

**11.03-1L-05 South Melbourne Central Major Activity Centre [new]**

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Proposed C203port

This policy applies to all land in the South Melbourne Central Major Activity Centre and environs, as shown on the map to this clause. [new, South Melbourne Central Urban Design Framework (2007)]

**Activity and business mix**[new]

**Objective**

To develop a sustainable mixed use precinct focused on the South Melbourne Central Major Activity Centre, that includes local and specialised retailing, [21.06-5V3] while retaining the unique urbanvillage character and street life. [21.06-5V1, amended]

## Strategies

Promote activity, diversity and vitality by: [21.06-5s6.5.1]

- Ensuring that the centre retains its vital local convenience retail and service role which serves the surrounding residential community and workforce. [21.06-5s6.5.11, amended]

Support the local economy by:

- Protecting and enhancing the core sub-regional retail role of the centre. [21.06-5V3, amended] [blended].
- Promoting the centre as a sub-regional retail destination with a business services and light industry focus. [21.06-5s6.5.2dp4] [21.06-5s6.5.2dp2, amended]
- Exploiting the centre's strategic location, adjacent to the Central City, as an expanding location for knowledge-based and creative industries. [21.06-5s6.5.2, amended]
- Protecting the core industrial role of the centre's industrial precincts from pressure for alternative land uses. [21.06-5KPC4, amended]

Create a great place to live by: [21.06-5s6.5.3, amended]

- Encouraging a moderate intensification of housing, with [21.06-5s6.5.3dp2] a consistently high design quality to enhance the visual and streetscape amenity of the area. [21.06-5s6.5.3dp3] [21.06-5s6.5.3dp2, amended] [blended]
- Balancing increased mixed use and residential development pressure in the northern precincts of the centre, given their proximity to Southbank and the Central City. [21.06-5KPC2, amended]
- Encouraging the provision of additional open space opportunities, particularly north of Park Street within the centre's wide footpaths. [21.06-5s6.5.6dp3, amended] [blended] [21.06-5KPC7, amended]

Ensuring that new development respects:

- The views of the South Melbourne Town Hall clock tower in Clarendon and Park Street.
- The view of the Shrine of Remembrance along Bank Street.
- Views to the City and Albert Park. [21.06-5s6.5.7, amended]

## South Melbourne Central Precincts

### Objective

To provide for high quality, well designed use and development in the precincts of South Melbourne Central, as shown in the map to this policy. [new]

### Strategies

#### Clarendon Street Core Retail Strip [21.06-5s6.5.11]

Retain the daily / weekly retail goods and services role as the retail focus of the wider South Melbourne Central precinct with upper level residential or small office uses. [21.06-5s6.5.12] - [21.06-5s6.5.11, amended] [blended]

Strengthen Clarendon Street as a key pedestrian connection between the centre and the Central City. [21.06-5s6.5.26, amended]

Encourage activities that complement the core retail function of Clarendon Street. [21.06-5s6.5.17, amended]

#### Coventry Street Specialty Shopping Centre (within South Melbourne Central) [21.06-5s6.5.13]

Reinforce the precinct as a regionally significant specialty retailing area and as a vital pedestrian link between Clarendon Street and the South Melbourne Market. [21.06-5s6.5.14] [21.06-5s6.5.13, amended] [blended]

#### South Melbourne Market Precinct [21.06-5s6.5.16]

Reinforce South Melbourne Market as a principal retail and community focus for the local and wider area. [21.06-5V3] [21.06-5s6.5.16, amended] [blended]

Encourage residential, community or commercial uses on the western edge of the market, provided the operation of the market is ongoing. [21.06-5s6.5.18, amended]

**Emerging Activity Precinct** [21.06-5s6.5.16]

Encourage activities that complement the core retail function of Clarendon Street. [21.06-5s6.5.17, amended]

Diversify land uses through mixed use development with ground level retail or commercial frontages and upper level office and residential. [21.06-5s6.5.16, amended]

**Northern Mixed Activity Edge** [21.06-5s6.5.21]

Support conference or function centres on larger sized lots, subject to parking considerations. [21.06-5s6.5.23, amended]

Support upper level office and residential development. [21.06-5s6.5.24]

**Southern Mixed Activity Edge** [21.06-5s6.5.27]

Support retail, service business, small-medium or home offices, and residential uses in the precinct. [21.06-5s6.5.27, amended]

**Eastern Business District** [21.06-5s6.5.29]

Support the substantial light industrial / service business and expanding high technology / knowledge based industries in [21.06-5s6.5.30], the precinct. [21.06-5s6.5.29, amended] [blended]

Support small scale office use and development for start-up and emerging business, and the creative arts, including small studio spaces. [21.06-5s6.5.4dp3] [21.06-5s6.5.31, amended] [blended]

**Western Business District** [21.06-5s6.5.34]

Support new office development and the precinct's substantial light industrial / service business and showroom role [21.06-5s6.5.33] and expanding high technology / knowledge-based industry business roles. [21.06-5s6.5.34, amended] [blended]

Maintain an attractive and vibrant interface between the precinct and South Melbourne Central along Market Street. [21.06-5s6.5.36, amended]

**Kings Way Mixed Use Corridor** [21.06-5s6.5.38]

Create a regionally significant mixed use area. [21.06-5s6.5.38, amended]

Provide quality, higher density residential use and development (including above larger scale commercial development). [21.06-5s6.5.38]. [21.06-5s6.5.39, amended] [blended]

Create an attractive boulevard between the City of Port Phillip and the Central City by ensuring excellence in the design of new buildings and the public realm. [21.06-5s6.5.42, amended]

**Ferrars Street Light Rail Corridor** [21.06-5s6.5.45]

Support 'out of centre' and restricted retail premises where they will not detrimentally impact on the core retailing role of the activity centre. [21.06-5s6.5.43]

Encourage transit-based development through mixed use retail (including small scale convenience retail clustered around transport stops) [21.06-5s6.5.44] and increased residential density. [21.06-5s6.5.45, amended] [blended]

**Emerald Hill Civic, Cultural and Community Hub** [21.06-5s6.5.46]

Develop the South Melbourne Town Hall [21.06-5s6.5.46] and Emerald Hill as the major focus of cultural activity and an integrated network of civic, cultural and community facilities [21.06-5s6.5.46] for the local and wider community. [21.06-5KPV4, amended], [blended]

Encourage cultural, community and educational facilities to establish in and adjacent to this precinct. [21.06-5s6.5.46, amended]

Support the establishment of an Urban History Centre in the Emerald Hill precinct. [21.06-5s6.5.46]

**Policy documents** [new]

Consider as relevant:

- *South Melbourne Central Structure Plan* (City of Port Phillip, August 2007) [new]
- *South Melbourne Central Urban Design Framework* (David Lock Associates and City of Port Phillip, August 2007) [new]

## PORT PHILLIP PLANNING SCHEME

**South Melbourne Central Major Activity Centre and Study Area** [new, South Melbourne Central Urban Design Framework (David Lock Associates and City of Port Phillip, August 2007)]

