studies

Andrew Ward & Associates, *City of Port Phillip Heritage Review*, prepared for City of Port Phillip, 1998.

Other images



Figure 4. Oblique view from the corner of Tennyson Street and Austin Avenue.



Figure 5. View of façade fronting Tennyson Street.



Figure 6. Detail view of open gable roof and chimney.



Figure 7. View of façade fronting Austin Avenue.



Figure 8. View of projecting circular bay and timber louvred vent windows.



Figure 9. Detail view of timber louvred vent window and skillion awning.



Figure 10. View of extension abutting the rear of the house.



Figure 11. View of rear extension and garage.

City of Port Phillip Heritage Review

Place name: Elwood House
Other names: Terrace

Citation No: 374



Address: 30-30A Vautier Street, Elwood

Heritage Precinct: Not applicable

Category: Residential: Terrace

Heritage Overlay: HO274

Style: Victorian

Graded as: Significant

Constructed: 1854-55, c.1870

Victorian Heritage Register: No

Designer: Russell, Watts & Pritchard

Amendment: TBA

Comment: Revised citation

Significance

What is significant?

Elwood House, constructed in 1854-55 at 30-30A Vautier Street, Elwood is significant. The original stables at number 30A, the early c.1870 alterations to the terraces, including cast iron posts with Corinthian detailing and lacework in the form of arched frieze and balustrades, in addition to the fanlights, sidelights and arched entrance door at 30 Vautier Street, and the canted bay window to 30A Vautier Street, are also significant.

Later alterations and additions are not significant.

How is it significant?

Elwood House is of local historical and aesthetic significance to the City of Port Phillip.

Why is it significant?

Elwood House is of historical significance as a pair of early Victorian era terraces, constructed in 1854-55 following Elwood's first land sales which took place until 1851. The terraces are the oldest remaining buildings in Elwood and form a tangible link to the attempted development of terrace housing (ubiquitous in nearby suburbs) in the suburb. These mid-century developments were primarily unsuccessful, and ultimately superseded by the popularity of the detached mansion sited on a large allotment. Although double-storey terraces did reappear in Elwood during the Boom period of the late 1880s, they did so in very small quantities. With this, Elwood House provides insight into this limited phase of residential development that took place in the suburb in the mid-nineteenth century. (Criterion A)

Elwood House is of aesthetic significance as an early Victorian era terrace pair with boom era alterations. It is distinguished by its symmetrical layout, simple run parapet, mirrored front façade with verandahs and balconies, shared hipped roof, rendered facades, French doors with margin glazing to the first floor, chimneys with cornice mouldings and incised panel mouldings, timber sash windows, entrance doors with sidelights and leadlights, and cast iron lacework. These features, along with its generous setback, combine to form an elegant pair of terraces within the streetscape. (Criterion E)

Thematic context

Victoria's framework of historical themes

2. Peopling Victoria's places and landscapes: 2.7 Promoting settlement; 6. Building towns, cities, and the garden state: 6.1 Establishing settlements in the Port Phillip District, 6.7 Making homes for Victorians

Port Phillip thematic environmental history

5. Buildings and cultural landscapes: 5.1 Early dwellings, 5.2 Shaping the suburbs (5.2.2 Private development)

History

Pre-colonial history

For thousands of years preceding European colonialism, the land and environmental surrounds of Elwood was home to the Yalukit Willam clan of the Boonwurrung language group, who occupied territory east of the Werribee River to St Kilda. With lands adjacent to the sea and in proximity to the neighbouring Elwood wetlands, this environment provided Traditional Owners with access to an abundance of resources, including freshwater vegetables, wildfowl and eels from the Elwood wetlands, as well as saltwater shellfish, fish and crustaceans from the reef. Meanwhile, the rocky headland of red, brown and yellow sandstone, now known as Point Ormond, was a prominent feature in the landscape that provided views across Port Phillip Bay (refer to Figure 1). Archaeological records indicate that the area of Point Ormond was an active campsite, with stone axes and bowl awls recovered in the area in the 1970s (Eidelson 2006, 42). A shell midden was also uncovered in close proximity to Point Ormond, suggesting that the Boon Wurrung people in the area cooked shellfish gathered from the reef (Ellender and Weaver 1994). The land on which the precinct would come to be located on is shown in Figure 1 as being lightly wooded, and pre-colonial ecological vegetation classes show the land being a mix of damp sands herb woodlands and grassy woodlands.

While the rich cultural heritage of Traditional Owners in Elwood continues to have a strong presence to this day, their lifestyle and lands were severely impacted following the onset of European colonisation, particularly after the arrival of the Glen Huntly emigrant ship in Port Phillip Bay in 1840 (Finn 1888, 596-597). The ship was carrying 157 Scottish passengers, with fifty suffering from Typhus fever. A makeshift quarantine settlement was immediately established adjacent to the shore on Point Ormond near to the precinct, then known as Little Red Bluff (Moore 1990). As shellfish harvests took place right alongside the station, superintendent Charles La Trobe ordered the expulsion of all Aboriginal camps from the area (Eidelson 2006, 42). La Trobe's actions formed merely one part of a wider colonial process of displacement and dispossession, which would have continued terrible ramifications for generations.



Figure 1. c.1864 illustration of Point Ormond and the coast looking towards St Kilda, representing a pre-developed landscape. Source: Clark, T. c.1864. Red Bluff Brighton (Point Ormond). Watercolour painting, accession no: H299. State Library of Victoria.

Contextual history

Elwood's first land sales took place until 1851, which saw the subdivision of land in both St Kilda and what was then known as 'North Elwood' into generous allotments (Surveyor General's Department 1851). Early developments on these allotments comprised a scattering of freestanding mansion estates, including the extant Elwood House at 30 & 30A Vautier Street, Elwood (c.1850s) (Heritage Alliance 2005, 12; Eidelson 2006). Erected on higher ground towards the Esplanade, these mansions solidified Elwood's southern fringe as a prestigious seaside location. Meanwhile, most of the present day suburb to the north of Glen Huntly Road comprised a wetland known as the Elwood Swamp (Public Record Office of Victoria 1851). Deemed unsuitable for residential development, the wetland was soon transformed into a site for noxious trades required by European settlement, with a night soil depot established at Barkly Street in 1857, an open slaughter yard established in 1858 and an abattoir building erected in 1861 (see Figure 2) (Way Back When Consulting Historians 2021, 29-30).

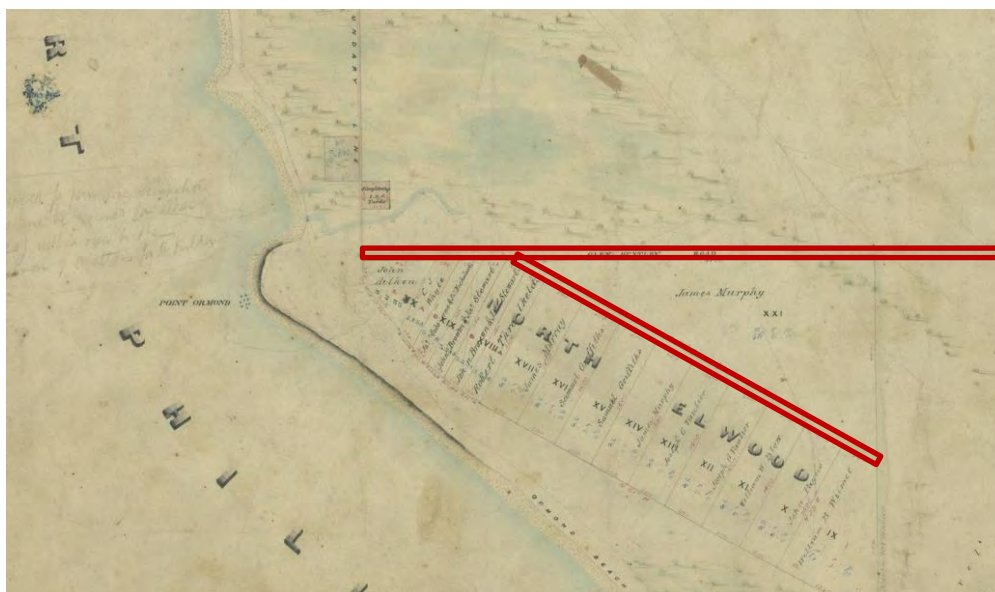


Figure 2. 1851 map showing 'North Elwood' allotments south of the wetland, and Glen Huntly and Ormond Roads marked in red. Source: Surveyor General's Department, Port Phillip Branch. 1851. 'Village of Elsternwick.' Map. Citation no. VPRS 8168/P0002. Public Record Office Victoria.

One of the first attempts to promote settlement in Elwood took place in 1853, when J. G. Vautier subdivided his land as the Elwood Hill Estate, comprising sixty residential lots with frontage to 'Esplanade' and 'Government Road' (Ormond Road), and two new streets, North Elwood Street (Vautier Street) and South Elwood Street (Dock Street) (Heritage Alliance 2005, 11). Around the same time Reverend Joseph Docker purchased three lots of land and had a pair of terraces called Elwood House constructed. Terrace houses became popular and the earliest are concentrated in and around Bay Street in Port Melbourne, the residential areas surrounding the South Melbourne Town Hall, and St Kilda Hill. However, it has been acknowledged that they were relatively rare in Elwood with Elwood House being the notable exception.

As Andrew Ward points out, Elwood House represented an unsuccessful attempt to introduce terrace housing (ubiquitous in nearby St Kilda) into Elwood. Ultimately, it was an entirely different housing typology – the detached mansion on a large allotment – that would strongly characterise Elwood in the second half of the nineteenth century (Heritage Alliance 2005, 11).

Elwood House, 30-30A Vautier Street, Elwood

Elwood House was constructed in 1854-55 for Reverend Joseph Docker following his purchase of three allotments part of J. G. Vautier's Elwood Hill Estate. Designed by architects Russell, Watts, and Pritchard, the commission was for a row of eight terrace houses out of which only two were built (Peterson 2009). Following the death of Reverend Docker in 1865, the houses were owned by his son Frederick George Docker. He sold the houses in 1871 to a stock and station agent and politician John George Dougharty, who combined them into one large house with twenty rooms. Dougharty also added a single storey wing on the south side (demolished around 1935), various outbuildings and the canted bay window to the front of no. 30A.

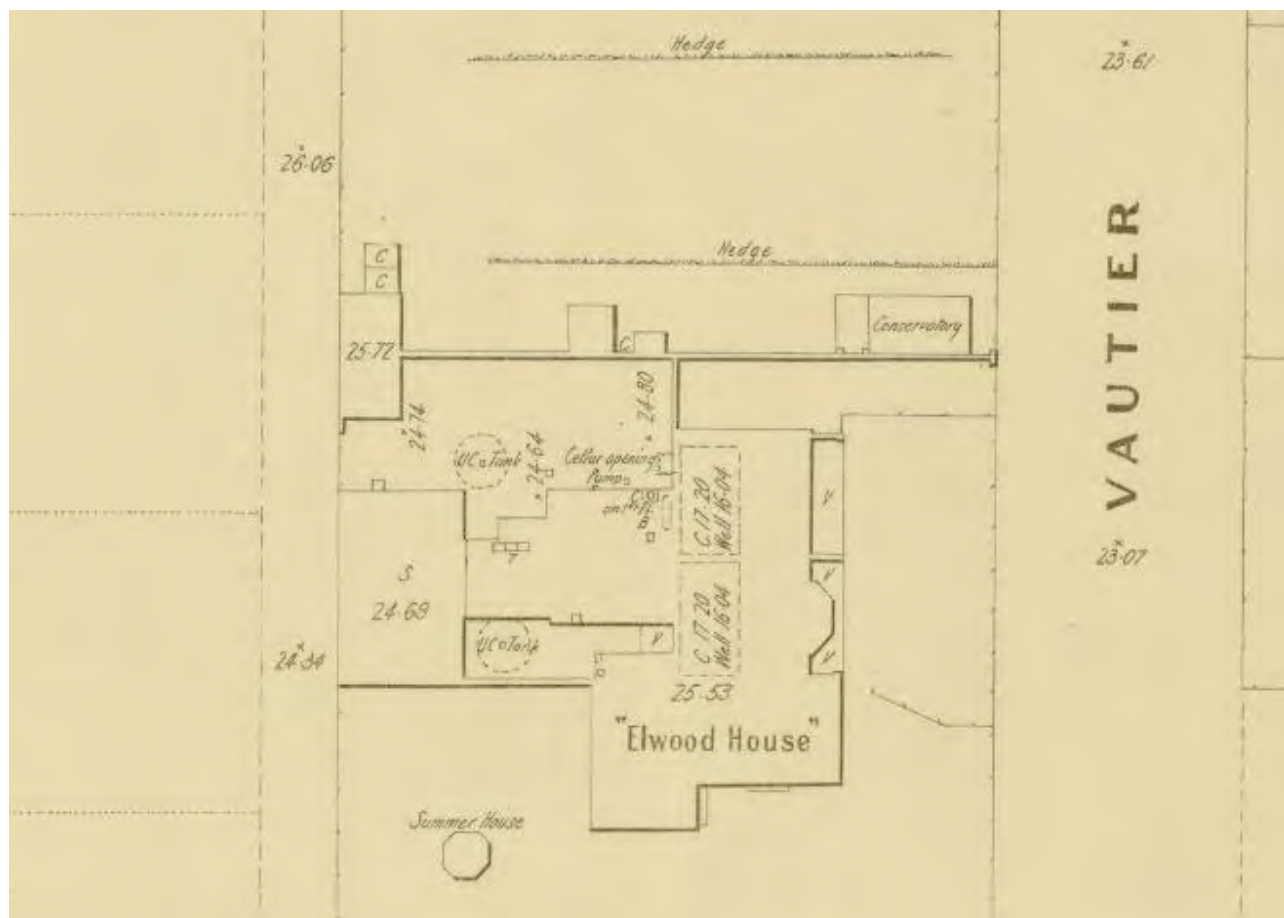


Figure 3. 1906 MMBW detail plan. Source: State Library of Victoria, Melbourne & Metropolitan Board of Works, detail plan No. 1792, 1906.

The 1906 MMBW plan shows the extent of the southern extension, a cellar, hedges, a summerhouse, and a conservatory. In 1917-18, the Dougharty family and its purportedly aristocratic French branch the Huons, converted Elwood house into five flats. In 1923, it was sold to James Griffith of Brighton (Peterson 2009). Land to the south and north of the house underwent subdivision during the interwar period and was sold for suburban housing, resulting the loss of garden and outbuildings. The southern wing was demolished in 1935 and replaced by a block of flats.

By 1971, the stables (now no. 28) were leased out and an outbuilding known as the 'men's quarters' was demolished to enable sufficient car parking (Peterson 2009). Elwood House was returned to being two terraced houses, no. 30 and 30A, in 1978.

Elwood House is the oldest surviving building in Elwood (Way Back When Consulting Historians 2021, 78). It continues to be used as two separate residences till today.

References

Clark, T. c.1864. Red Bluff Brighton (Point Ormond). Watercolour painting, accession no: H299. State Library of Victoria.

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Way Back When Consulting Historians. 2021. 'Thematic Environmental History.' Unpublished report prepared for the City of Port Phillip. PDF file.

Description

Elwood House comprises a pair of attached two-storey terraces. The masonry structures are finished with a smooth white render. The shared hipped roof of the main structure and roofs of the rear additions are clad with corrugated sheet metal. Each terrace includes one rendered, wide, corbelled chimney with

cornice mouldings and incised panel moulding. The front façades of the terraces present almost symmetrical, mirrored layouts defined by the front porch and balcony.

The ground level at no. 30 Vautier Street includes the main entrance door with sidelights and an arched fanlight. Two timber French doors are evenly spaced across the ground level beside the main entrance. The ground level at no. 30A Vautier Street consists of a entrance door with leadlight glass and projecting bay window with three timber sash windows.

The upper level of both terraces consist of three French doors. The French doors at no. 30A are likely early or original fabric and are divided into four panes. The party wall includes blind arches. The front porch is laid with encaustic tiles edged with bluestone. Two cast-iron columns support the balcony and awnings above and is decorated with ornate cast-iron frieze and balustrade. The terraces are topped with a flat parapet with a cornice moulding with moulded brackets.

The residences include extensive rear additions. No. 30A Vautier Street also includes a small side courtyard along the western elevation with a spiral stair leading to a balcony on the upper level. Whilst no. 30 Vautier Street includes a single storey hipped roof garage and swimming pool along the northern elevation. Also located at the rear of the residences are the original stables that have been converted into a granny flat at no. 30A and a bedroom at no. 30. The face red brick structure is partially rendered with concrete and presents an open gable form and roof clad with corrugated sheet metal.

The residences are set back from the street allowing for a wide front yard that has been individually landscaped. The residences include rear access to Broadbent Lane. The street front boundary and shared boundary is demarcated by a tall, bagged brick wall with an extruded header laid sill and timber gates. The front boundary to no. 30 Vautier Street includes a timber car gate providing access to the carport.

Known alterations to the Elwood House include:

- Additional rearrangement of the terraces into one residence (c.1870), then into flats (c.1917-1918) and back into two terraces (1978).
- Rear additions to both terraces including a side balcony at no. 30A Vautier Street.
- Original roof reclad with corrugated sheet metal.
- Relandscaping of the front yard and side courtyard spaces.
- Front brick fence added (1955).
- Original stables converted into a granny flat at no. 30A and carport at no. 30. This includes the addition of a garage opening and door, recladding of the roof with corrugated sheet metal, and inclusion of numerous skylights.
- Addition of a swimming pool at no. 30 Vautier Street.
- Addition of the carport at no. 30 Vautier Street.
- Bay window added to the ground level, original front door arrangement infilled, and new sympathetic encaustic tiling added to no. 30 & 30A Vautier Street.
- Cast-iron posts, balcony fascia, lintel painted black and cast-iron lacework detailing re-painted at no. 30 Vautier Street.
- Cast-iron posts and lacework blacker painted at no. 30A Vautier Street.
- Minor accretions including new rainwater goods and steel chimney caps.

Elwood House is in good condition overall. Both terraces have been highly altered internally following several major changes in the arrangement of the residences. The most visible external alteration is the unsympathetic high front fence, coupled with mature trees in the front yards which largely obscured views of Elwood House from the public domain. The original stables have been altered, although their original

form and scale can still be viewed at no. 30 Vautier Street. While Elwood House has been largely extended and relandscaped, the original structure remains relatively intact and is considered to be of moderate integrity overall.

Comparative analysis

Constructed between 1854-1855, Elwood House is an uncommon terrace building that was established during a developmental period in Elwood that was primarily limited to the erection of large mansion estates. While the terrace typology was highly popular in the neighbouring suburbs of St Kilda by the 1880s, it did not take off in Elwood owing to the moderately successful nature of boom era development in the suburb, as well as the primacy of the detached, freestanding residence that proved particularly suitable to Elwood's seaside setting. The historical changes to the internal layout of Elwood House are reflective of the suburb's evolving housing trends, having been converted to a single mansion in the 1870s, then into flats during the interwar period, before being restored as a pair of terraces in 1978.

Elwood House is characterised by its simple form and almost symmetrical front façade. Fenestration placement is well balanced, framed by c.1870 cast iron posts and ornate lacework to the front porch and balcony. Although common in many of Melbourne's suburbs, double-storey terraces did not re-appear in Elwood until the Boom period of the late 1880s and, even then, in very small quantities. Comparable examples in surrounding suburbs include:

- Lansdowne Terrace and Stable, 33-37 & rear 39 Dalgety Street, St Kilda (Citation 89).** Lansdowne Terrace, constructed in 1858, is a row of three, two storey mid-Victorian terraces characterised by an almost symmetrical composition. Comparable features include a generous setback from the street, hipped roof, simple parapet, rendered facades, front façade verandah and balcony, timber sash windows and chimneys with cornice moulding and incised panel moulding. Unlike Elwood House however, Lansdowne lacks the later Victorian era alterations that give it its more ornamented character. It has also seen several unsympathetic alterations in the post nineteenth century period. Comparatively, Elwood House retains a higher degree of contributory Victorian era features and is ultimately more impressive in terms of detailing.
- Eden Terrace, 4-18 Dalgety Street, St Kilda (Citation 87).** Built c.1858 to a design by architect John Felix Matthews for the developer Thomas Eden, Eden Terrace was an early development in St Kilda, comprising a row of eight two-storey residences with attic and semi-basement. When constructed the terrace featured restrained Regency detailing typical of the 1850s, including French doors which opened onto a verandah at ground floor level, before undergoing a number of additions and alterations over the following decades. The most significant change was the construction of the existing two storey verandah designed by Reed Henderson & Smart in 1883, which features similar cast iron details to Elwood House. Although larger in scale, Eden Terrace is comparable to Elwood House as an early example of changing architectural styles and patterns of occupancy in terrace housing in the early twentieth century, particularly as large terrace houses were converted to flats to reflect changing social of the inner suburbs.
- 47-49 Robe Street, St Kilda (Citation 2146).** Although built in 1867, 47-49 Robe Street was constructed with polychrome brickwork, a material that was well utilised during the later Boom era years. It is comparable to Elwood House as a pair of two storey, semi-detached terraces with a symmetrical layout, generous setback from the street, mirrored front façade with a front verandah and balcony, a hipped roof, a simple parapet and cornice, cast iron lacework in the form of arched frieze and balustrades, and timber sash windows. The two terraces differ in terms of dentil detailing as well as Robe Street's incorporation of alternating columns and pilasters on its lower level. Robe Street's polychromatic brickwork with cast iron frieze and brackets of an unusual pattern, along with its composition of contrasting openwork iron columns and solid pilasters, gives it a more distinguished appearance in comparison to Elwood House. While both buildings are in good condition, Robe Street retains much of its original Victorian features including the fenestration and original fence, elements that appear to have been altered or lost in Elwood House.

Assessment

This place has been assessed in accordance with the processes and guidelines outlined in the Australia ICOMOS *Charter for Places of Cultural Heritage Significance* (The Burra Charter) 2013, using the HERCON criteria.

Recommendations

Retain in the Heritage Overlay as a Significant place with external paint controls, internal alteration controls and solar energy system controls.

Primary source

Extent Heritage Pty Ltd, *Elwood Heritage Review*, prepared for City of Port Phillip, 2023.

Other studies

Andrew Ward & Associates, *City of Port Phillip Heritage Review*, prepared for City of Port Phillip, 1998.

Other images



Figure 4. Oblique view of no. 30 Vautier Street.



Figure 5. Detail view of roof and side elevation of no. 30 Vautier Street.



Figure 6. Detail view of cast iron lacework of no. 30.

City of Port Phillip Heritage Review

Place name: Woy Woy
Other names: Flats

Citation No: 2055



Address: 77 Marine Parade, Elwood

Category: Residential: Flats

Style: Interwar: International Style

Constructed: 1936-37

Designer: Geoffrey Mewton (Mewton & Grounds)

Amendment: TBA

Comment: Revised citation

Heritage Precinct: Not applicable

Heritage Overlay: HO301

Graded as: Significant

Victorian Heritage Register: No

Significance

What is significant?

Woy Woy, designed by Geoffrey Mewton in 1936, at 77 Marine Parade, Elwood is significant.

Alterations and additions are not significant.

How is it significant?

Woy Woy is of historical, aesthetic, and associative significance to the City of Port Phillip.

Why is it significant?

Woy Woy is of historical significance as the earliest example of a Modernist flat building in the City of Port Phillip. Designed in the International Style in 1936, the building demonstrates the initial promulgation of European Modernist design principles in Melbourne that would be further developed in the late 1930s and popularised in the post-war period. Along with Bellaire, Mewton's other 1936 International Style flat design, Woy Woy marks a critical stage in the evolution of Melbourne's residential architecture, and consequently forms part of an extraordinary small group of early Modernist flats in St Kilda and Elwood. (Criterion A)

Woy Woy is of aesthetic significance as a substantially intact and fine example of an International Style flat building. Radically austere in appearance, the flat building is distinguished by its skilfully articulated interlocking cubic forms, clean lines, vertical emphasis, flat roof form and rejection of ornamentation. Combined, these features not only form a stark and visually distinct International Style residential flat building within the streetscape, but also demonstrate the key architectural features that marked the beginnings of architectural Modernism in the municipality. (Criterion E)

Woy Woy is of associative significance as a key work by the influential Australian architect Geoffrey Mewton, a leading proponent of architectural Modernism in Melbourne. (Criterion H)

Thematic context

Victoria's framework of historical themes

6. Building towns, cities and the garden state: 6.3 Shaping the suburbs, 6.7 Making homes for Victorians

Port Phillip thematic environmental history

5. Buildings and cultural landscapes: 5.2 Shaping the suburbs (5.2.2 Private development), 5.3 Diverse Housing (5.3.5 Higher-density housing – Flats and high-rises)

History

Pre-colonial history

For thousands of years preceding European colonialism, the land and environmental surrounds of Elwood was home to the Yalukit Willam clan of the Boonwurrung language group, who occupied territory east of the Werribee River to St Kilda. With lands adjacent to the sea and in proximity to the neighbouring Elwood wetlands, this environment provided Traditional Owners with access to an abundance of resources, including freshwater vegetables, wildfowl and eels from the Elwood wetlands, as well as saltwater shellfish, fish and crustaceans from the reef. Meanwhile, the rocky headland of red, brown and yellow sandstone, now known as Point Ormond, was a prominent feature in the landscape that provided views across Port Phillip Bay (refer to Figure 1). Archaeological records indicate that the area of Point Ormond was an active campsite, with stone axes and bowl awls recovered in the area in the 1970s (Eidelson 2006, 42). A shell midden was also uncovered in close proximity to Point Ormond, suggesting that the Boon Wurrung people in the area cooked shellfish gathered from the reef (Ellender and Weaver 1994). The land on which the precinct would come to be located on is shown in Figure 1 as being lightly wooded, and pre-colonial ecological vegetation classes show the land being a mix of damp sands herb woodlands and grassy woodlands.

While the rich cultural heritage of Traditional Owners in Elwood continues to have a strong presence to this day, their lifestyle and lands were severely impacted following the onset of European colonisation, particularly after the arrival of the Glen Huntly emigrant ship in Port Phillip Bay in 1840 (Finn 1888, 596-597). The ship was carrying 157 Scottish passengers, with fifty suffering from Typhus fever. A makeshift quarantine settlement was immediately established adjacent to the shore on Point Ormond near to the precinct, then known as Little Red Bluff (Moore 1990). As shellfish harvests took place right alongside the station, superintendent Charles La Trobe ordered the expulsion of all Aboriginal camps from the area (Eidelson 2006, 42). La Trobe's actions formed merely one part of a wider colonial process of displacement and dispossession, which would have continued terrible ramifications for generations.



Figure 1. c.1864 illustration of Point Ormond and the coast looking towards St Kilda, representing a pre-developed landscape. Source: Clark, T. c.1864. Red Bluff Brighton (Point Ormond). Watercolour painting, accession no: H299. State Library of Victoria.

Contextual history

Elwood's first land sales took place until 1851, which saw the subdivision of land in both St Kilda and what was then known as 'North Elwood' into generous allotments (Surveyor General's Department 1851). Early developments on these allotments comprised a scattering of freestanding mansion estates, including the extant Elwood House at 30 & 30A Vautier Street, Elwood (c.1850s) (Heritage Alliance 2005, 12; Eidelson 2006). Erected on higher ground towards the Esplanade, these mansions solidified Elwood's southern fringe as a prestigious seaside location. Meanwhile, most of the present day suburb to the north of Glen Huntly Road comprised a wetland known as the Elwood Swamp (Public Record Office of Victoria 1851). Deemed unsuitable for residential development, the wetland was soon transformed into a site for noxious trades required by European settlement, with a night soil depot established at Barkly Street in 1857, an open slaughter yard established in 1858 and an abattoir building erected in 1861 (see Figure 2) (Way Back When Consulting Historians 2021, 29-30).

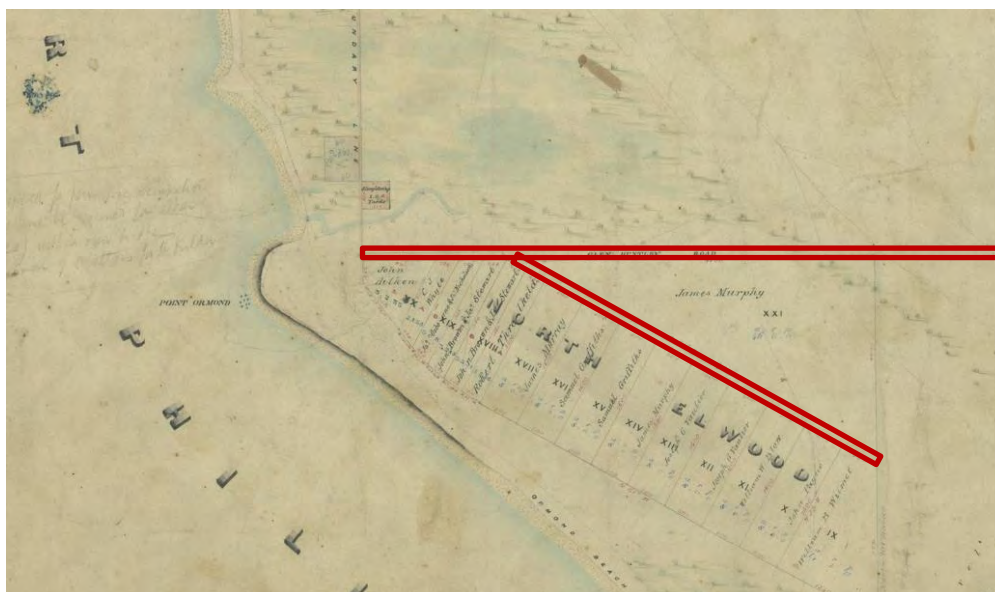


Figure 2. 1851 map showing 'North Elwood' allotments south of the wetland, and Glen Huntly and Ormond Roads marked in red. Source: Surveyor General's Department, Port Phillip Branch. 1851. 'Village of Elsternwick.' Map. Citation no. VPRS 8168/P0002. Public Record Office Victoria.

The suburb underwent a period of change during the 1880s land boom, which not only spurred the subdivision of mansion estates and vacant land into suburban housing estates, but also encouraged the closure of noxious trade facilities and subsequent swamp reclamation works via the development of the Elwood Canal by 1897 (The Caulfield and Elsternwick Leader 1889, 4). By 1908, the first land sales on what once comprised the wetlands had taken place, paving way for further urban growth. Notably, the construction of Elwood Canal, along with the opening of the Victorian Railways St Kilda to Brighton electric tramway line in 1906 (and the Glen Huntly tramway in 1915), spearheaded another development boom in Elwood during the first two decades of the twentieth century. More intense than its 1880s predecessor, this period saw the subdivision of remaining sparse mansion estates on what was then known as 'North Elwood' (see Figure 2), as well as rapid residential development on the reclaimed wetland and in the area south of Ormond Road (Heritage Alliance 2005, 21-23).

While newly erected building stock in this early twentieth century period predominantly comprised of freestanding middle-class bungalows, the area was also a popular location for residential flats. Initially appearing in Melbourne in 1906, flats slowly spread to the suburbs and appeared close to transport routes, particularly along or within walking distance of tram routes to facilitate easy travel to the city (Way Back When Consulting Historians 2021, 95). With its proximity to the beach and parklands, good public transport networks and seaside character, both the suburbs of Elwood and St Kilda became popular destinations for this type of housing stock, and by 1935, despite a slowing of development due to the Great Depression, the St Kilda municipality contained over 2,800 flats in over 500 blocks by 1935 (Way Back When Consulting Historians 2021, 96). A further 2,000 flats were added by 1940; however, the onset of World War II slowed development. Nonetheless, by 1947 St Kilda contained 5,500 purpose-built flats, a quarter of all flats in Melbourne (Way Back When Consulting Historians 2021, 96).

The flats were built in fashionable architectural styles ranging from the Old English Hartpury Court at 9-11 Milton Street, Elwood (1923) to the Streamlined Moderne Windermere Flats at 49 Broadway, Elwood (1936). The mid to late 1930s also saw the emergence of more radical flat design in the form of European influenced International Style/Functionalist apartment buildings. Characterised by stark cubic forms, clean lines, modularity, mass-produced industrial materials and a rejection of ornament and colour, the style was stark and revolutionary in terms of form and aesthetic, and was closely tied to the architectural Modernism that would later take off in the post-war period.

Woy Woy, 77 Marine Parade, Elwood

Woy Woy was constructed between 1936 and January 1937 to designs by the highly influential architect Geoffrey Mewton of Mewton and Grounds. Designed in the International Style, the Modernist building comprised a three-storey block of six one-bedroom flats (refer Figure 3). Architectural plans indicate that it was constructed for the company Marine Investments (City of St Kilda Building Register). A companion block was also planned for the rear of the allotment at Lytton Street; however this never came into fruition (City of Port Phillip 2021; Peterson 2005). Stark and revolutionary for its austere, geometric appearance, the block of flats comprised the earliest examples of the International Style in the municipality and exemplified the Modernist shift away from the fashionable Interwar Revival styles of the 1920s and early 1930s (Peterson 2005). It gained the name Woy Woy from as early as January 1937, although its origins and meanings is unclear (The Argus 1937, 8).

The earliest known addition to the site includes the erection of a freestanding steel carport to the rear of the flat building C. J. Hogan of Flat 2 in 1965 (City of St Kilda Building Register). While newspaper advertisements indicate that each flat was initially owned privately, the entirety of the flat building was under the ownership of Scott and Singh of 3 Horne Street, Elsternwick by 1978 (The Argus 1944, 20; City of St Kilda Building Register). The year 1978 also saw the replacement of the existing rear staircase (City of St Kilda Building Register). The building underwent another series of alterations and additions in the late twentieth century, including the expansion of the second and upper floor windows, the replacement of all windows with aluminium framed sliding windows, and a contemporary roof extension comprising a glazed wall panel cubic structure above the roof access (see Description).



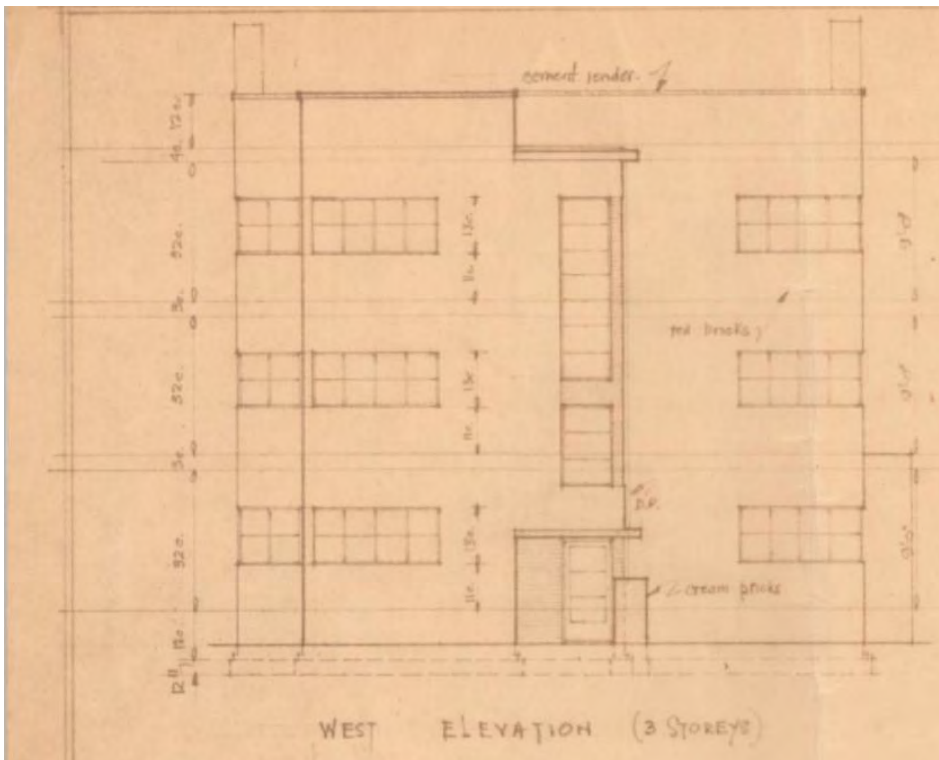


Figure 3. Block of flats, Marine Parade, St Kilda for Marine Investments (western elevation). Source: Mewton & Grounds. 1936. Drawings of 77 Marine Parade, Elwood. Council Records. City of Port Phillip.



Figure 4. c.1982 overview of Woy Woy prior to late twentieth century alterations and additions. Source: Lewis, Miles. n.d. 'Australian Architecture Lecture 17: Australian Flats.' Viewed 10 November 2022, <https://www.mileslewis.net/illustrated-contents/09-australian-architecture/australian-flats.pdf>.

Geoffrey Mewton

Trained in architecture at the Working Men's College (later Royal Melbourne Institute of Technology) as well as the Melbourne University Architectural Atelier (MUAA), Geoffrey Harley Mewton (1905-98) was a noted proponent of Modernist architecture during the interwar period (Goad and Willis 2012, 452). He was a classmate of the influential Australian architect Roy Grounds, and they both commenced articles at the large architectural firm of Blackett, Forster and Craig in the early 1920s. Mewton subsequently travelled to Europe to study its architectural trends, before returning to Melbourne to set up his own office, Mewton & Grounds, with Roy Grounds in 1933 (Peterson 2005). Although the partnership was largely informal, with each working individually, all their work was branded under Mewton & Grounds. Together, the pair quickly became known as key proponents of architectural Modernism in Melbourne and remained in informal partnership until 1939.

From 1939, Mewton joined Edward Bilson, before becoming a partner at Godfrey and Spowers from 1945 until his retirement in 1980. Known for his austere, geometric and often interlocking forms, Mewton, along with Roy Grounds, pioneered International Style buildings with open floor plans and flat roofs that responded to local conditions, ultimately paving the way for subsequent Modernist domestic design in Australia (Peterson 2005). Mewton's most noted designs include the George Stooke House at 176 Halifax Street, Brighton (1935) (demolished), Bellaire at 3 Cowderoy Street, St Kilda (1936) (HO444) and Mewton House at 207 Bluff Road, Sandringham (1938).

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Description

Woy Woy is a three-storey Functionalist/International Style flats building, originally made up of six one-bedroom flats (the top two have now been converted into one flat). The structure has an asymmetrical footprint with a stepped front façade. The property fronts Marine Parade and the M.O. Moran Reserve to the west and Lytton Street to the east. While the structure is finished with a smooth white render, the red face brick masonry construction is visible along the rear/eastern elevation when viewed from Lytton Street. The structure is topped with a flat, trafficable roof which is accessed from a staircase extension with a contemporary skillion roof with glazed wall panel. The staircase extension is visible along the front façade and, along with the flat parapet, obscures views of the roof. A simple rendered chimney with terracotta chimney pots extends along both the eastern and western parapet.

The façade is austere in appearance and composed of stark interlocking cubic forms. The main entrance is located asymmetrically along the main projecting face. It is set back under a sheltered entryway with inbuilt letterboxes to the left. The opening to the entryway is emphasised with an articulated nib with painted stylised extruded lettering reading 'Woy Woy'. Three vertically arranged windows extend along the façade above the main entrance. A non-original panel with an extruded border and lettering reading the year '1936' is located just beneath the top floor vertical window. Aside from the aforementioned lettering, the building is completely devoid of ornamentation.

The windows have since been replaced with aluminium frame plate glass with banks of corner windows along its side elevations. The rear eastern elevation includes an open timber stair which provides access to the rear apartments.

The structure is slightly set back from the street, allowing for a narrow front yard which has been laid with concrete. The street front boundary is demarcated by a low steel fence. Side timber gates provide access to the rear of the property. The property includes an extensive, open backyard with concrete pathways and a parking area. A large, single-storey garage structure with a corrugated metal clad skillion roof is located off Lytton Street.

Known alterations to the property include:

- Lowering of the windows on the second and upper floor levels by 250mm (ground level windows retain the original window dimensions) (after 1982).
- Replacement of all windows with aluminium framed sliding windows and fixed glazing (after 1982).
- Extension of the front stairs to the rooftop, including an extension of the front façade wall with new window above the vertical window arrangement and corresponding side wall (after 1982).
- Contemporary roof extension with a flat roof and glazed wall panels above the roof access (1982).

- Rendering of original face yellow brick wall accent along the main entrance.
- Addition of the '1936' plaster relief panel on the front façade.
- Internal conversion of the two apartments of the top floor into one apartment.
- Repainting of the rendered light brown façade (after 2020).
- Relandscaping of the backyard including new concrete pathway, parking area, and rear fence (2020).
- Addition of the steel fence and gates to the front boundary, and new timber gates to the side elevations (2020).
- Minor accretions include new rainwater goods, wall mounted conduits and services, and aerials to the roof.

Woy Woy is in good condition and of moderate integrity. While it has undergone several alterations that have compromised its level of intactness, it has retained its overall form, composition and scale.

Comparative analysis

The Functionalist/International Style emerged in Victoria in the late 1930s and quickly became known for its modern and progressive image. A local response to the influences of Modernism emanating from Europe and America, the International Style was stark and revolutionary in terms of form and aesthetic, and was distinguished by its cubic modernism, modularity, flat surfaces, rejection of all ornament and colour, and use of lightweight industrial materials (Raworth 1991, 21). Constructed in 1936 at a time where flat design was still predominantly characterised by the fashionable Interwar Revival and Moderne styles, Woy Woy is particularly noted for being the earliest example of the International Style not only in the municipality but also in Melbourne (Peterson 2005). Distinguished by its daringly austere and geometric appearance, tightly planned interiors and minimalism, the building is undeniably influenced by European Modernism and Mewton's overseas travels. The interlocking cubic forms on the building are of particular note and reveal Mewton's interest in the works of influential Dutch architect Willem Marinus Dudok, whose works comprised asymmetrical groupings of geometric forms (Peterson 2005).

Within the municipality, Woy Woy can be best compared to the International Style **Bellaire, 3 Cowderoy Street, St Kilda (Citation 877)**, which Mewton also designed in the same year. Comprising a highly intact three-storey block of flats, Bellaire shares with Woy Woy an uncompromising Modernist expression characterised by geometric forms, flat roof, clean lines, absence of ornamentation and tightly planned interiors. However, unlike Woy Woy, it is unrendered and distinguished by its two-toned brickwork, which evoke a more streamlined effect. Bellaire's massing is also noticeably heavier, lending it a bulky and visually prominent appearance in comparison to Woy Woy.

Other comparable examples in the City of Port Phillip are dated slightly after Woy Woy, and include:

- **Flats, 51 Ormond Esplanade, St Kilda (Citation 756)**. Constructed in 1939 to designs by J. H. Esmond Dorney, these three-storey International Style flats build upon the stark Modernism introduced by Woy Woy and Bellaire. Although larger in scale than Woy Woy, the flats compare in terms of the austere rendered walls, asymmetrical arrangement of geometric forms, flat roof, corner windows and vertical emphasis. Unlike Woy Woy however, the plain appearance of the building is moderated by face brickwork along the central pier and fin-like pier along the adjacent entry wing. Its integrity has suffered in recent years due to alterations, making Woy Woy a more intact example of the style.
- **Park Court, 473 St Kilda Street, Elwood (1938)**. Designed by Seabrook and Fildes, Park Court comprises a 1938 three-storey flat building designed in the interwar International Style. As with Woy Woy, it is defined by its flat roof, steel-framed corner windows, and bold rectilinear composition. It is otherwise set apart by its prominent corner siting, impressive scale, horizontal

rather than vertical emphasis and orange brickwork, but ultimately lacks the starkness of Woy Woy's rendered finish.

Although not without alterations, Woy Woy remains an influential International Style building in municipality that demonstrates the beginnings of Modernism in flat design that would be further developed in the late 1930s, and later dominate the City of Port Phillip's wave of post-war flat development. The overall form, composition and stark appearance of the building has been retained, and they mark a critical stage in the evolution of the Modernist flat typology in the municipality.

Assessment

This place has been assessed in accordance with the processes and guidelines outlined in the Australia ICOMOS *Charter for Places of Cultural Heritage Significance* (The Burra Charter) 2013, using the HERCON criteria.

Recommendations

Retain in the Heritage Overlay as a Significant place with external paint controls and solar energy system controls.

Primary source

Extent Heritage Pty Ltd, *Elwood Heritage Review*, prepared for City of Port Phillip, 2023.

Other studies

Andrew Ward & Associates, *City of Port Phillip Heritage Review*, prepared for City of Port Phillip, 1998.

Other images



Figure 5. North-east facing overview from Marine Parade.



Figure 6. South-east facing overview of northern elevation and façade.



Figure 7. Detail view of corner windows along façade and southern elevation.



Figure 8. Detail view of '1936' lettering and contemporary roof extension.



Figure 9. Detail view of rendered chimney with terracotta chimney pot along northern elevation.



Figure 10. Detail view of stylised 'Woy Woy' lettering above main entrance way.